

## DEVELOPMENT APPLICATION

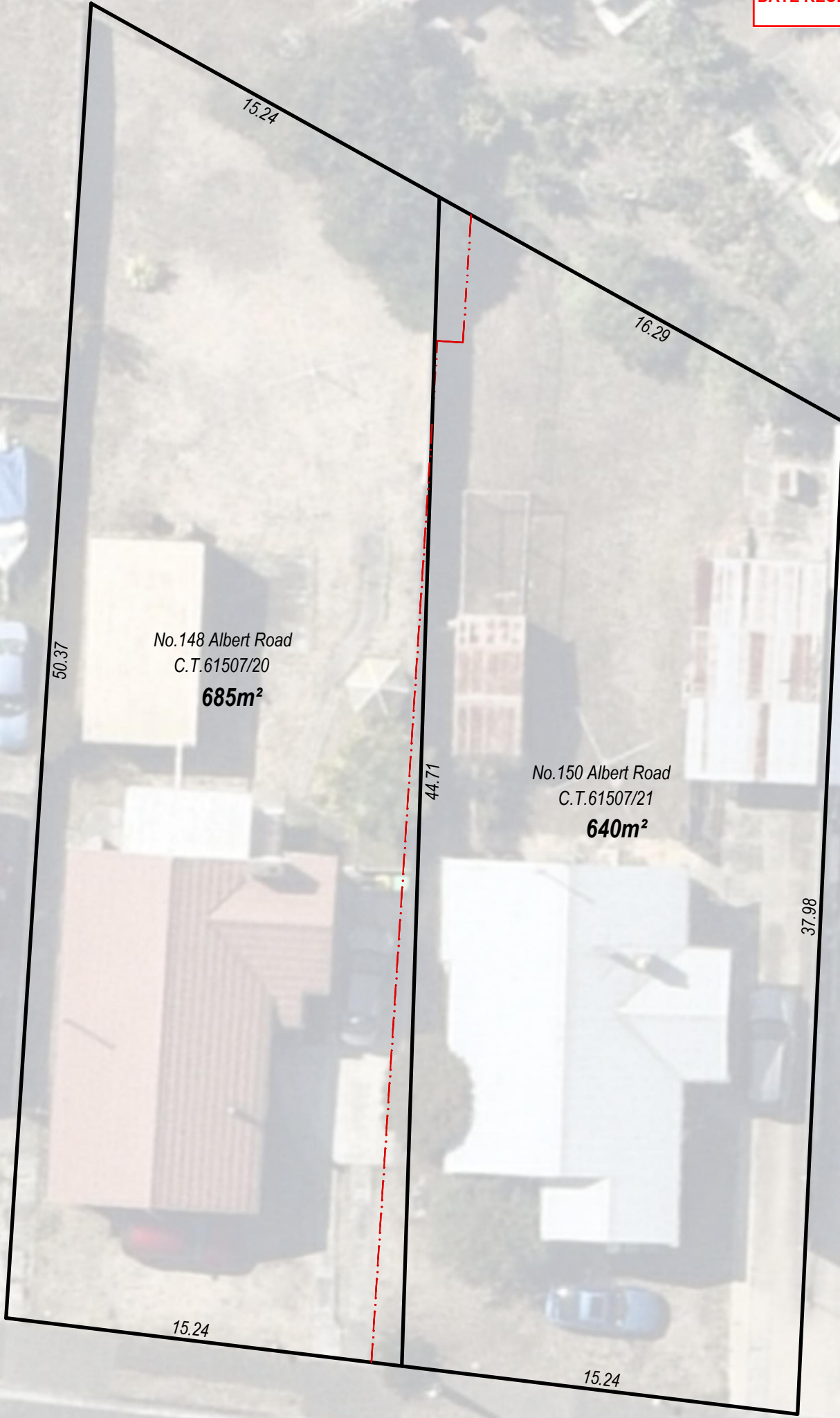
<b>APPLICATION NUMBER:</b>	PLN-24-135
<b>PROPOSED DEVELOPMENT:</b>	Multiple Dwellings (2 existing, 2 proposed)
<b>LOCATION:</b>	148 Albert Road Moonah 150 Albert Road Moonah
<b>APPLICANT:</b>	Wilson Homes Tasmania Pty Ltd
<b>ADVERTISING START DATE:</b>	11/09/2024
<b>ADVERTISING EXPIRY DATE:</b>	24/09/2024

Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and the plans are available on Glenorchy City Council's website ([www.gcc.tas.gov.au](http://www.gcc.tas.gov.au)) until **24/09/2024**.

During this time, any person may make representations relating to the applications by letter addressed to the General Manager, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to [gccmail@gcc.tas.gov.au](mailto:gccmail@gcc.tas.gov.au).

Representations must be received by no later than 11.59 pm on **24/09/2024**, or for postal and hand delivered representations, by 5.00 pm on **24/09/2024**.

**GLENORCHY CITY COUNCIL  
PLANNING SERVICES**  
APPLICATION No. : PLN-24-135  
DATE RECEIVED: 27/08/2024



**ALBERT ROAD**

**Plan 1 of 2  
Existing Titles Plan**

E				
D				
C				
B				
A				
REV	AMENDMENTS	DRAWN	DATE	APPR.

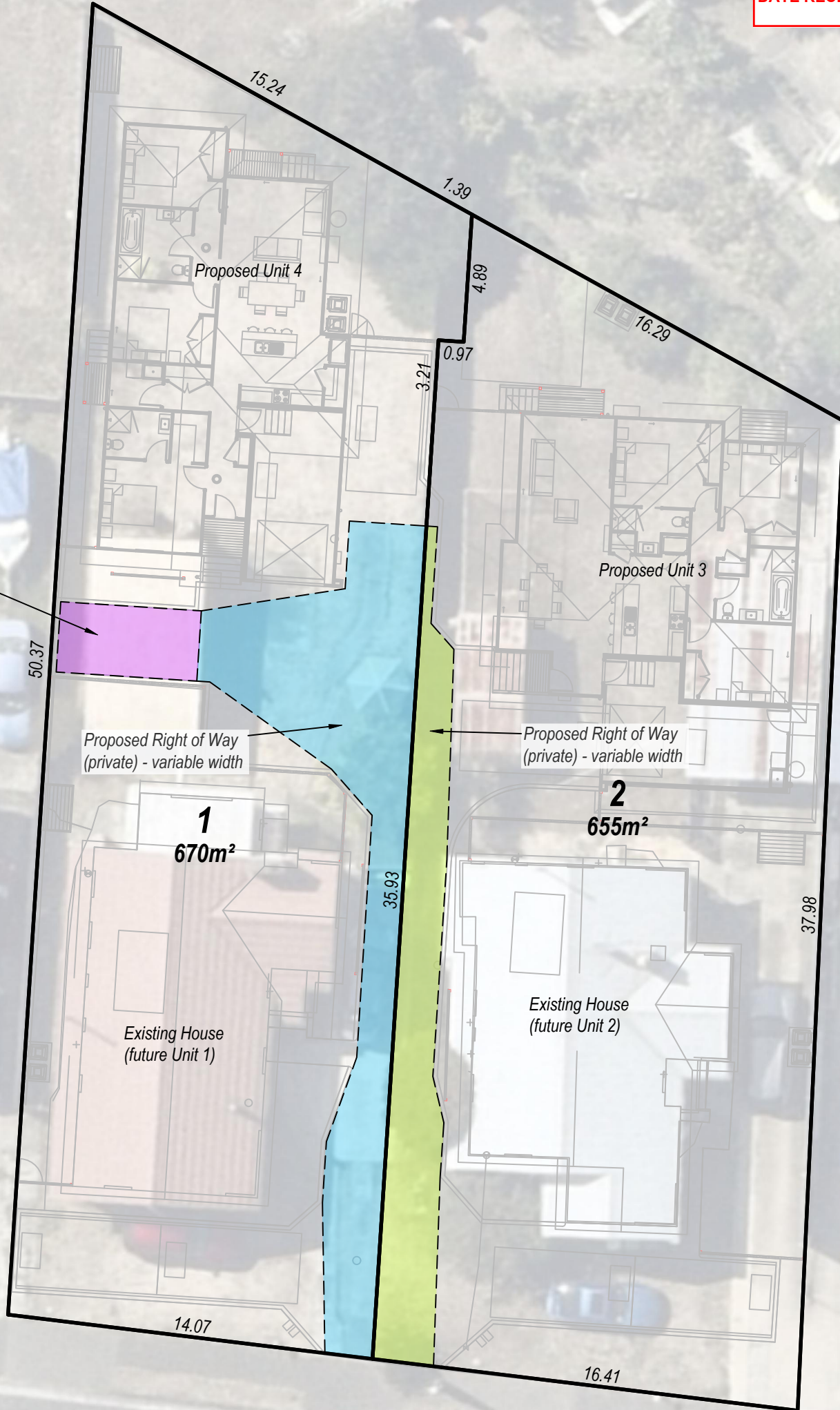
OWNER: A.CHEDID & B.CHEDID  
TITLE REFERENCE: C.T.61507/20 & C.T.61507/21  
LOCATION: No.148 & 150 ALBERT ROAD  
**MOONAH**

**Proposed Subdivision**

Date: 9-7-2024	Reference: WILSH435
Scale: 1:200 (A3)	Municipality: Glenorchy



**GLENORCHY CITY COUNCIL  
PLANNING SERVICES**  
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**ALBERT ROAD**

**Plan 2 of 2  
Resultant Titles Plan**

E				
D				
C				
B				
A	easement and parking area added	AB	16-8-24	AB
REV	AMENDMENTS	DRAWN	DATE	APPR.

**OWNER:** A.CHEDID & B.CHEDID  
**TITLE REFERENCE:** C.T.61507/20 & C.T.61507/21  
**LOCATION:** No.148 & 150 ALBERT ROAD  
**MOONAH**

**Proposed Subdivision**

<b>Date:</b> 9-7-2024	<b>Reference:</b> WILSH435
<b>Scale:</b> 1:200 (A3)	<b>Municipality:</b> Glenorchy



WH713935 - PROPOSED UNIT DEVELOPMENT  
 148 - 150 Albert Road  
 MOONAH



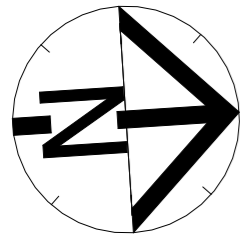
SHEET	DRAWING TITLE
01	EXISTING / DEMOLITION SITE PLAN
01a	SURVEY NOTES
01b	BOUNDARY ADHERE PLAN
01c	B PROPOSED SITE PLAN
01d	B DRAINAGE PLAN
01e	B MANOEUVRING PLAN SHEET 01
01f	B MANOEUVRING PLAN SHEET 02
01g	B PERSPECTIVE VIEWS
01h	C U1 PRIVATE OPEN SPACE DETAILS
02	B U3 FLOOR PLAN
03	B U3 ELEVATIONS
04	U4 FLOOR PLAN
05	A U4 ELEVATIONS

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SITE IS NOT BUSHFIRE PRONE AREA AS PER TASMANIAN PLANNING SCHEME OVERLAY - GLENORCHY.  
 No additional restrictions for construction methods / materials apply.

No.	Amendment	Date	Drawn	Checked	Sheet	Notes	Designer:	Client / Project info	Soil Classification:	M	COVER SHEET			
C	Provided section and site plan demonstrating compliance to 8.4.4 -A1 (a) to existing U1 private open space.	27 Aug.024	KV	ST	01h	<ul style="list-style-type: none"> <li>Builder to verify all dimensions and levels on site prior to commencement of work</li> <li>All work to be carried out in accordance with the current National Construction Code.</li> <li>All materials to be installed according to manufacturers specifications.</li> <li>Do not scale from these drawings.</li> <li>No changes permitted without consultation with designer.</li> </ul>	ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED UNIT DEVELOPMENT 148 - 150 Albert Road MOONAH	CT61507/20 & 61507/21	Refer to floor plans	Date	15 May 2024	Sheet	WH713935
B	Raise garage FFL for U3 and update driveway as per civil plans, Update drainage plan and add note regarding driveway drainage & connections, Update all relevant plans.	08 Aug. 24	KV	ST	01c - 03				Wind Speed:	N1				
A	Remove subfloor cladding for both units and show dwellings on post, Update all relevant plans.	24 May 2024	KV	ST	01g,03 & 05				Climate Zone:	7				
	DA PLAN SET	15 May 2024	KV	ST	01 - 05				Alpine Zone:	N/A				
									Corrosion Environment:	HIGH				
						Certified BAL:	Not Bushfire prone							
						Designated BAL:	Not Bushfire prone							
								(Refer to Standard Notes for Explanation)						





BDY A - Compiled boundary 15.24m  
BDY B - Compiled boundary 17.68m

Upstream Stormwater Main  
Inv RL:8.30  
(44.93m to Upstream Invert)

ALBERT ROAD  
Bitumen Road

Elec Pole  
Lowest Wire  
RL:14.30

BENCH MARK  
R/Set In Kerb  
RL:8.68

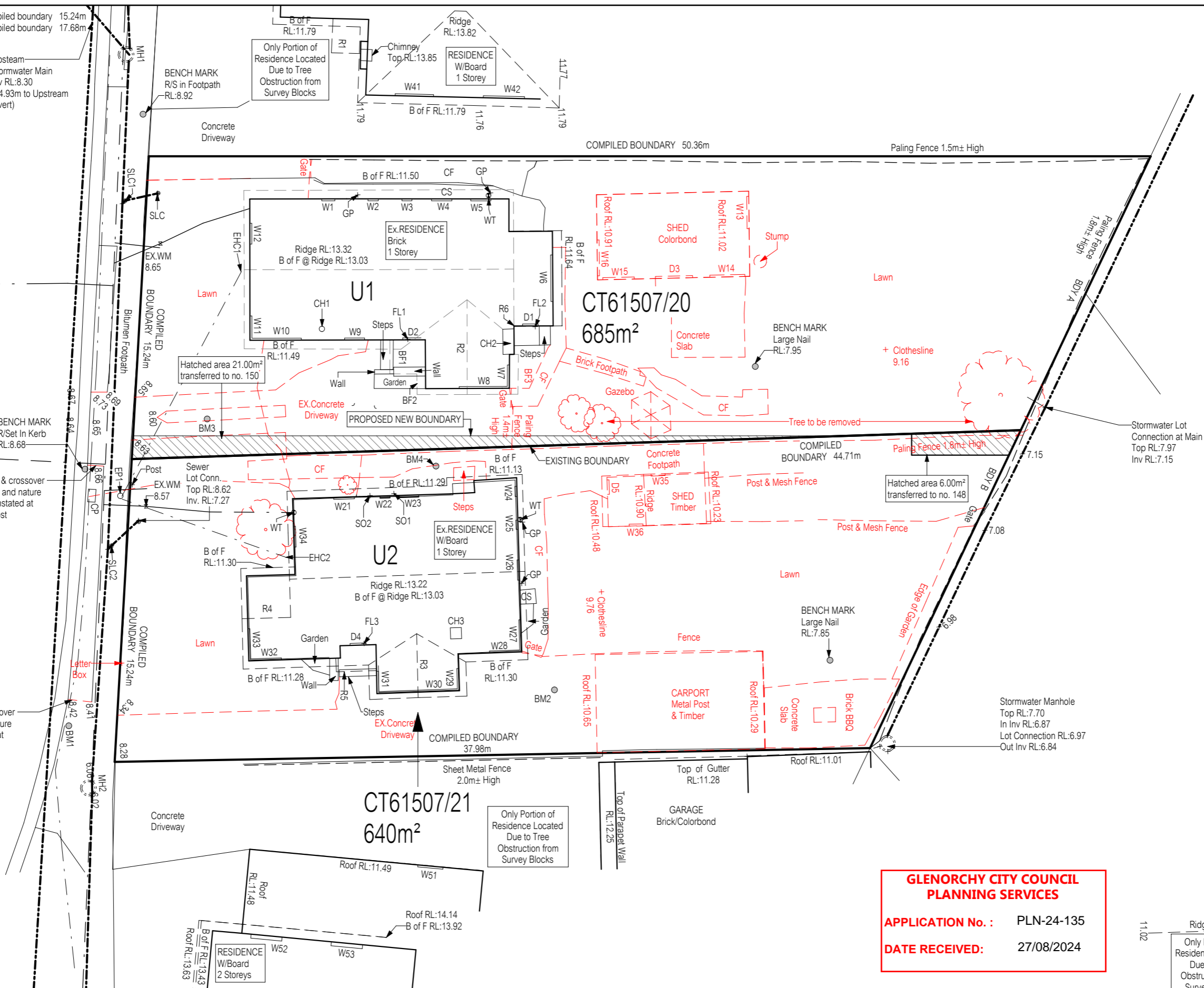
Existing apron & crossover  
to be removed and nature  
strip / path reinstated at  
developer's cost

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to be removed and nature  
strip / path reinstated at  
developer's cost

Only Portion of  
Residence Located  
Due to Tree  
Obstruction from  
Survey Blocks

Only Portion of  
Residence Located  
Due to Tree  
Obstruction from  
Survey Blocks

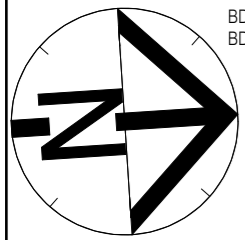
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Residence Located  
Due to Tree  
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<p>--- To be Demolished</p>			<p>Notes</p> <ul style="list-style-type: none"> <li>• Builder to verify all dimensions and levels on site prior to commencement of work</li> <li>• All work to be carried out in accordance with the current National Construction Code.</li> <li>• All materials to be installed according to manufacturers specifications.</li> <li>• Do not scale from these drawings.</li> <li>• No changes permitted without consultation with designer.</li> </ul>	<p>Designer:</p> <p>ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au</p>	<p>Client / Project info</p> <p>PROPOSED UNIT DEVELOPMENT 148 - 150 Albert Road MOONAH</p>		<p>EXISTING / DEMOLITION SITE PLAN</p>	
<p>No.</p>	<p>Date</p>	<p>Int.</p>	<p>Amendment changes as per cover sheet</p>		<p>Drawn KV</p>		<p>WH713935</p>	
						<p>Date 03 May 2024</p>	<p>Sheet</p>	
						<p>Scale 1:200</p>	<p>01/05</p>	



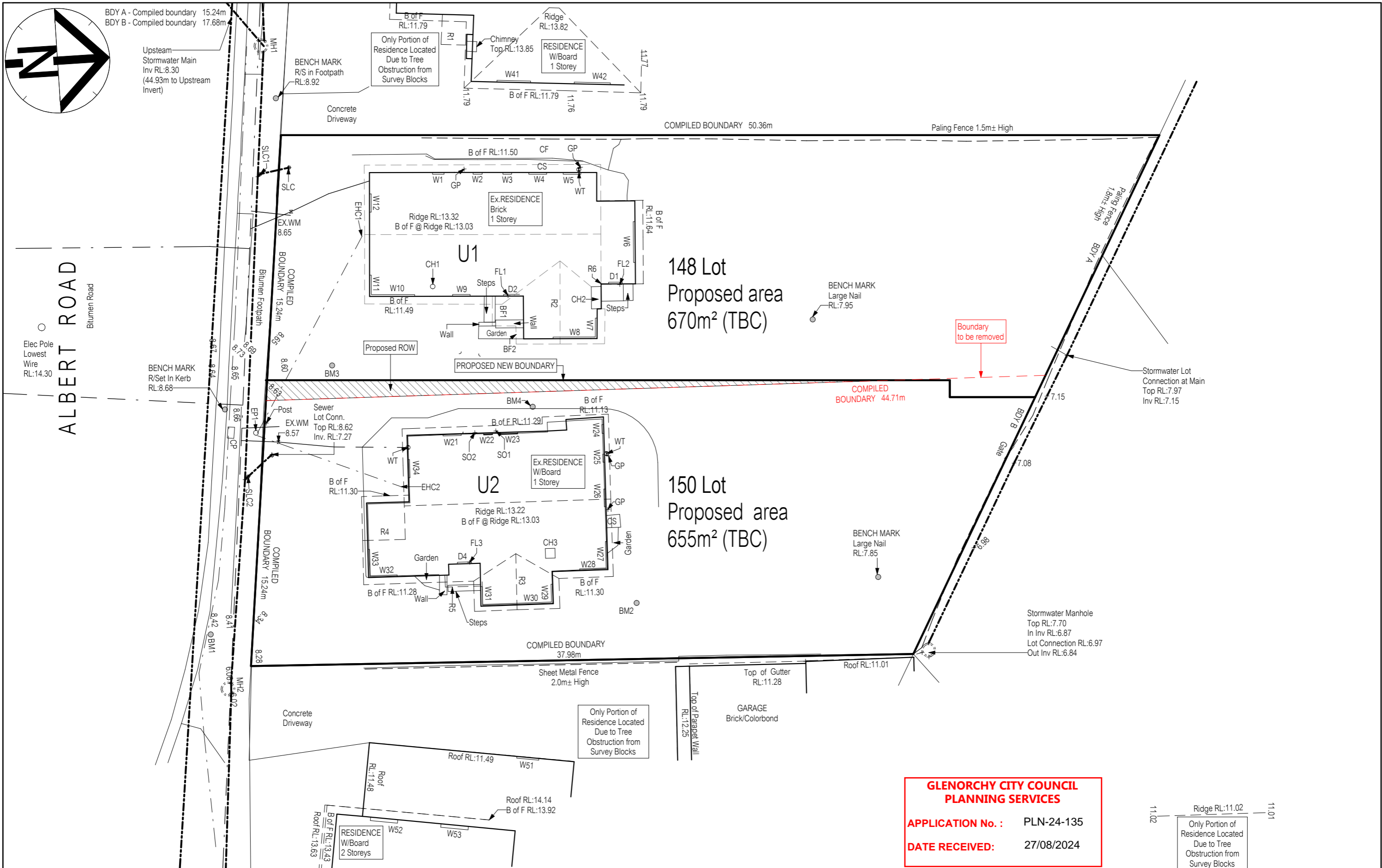
BDY A - Compiled boundary 15.24m  
BDY B - Compiled boundary 17.68m

Upstream  
Stormwater Main  
Inv RL:8.30  
(44.93m to Upstream  
Invert)

**ALBERT ROAD**  
Bitumen Road

Elec Pole  
Lowest  
Wire  
RL:14.30

BENCH MARK  
R/Set In Kerb  
RL:8.68



148 Lot  
Proposed area  
670m<sup>2</sup> (TBC)

150 Lot  
Proposed area  
655m<sup>2</sup> (TBC)

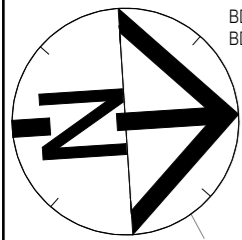
**GLENORCHY CITY COUNCIL  
PLANNING SERVICES**

**APPLICATION No. :** PLN-24-135  
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Ridge RL:11.02  
Only Portion of  
Residence Located  
Due to Tree  
Obstruction from  
Survey Blocks

No.	Date	Int.	Amendment changes as per cover sheet	Notes	Designer:	Client / Project info		BOUNDARY ADHERE PLAN	
				<ul style="list-style-type: none"> <li>Builder to verify all dimensions and levels on site prior to commencement of work</li> <li>All work to be carried out in accordance with the current National Construction Code.</li> <li>All materials to be installed according to manufacturers specifications.</li> <li>Do not scale from these drawings.</li> <li>No changes permitted without consultation with designer.</li> </ul>	ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED UNIT DEVELOPMENT 148 - 150 Albert Road MOONAH		Drawn KV Date 15 May 2024 Scale 1:200	WH713935 Sheet 01b/05





BDY A - Compiled boundary 15.24m  
BDY B - Compiled boundary 17.68m

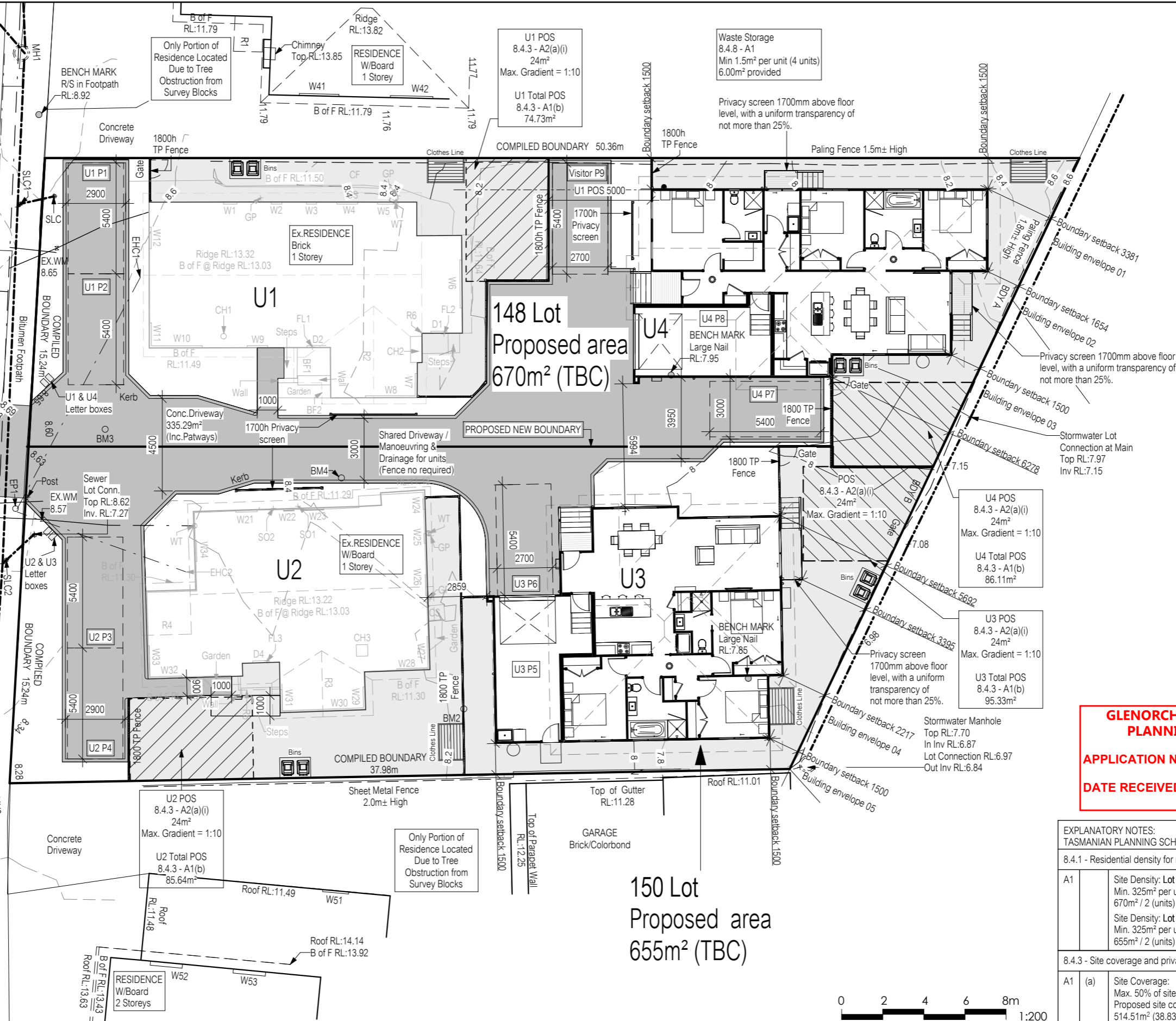
Upstream Stormwater Main  
Inv RL:8.30  
(44.93m to Upstream Invert)

U3 FFL 9.10  
U3 Garage FFL 8.30  
U4 Garage FFL 8.10  
U4 FFL 9.00

ALBERT ROAD  
Blumen Road

Elec Pole Lowest Wire RL:14.30

Proposed apron & crossover to be installed in accordance with the LGAT Tasmanian Standard Drawings (TSD-R09 & TSD-E01).



148 Lot  
Proposed area  
670m<sup>2</sup> (TBC)

150 Lot  
Proposed area  
655m<sup>2</sup> (TBC)

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EXPLANATORY NOTES:  
TASMANIAN PLANNING SCHEME - GLENORCHY

8.4.1 - Residential density for multiple dwellings	
A1	Site Density: Lot 148 Min. 325m <sup>2</sup> per unit 670m <sup>2</sup> / 2 (units) = 335.00m <sup>2</sup> provided Site Density: Lot 150 Min. 325m <sup>2</sup> per unit 655m <sup>2</sup> / 2 (units) = 327.5m <sup>2</sup> provided
8.4.3 - Site coverage and private open space for all dwellings	
A1 (a)	Site Coverage: Max. 50% of site = 662.5m <sup>2</sup> Proposed site coverage (excl. eaves up to 0.6m): 514.51m <sup>2</sup> (38.83%)



B	08 Aug. 24	KV
No.	Date	Int.

Amendment changes as per cover sheet

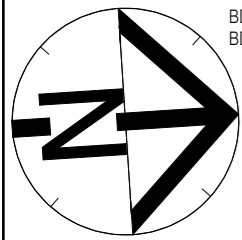
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Designer:  
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Fx: (03) 6231 4166  
Email:  
info@anotherperspective.com.au

Client / Project info  
PROPOSED UNIT DEVELOPMENT  
148 - 150 Albert Road  
MOONAH



PROPOSED SITE PLAN		
Drawn	KV	WH713935
Date	03 May 2024	Sheet
Scale	1:200	01c/05



BDY A - Compiled boundary 15.24m  
BDY B - Compiled boundary 17.68m

Upstream  
Stormwater Main  
Inv RL:8.30  
(44.93m to Upstream  
Invert)

BENCH MARK  
R/S in Footpath  
RL:8.92

148 Lot  
Proposed area  
670m<sup>2</sup> (TBC)

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DRAINAGE LEGEND		
Abbreviation	Fixture	Min. Outlet Size
B	Basin	400
Bth	Bath	400
Shr	Shower	400 (Note 3)
S	Sink	500
Tr	Trough	400
WC	Water Closet Pan	1000
d.p.	Downpipe	900
ORG	Overflow Relief Gully	1000
FWG	Floor Waste Gully	650 (Note 2)

--- Sewer Line (1000 UPVC)  
(unless noted otherwise)  
--- Stormwater Line (1000 UPVC)  
(unless noted otherwise)  
--- Stormwater Line (1500 UPVC)  
(unless noted otherwise)

NOTES:  
1. Flexible connections are to be installed on any pipes emerging from beneath the building in accordance with AS2870 & AS/NZS3500.2:2021.  
2. Untrapped Bath tub pipe to connect to FWG if trap not accessible from below or access panel.  
3. 500 required for multiple shower heads.  
4. Showers to comply with N.C.C. 10.2.14.  
5. Falls to floor waste to be minimum 1:80 & maximum 1:50

Note  
SW connection to be upgraded to 150 subject to engineer advice

**ALBERT ROAD**  
Blumen Road

Elec Pole  
Lowest  
Wire  
RL:14.30

BENCH MARK  
R/Set In Kerb  
RL:8.68

- All works are to be in accordance with the Water Supply Code of Australia WSA 03-2011-3.1 MRWA Edition V2.0 and Sewerage Code of Australia Melbourne Retail Water Agencies Code WSA 02-2014-3.1 MRWA Version 2.0 and TasWater's supplements to the codes.

NOTES:  
- Any modifications (including installation of a meter) to the existing property water service shall be undertaken by TasWater at the developers cost  
- Meters and check valves detailed are to be provided by TasWater at the developer's cost.

- Upgrade existing DN25mm (ID20) water connection to new DN32mm (ID25) PN16 PE water connection with 2 x (each lot) DN20 water meters on a manifold as per TWS-W-0002 - Sheet 02 & 09. Below ground low hazard installed by TasWater's contractor.

- Water connections separated by manifold provided by TasWater

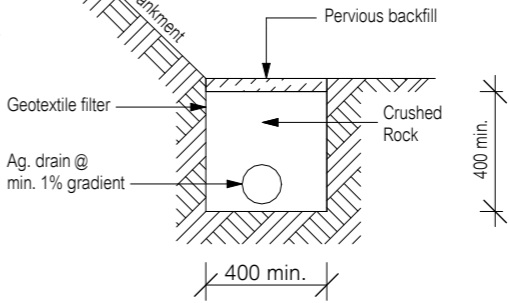
- Property services shall be located at a point where the Gate Valve to be located 500mm inside the front property boundary and 500mm from the edge of the driveway towards the centre of the lot in accordance with TasWater Water Metering Guidelines.

Note  
SW and Sewer shown to i.o. only refer to eng. civil plans for driveway drainage and connections to existing services

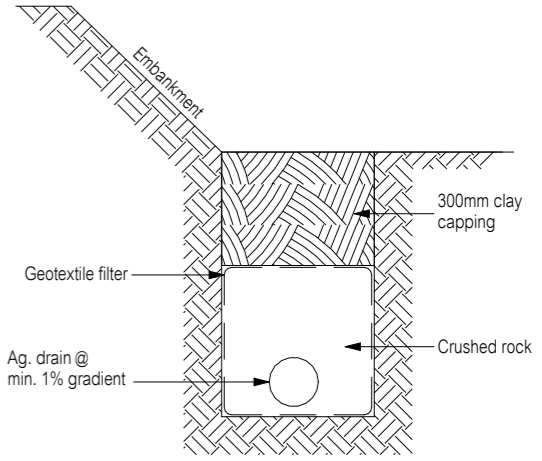
Where ag drain is < 1.5m from footing, the following engineering principles are required:

1. Ag drain to be capped with 300mm of clay to prevent ingress of surface run-off unless it is under a paving slab etc (ag drains are designed for removal of ground water, surface water should be dealt with separately).
2. Ag drain to have a minimum 1% fall to a grated pit which drains to the stormwater system.
3. Install a geotextile filter sock to the slotted drain, and enclose the whole drain in geofabric (to the underside of clay capping).
4. Provide additional grated pits / or inspection openings along the length of the ag drain and at the high point to make the effect of a blockage visible and enable a blockage to be cleared.

150 Lot  
Proposed area  
655m<sup>2</sup> (TBC)



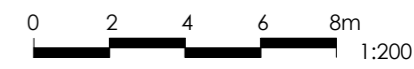
TYPICAL AG. DRAIN DETAIL (<1800 FROM HOUSE)  
Not to scale



TYPICAL AG. DRAIN DETAIL (>1800 FROM HOUSE)  
Not to scale

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ROOF DRAINAGE NOTE:  
Min. medium rectangular gutter & min. 90a downpipe specified as per N.C.C. part 7.4. These sizes and downpipe quantities are based on a max. roof catchment area of 70m<sup>2</sup>



Soil classification:	M		- Wet areas to comply with NCC 10.2 and AS3740
Refer to Soil Report for nominated founding depth and description of founding material.			
All Materials and construction to comply with AS/NZ3500 Part 2 & Part 3			

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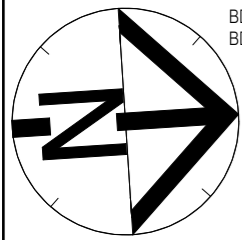
Client / Project info  
PROPOSED UNIT DEVELOPMENT  
148 - 150 Albert Road  
MOONAH



DRAINAGE PLAN		
Drawn	KV	WH713935
Date	15 May 2024	Sheet
Scale	1:200	01d/05

B	08 Aug. 24	KV
No.	Date	Int.





BDY A - Compiled boundary 15.24m  
BDY B - Compiled boundary 17.68m

ALBERT ROAD

Bitumen Road

Bitumen Footpath

BOUNDARY 15.24m

BOUNDARY 15.24m

COMPILED BOUNDARY 50.36m

Paling Fence 1.5m± High

Paling Fence 1.8m± High

BDY A

BDY B Gate

Shared Driveway /  
Manoeuvring &  
Drainage for units  
(Fence no required)

COMPILED BOUNDARY 37.98m

Sheet Metal Fence 2.0m± High

U1 P1

U1 P2

U2 P3

U2 P4

U1

U2

U3 P6

U3 P5

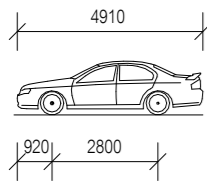
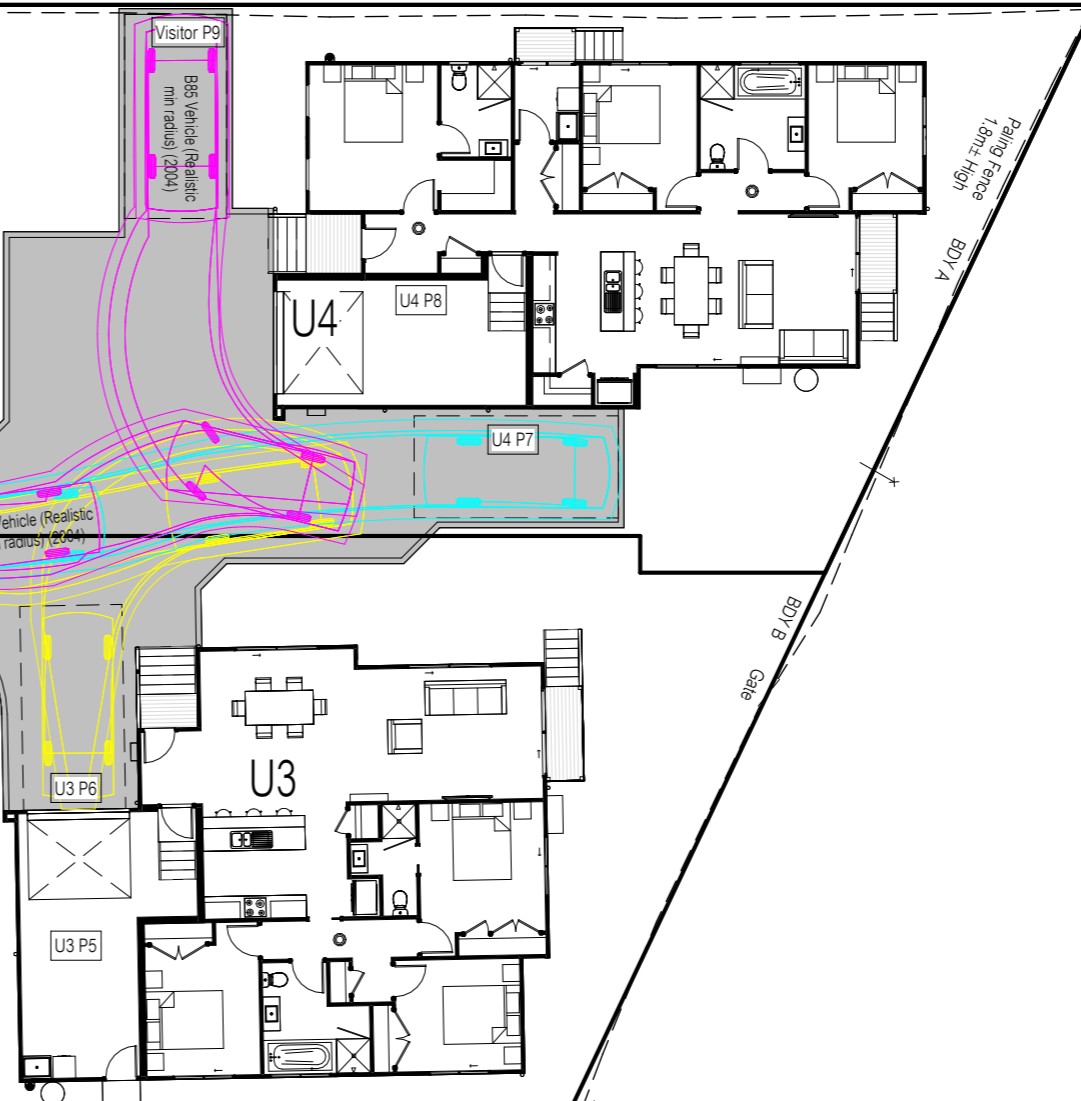
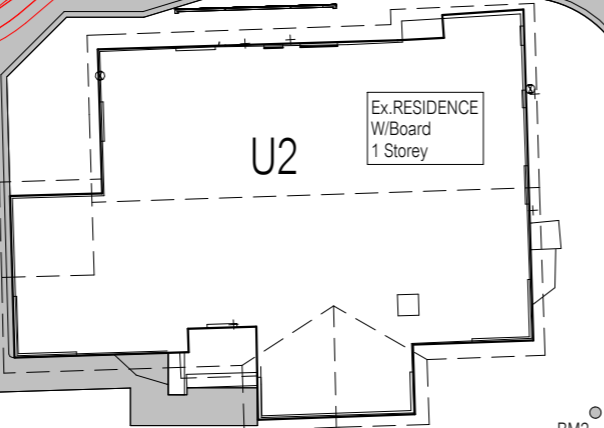
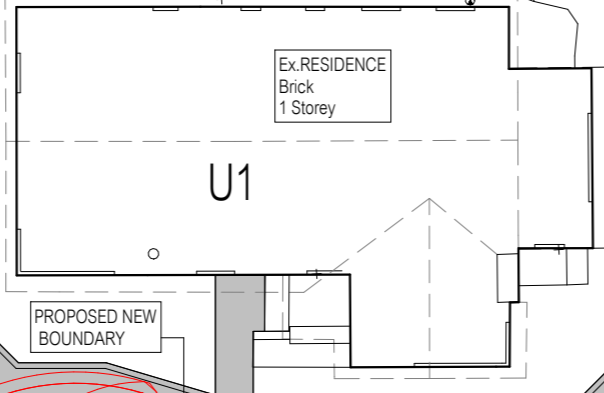
U3

U4

U4 P6

U4 P7

Visitor P9



B85 Vehicle (Realistic min radius) (2004)  
Overall Length 4.910m  
Overall Width 1.870m  
Overall Body Height 1.421m  
Min Body Ground Clearance 0.159m  
Track Width 1.770m  
Lock to Lock Time 4.00s  
Curb to Curb Turning Radius 5.750m

\* Manoeuvring has been achieved using 'autotrack 10' Manoeuvring software.

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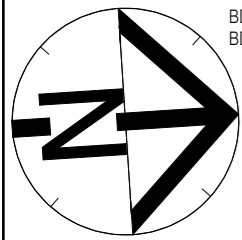
Client / Project info  
PROPOSED UNIT DEVELOPMENT  
148 - 150 Albert Road  
MOONAH



MANOEUVRING PLAN SHEET 01		
Drawn	KV	WH713935
Date	03 May 2024	Sheet
Scale	1:200	01e/05

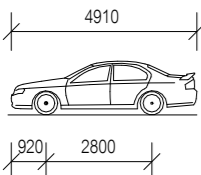
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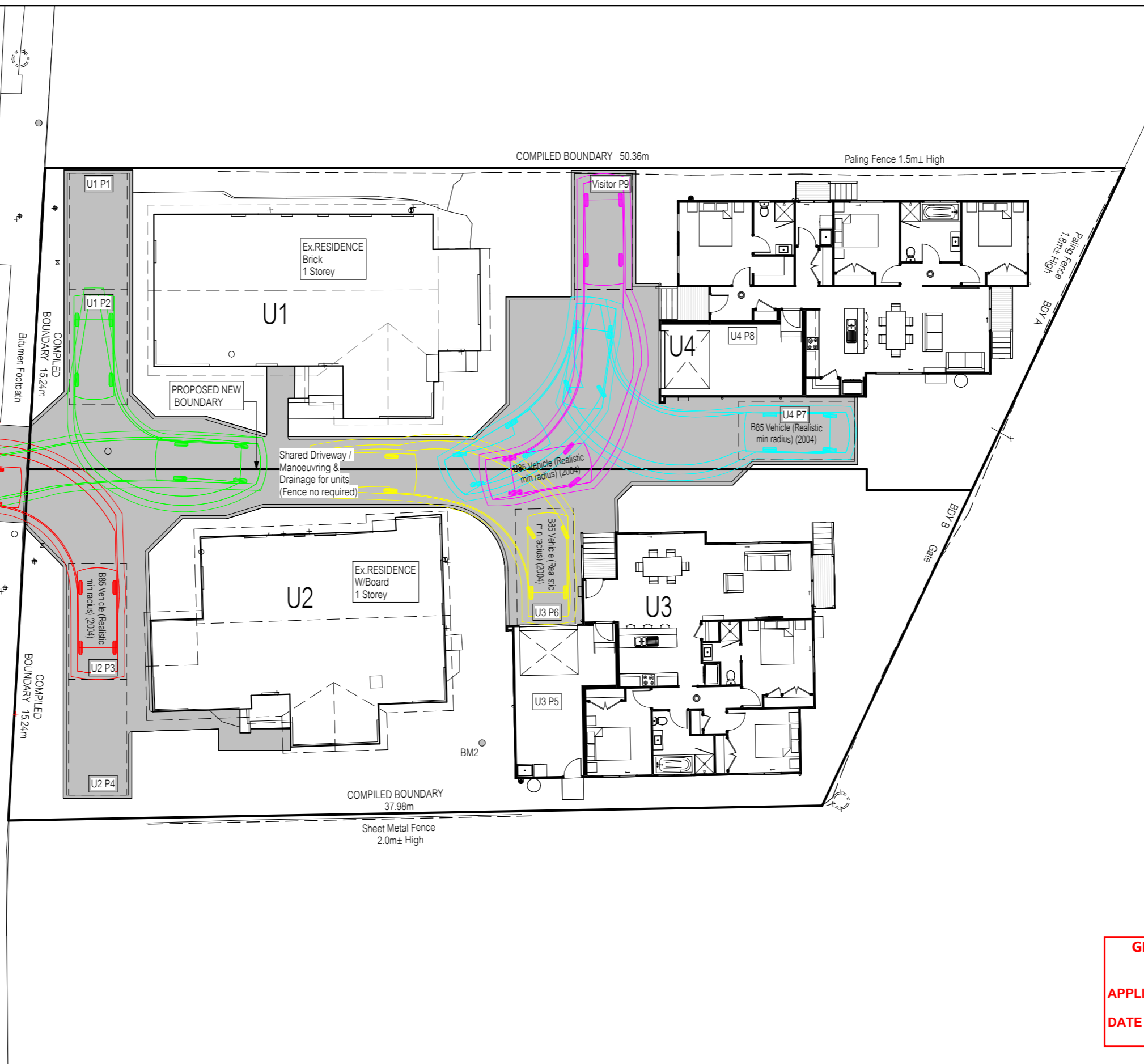
BDY A - Compiled boundary 15.24m  
BDY B - Compiled boundary 17.68m

ALBERT ROAD  
Bitumen Road



B85 Vehicle (Realistic min radius) (2004)  
Overall Length 4.910m  
Overall Width 1.870m  
Overall Body Height 1.421m  
Min Body Ground Clearance 0.159m  
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Curb to Curb Turning Radius 5.750m

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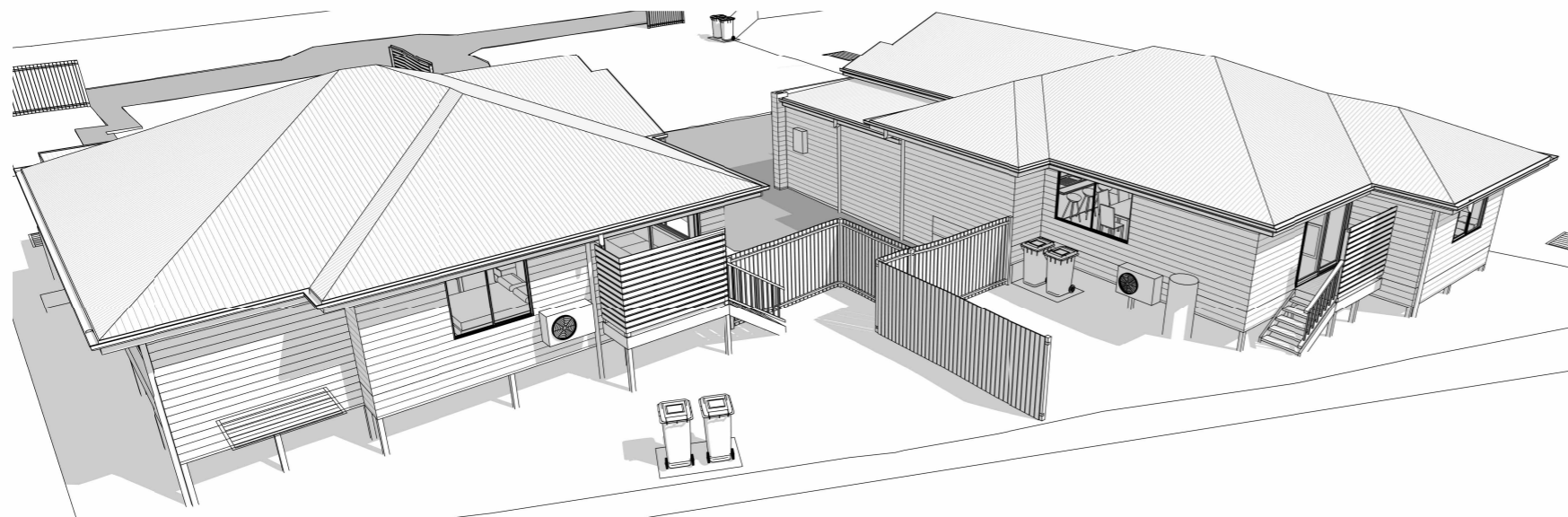
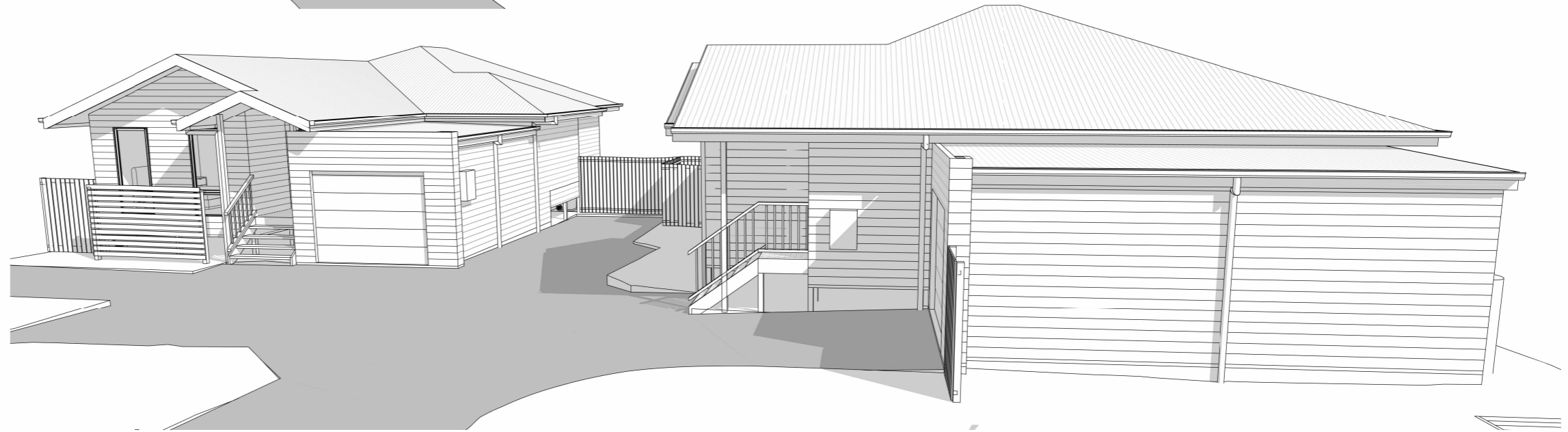
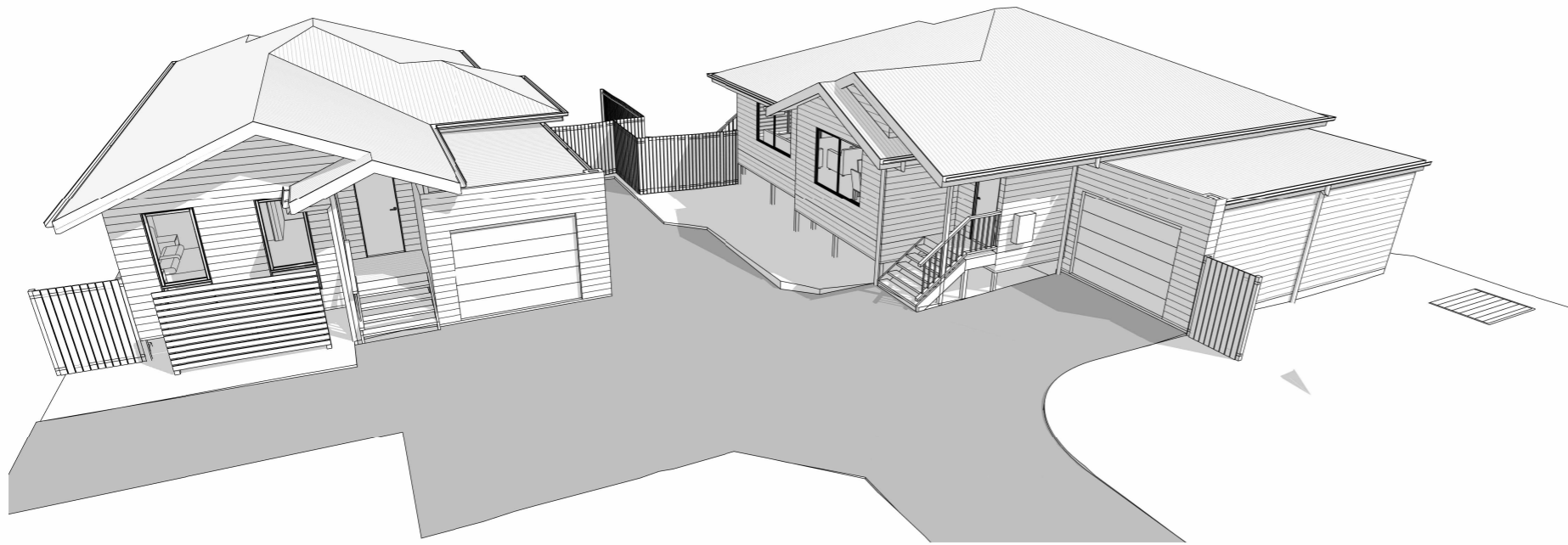
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Fx: (03) 6231 4166  
Email:  
info@anotherperspective.com.au

Client / Project info  
PROPOSED UNIT DEVELOPMENT  
148 - 150 Albert Road  
MOONAH



MANOEUVRING PLAN SHEET 02		
Drawn	KV	WH713935
Date	03 May 2024	Sheet
Scale	1:200	01f/05





**GLENORCHY CITY COUNCIL  
PLANNING SERVICES**

**APPLICATION No. :** PLN-24-135

**DATE RECEIVED:** 27/08/2024

B	08 Aug. 24	KV
A	24 May 2024	KV
No.	Date	Int.

Amendment changes as per cover sheet

Shadows shown for stylisations purpose only

- Notes
- Builder to verify all dimensions and levels on site prior to commencement of work
  - All work to be carried out in accordance with the current National Construction Code.
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**Designer:**

ANOTHER PERSPECTIVE PTY LTD  
PO BOX 21  
NEW TOWN  
LIC. NO. 685230609 (S. Turvey)  
Ph: (03) 6231 4122  
Fx: (03) 6231 4166  
Email:  
info@anotherperspective.com.au

**Client / Project info**

PROPOSED UNIT DEVELOPMENT  
148 - 150 Albert Road  
MOONAH

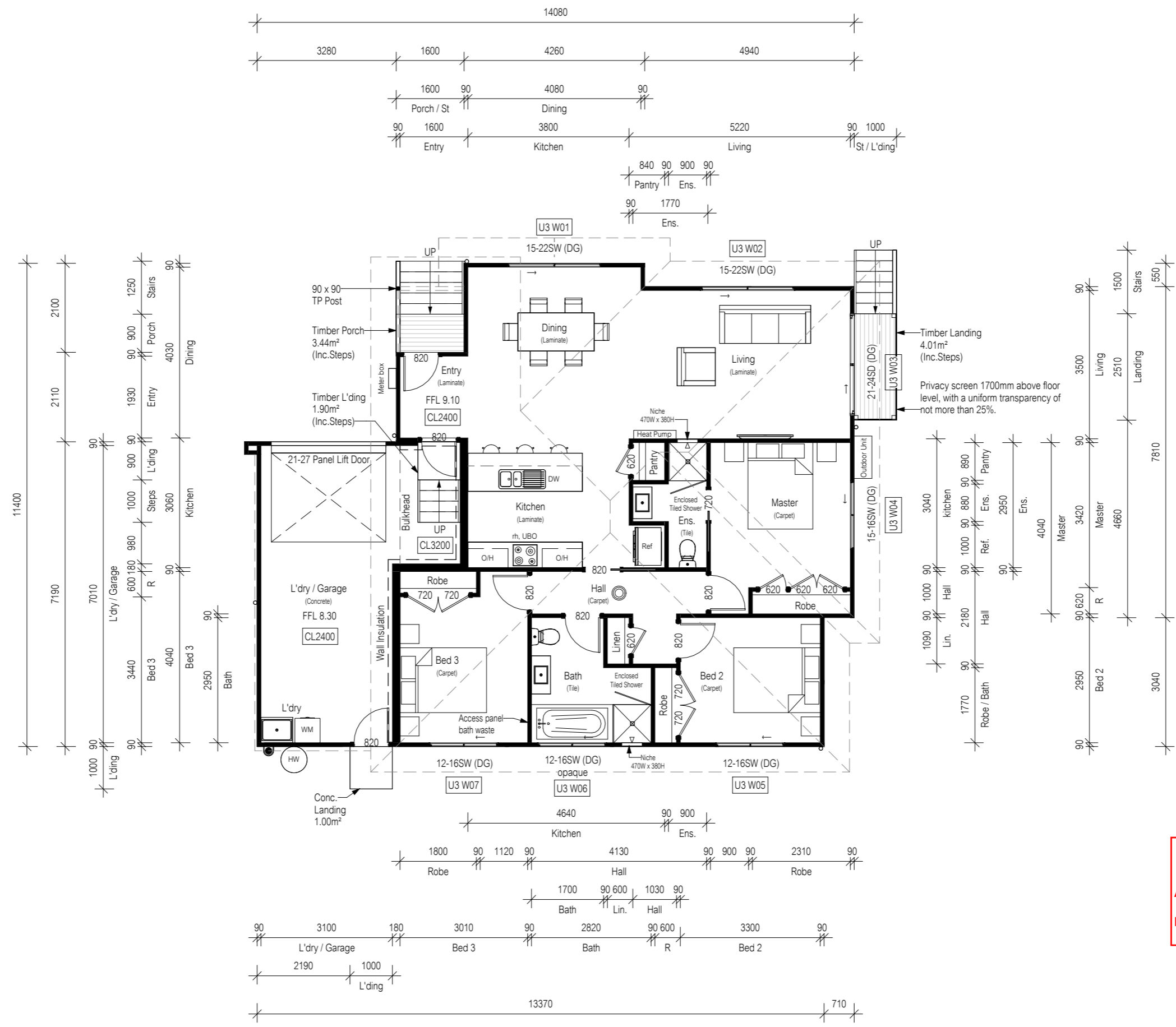
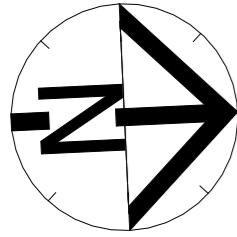


**PERSPECTIVE VIEWS**

Drawn	KV	WH713935
Date	15 May 2024	Sheet
Scale		01g/05
Copyright ©		



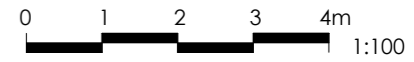




**GLENORCHY CITY COUNCIL  
PLANNING SERVICES**

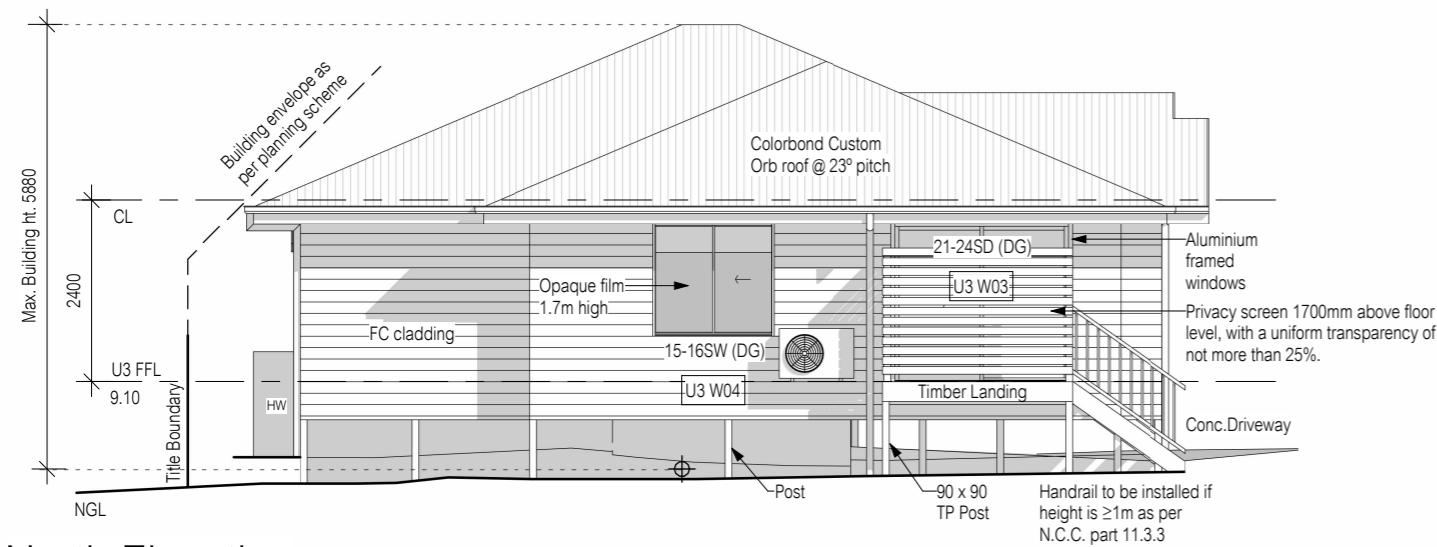
**APPLICATION No. :** PLN-24-135

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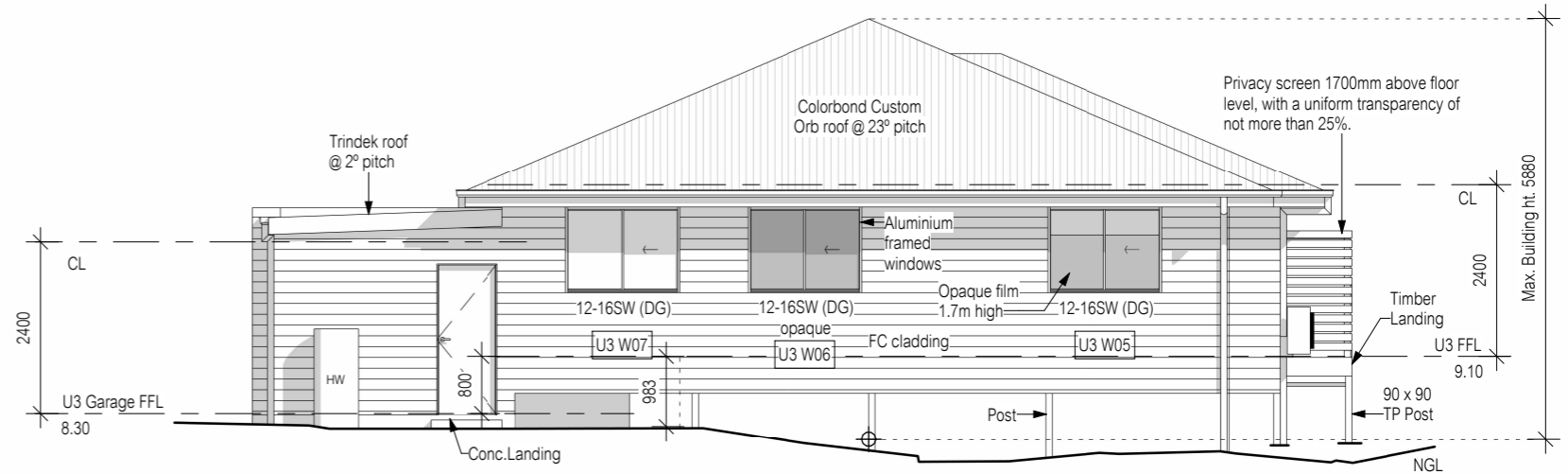
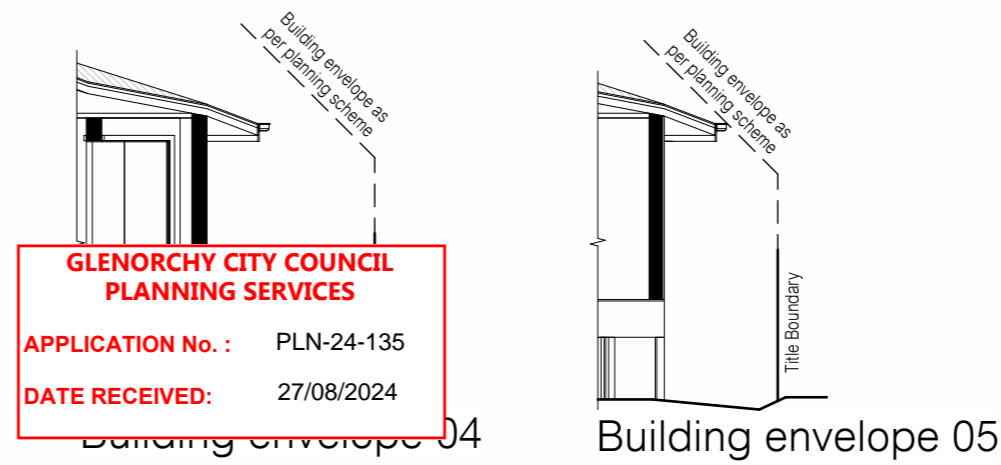


<p>Floor Area = 138.47m<sup>2</sup></p> <p>Articulation joints</p> <p>Smoke Alarm (interconnected where more than 1)</p>	<p>All window sizes to be checked and/or confirmed on site prior to ordering glazing units</p>	<p>Notes</p> <ul style="list-style-type: none"> <li>• Builder to verify all dimensions and levels on site prior to commencement of work</li> <li>• All work to be carried out in accordance with the current National Construction Code.</li> <li>• All materials to be installed according to manufacturers specifications.</li> <li>• Do not scale from these drawings.</li> <li>• No changes permitted without consultation with designer.</li> </ul>	<p>Designer:</p> <p>ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au</p>	<p>Client / Project info</p> <p>PROPOSED UNIT DEVELOPMENT 148 - 150 Albert Road MOONAH</p>		<p><b>U3 FLOOR PLAN</b></p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td>Drawn</td> <td>KV</td> <td>WH713935</td> </tr> <tr> <td>Date</td> <td>03 May 2024</td> <td>Sheet</td> </tr> <tr> <td>Scale</td> <td>1:100</td> <td rowspan="2" style="font-size: 2em; font-weight: bold;">02/05</td> </tr> <tr> <td colspan="2" style="text-align: right;">Copyright ©</td> </tr> </table>	Drawn	KV	WH713935	Date	03 May 2024	Sheet	Scale	1:100	02/05	Copyright ©	
Drawn	KV	WH713935															
Date	03 May 2024	Sheet															
Scale	1:100	02/05															
Copyright ©																	

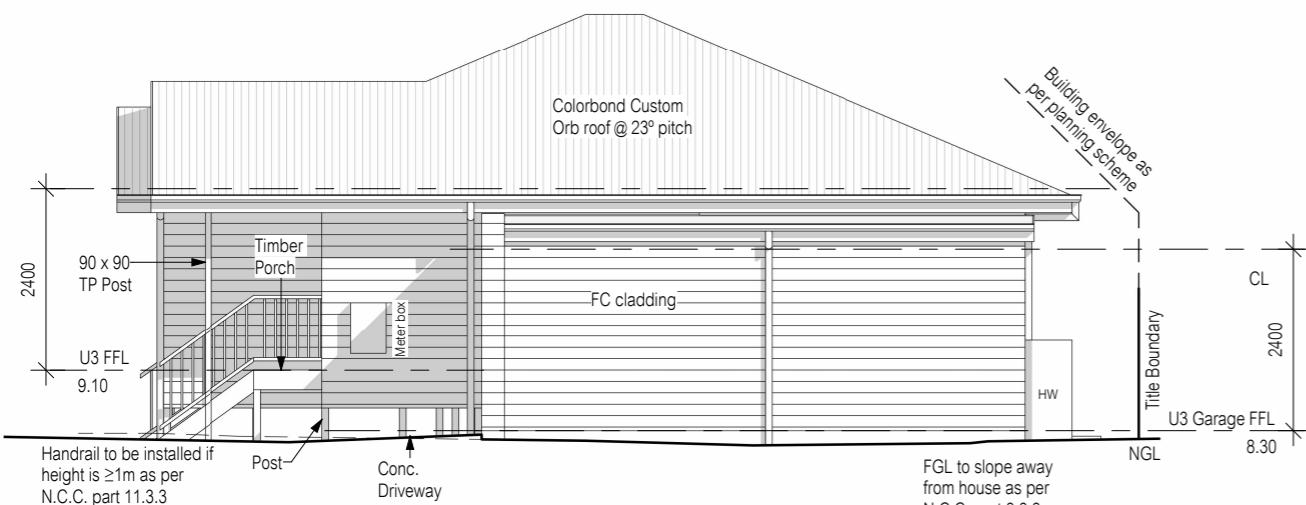
B	08 Aug. 24	KV
No.	Date	Int.



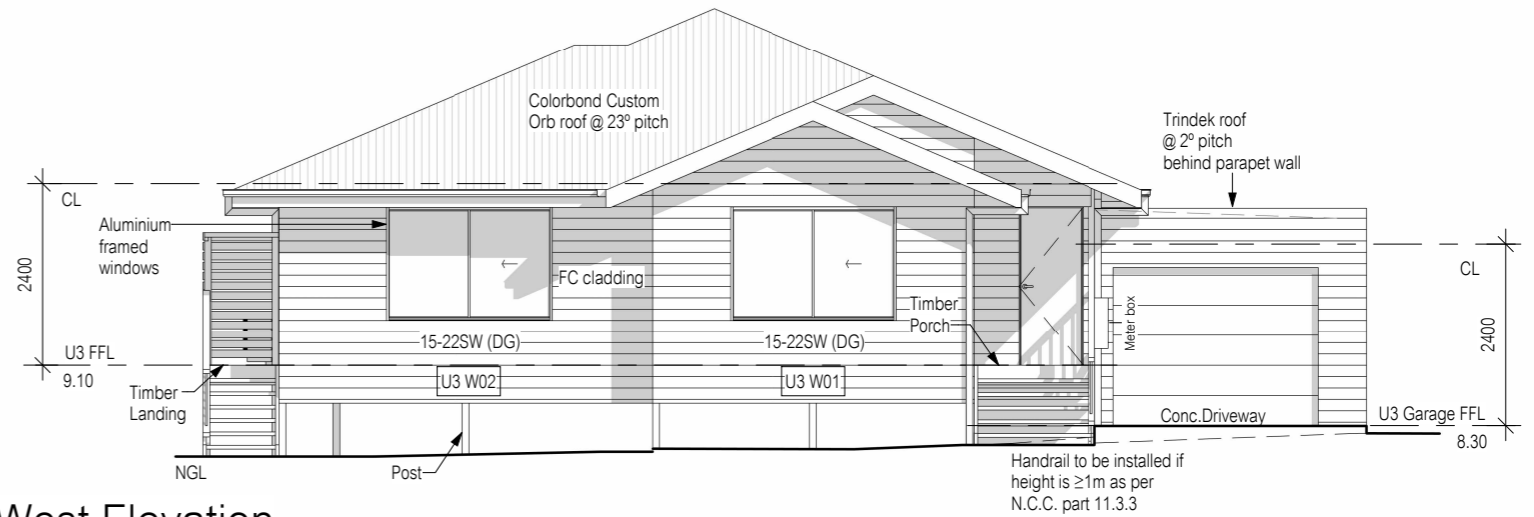
North Elevation



East Elevation



South Elevation



West Elevation

All window sizes to be checked and/or confirmed on site prior to ordering glazing units

LEGEND:

AJ - Articulation Joint  
BV - Brick Vent

Shadows shown for stylisation purposes only

Notes

- Builder to verify all dimensions and levels on site prior to commencement of work
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Client / Project info

PROPOSED UNIT DEVELOPMENT  
148 - 150 Albert Road  
MOONAH



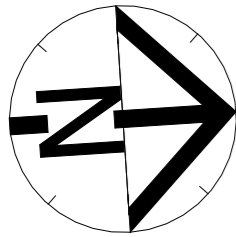
U3 ELEVATIONS

Drawn	KV	WH713935
Date	15 May 2024	Sheet
Scale	1:100	

03/05

B	08 Aug. 24	KV
A	24 May 2024	KV
No.	Date	Int.

Amendment changes as per cover sheet



**GLENORCHY CITY COUNCIL  
PLANNING SERVICES**

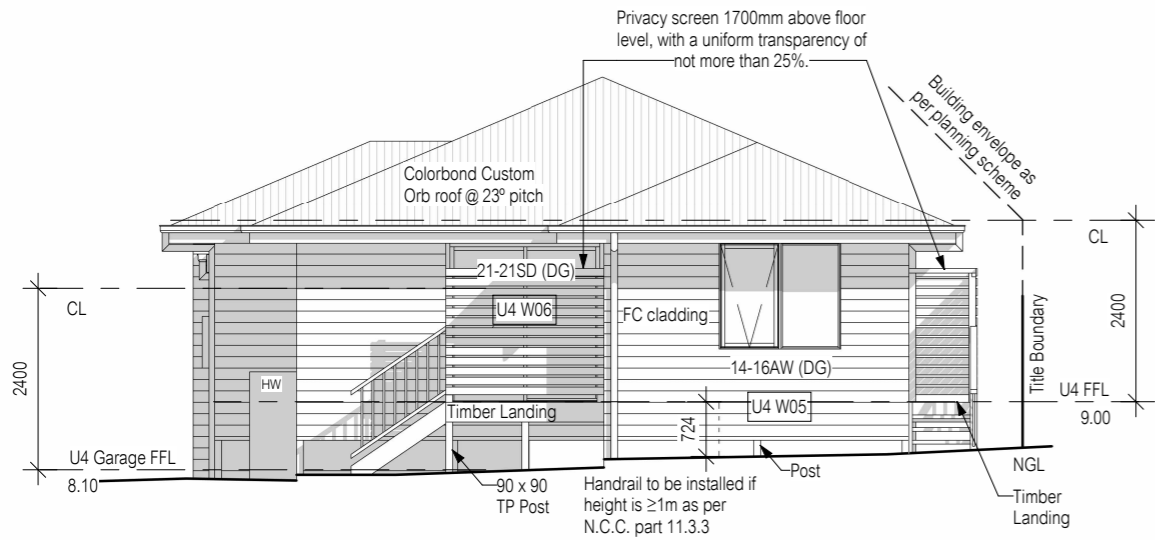
**APPLICATION No. :** PLN-24-135

**DATE RECEIVED:** 27/08/2024

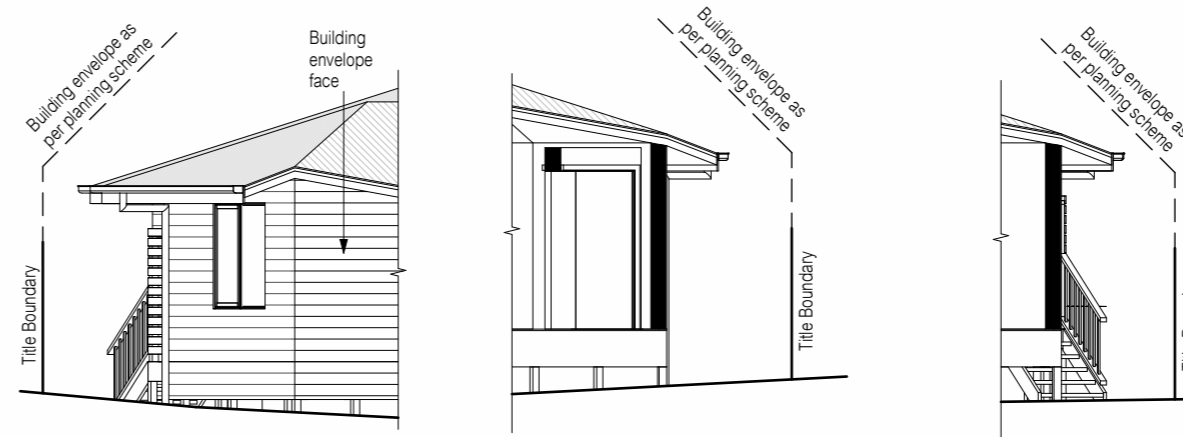


Floor Area = 136.00m <sup>2</sup> Articulation joints Smoke Alarm (interconnected where more than 1)	All window sizes to be checked and/or confirmed on site prior to ordering glazing units	Notes • Builder to verify all dimensions and levels on site prior to commencement of work • All work to be carried out in accordance with the current National Construction Code. • All materials to be installed according to manufacturers specifications. • Do not scale from these drawings. • No changes permitted without consultation with designer.	<b>Designer:</b> ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	<b>Client / Project info</b> PROPOSED UNIT DEVELOPMENT 148 - 150 Albert Road MOONAH		<b>U4 FLOOR PLAN</b>	
			Drawn KV	WH713935			
			Date 03 May 2024	Sheet			
			Scale 1:100	<b>04/05</b>			
Amendment changes as per cover sheet			Copyright ©				





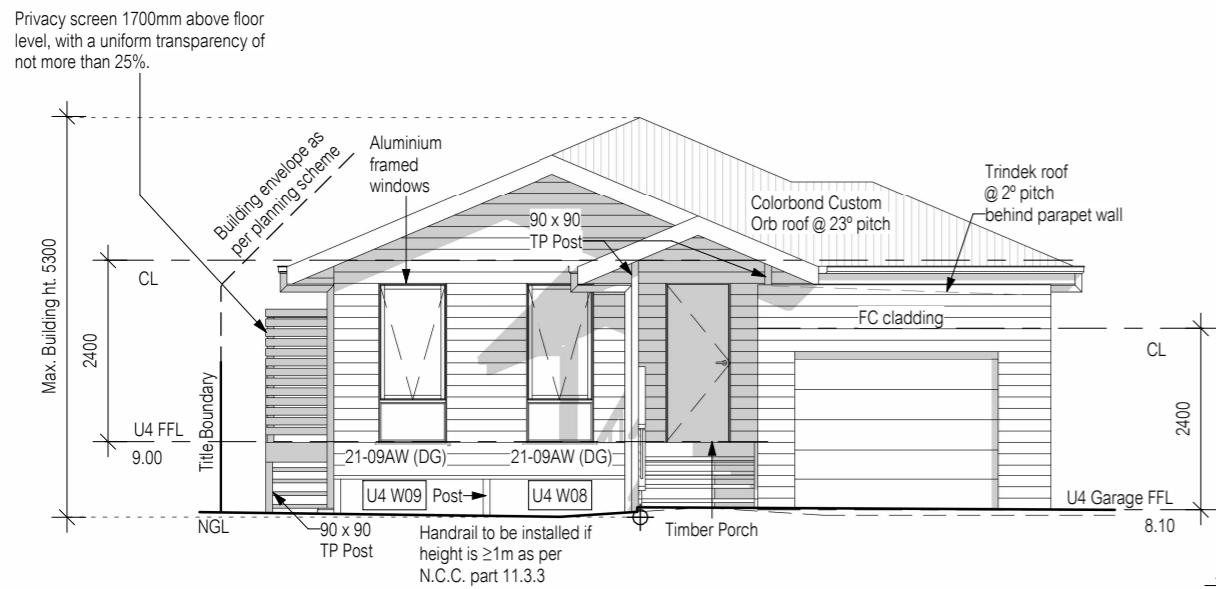
U4 North Elevation



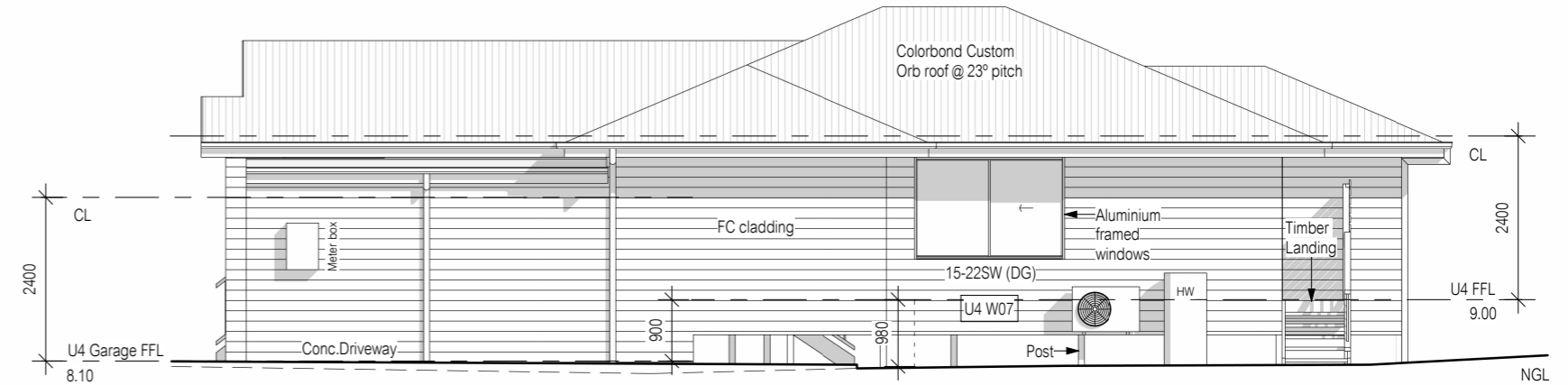
Building envelope 01    Building envelope 02    Building envelope 03

Material	Colour
Colorbond Roof	tbc
Face Brick	tbc
FC Sheet	tbc

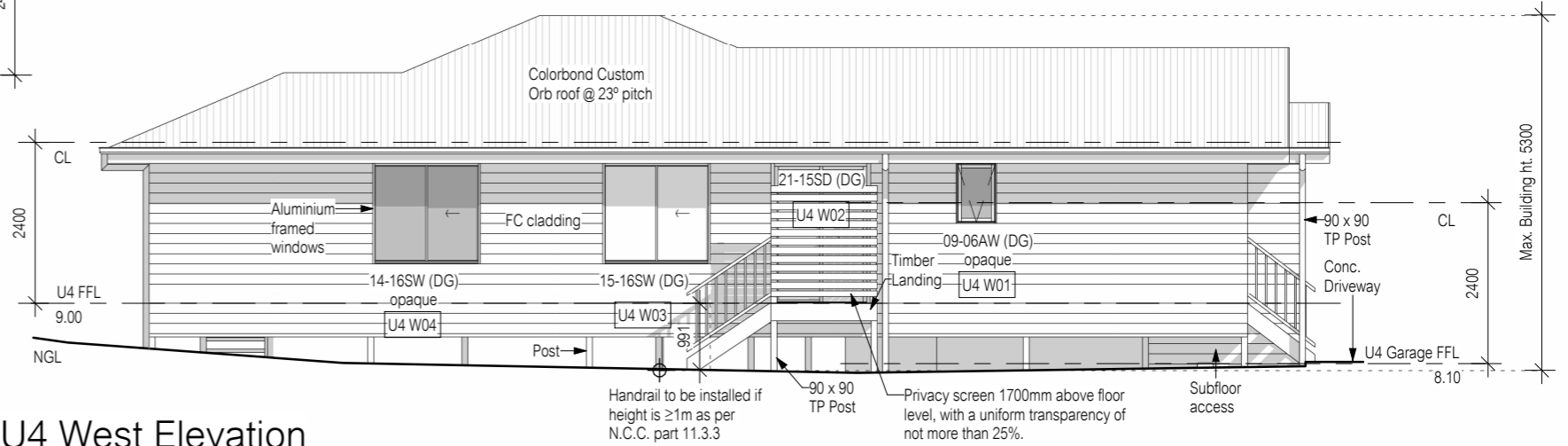
Note:  
Windows to be fitted with opaque film where the floor height is  $\geq 1\text{m}$  above existing ground level.



U4 South Elevation



U4 East Elevation



U4 West Elevation

**GLENORCHY CITY COUNCIL  
PLANNING SERVICES**

APPLICATION No. :    PLN-24-135

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All window sizes to be checked and/or confirmed on site prior to ordering glazing units

LEGEND:  
AJ - Articulation Joint  
BV - Brick Vent

Shadows shown for stylisation purposes only

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PROPOSED UNIT DEVELOPMENT  
148 - 150 Albert Road  
MOONAH



U4 ELEVATIONS		
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Copyright ©		05/05

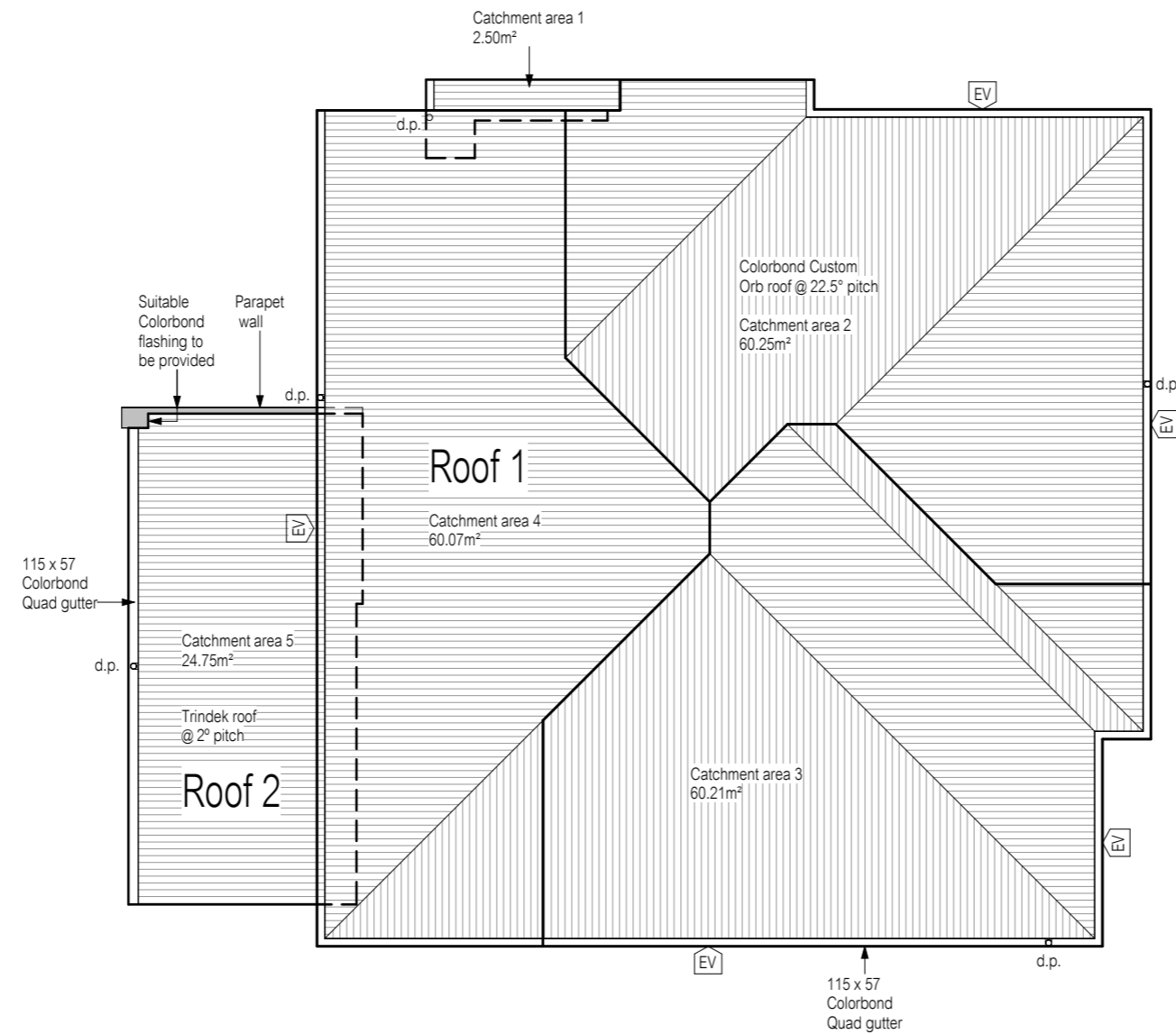
**GUTTER OVERFLOW REQUIREMENTS** as per N.C.C. Figure 7.4.6a:  
 Minimum slot opening area of 1200 mm<sup>2</sup> per metre of gutter and the lower edge of the slots installed a minimum of 25 mm below the top of the fascia.  
 The acceptable overflow capacity must be 0.5 L/s/m.

**Batten fixings:**  
 100mm type 17, 14g bugle screws to comply with AS1684, or refer to AS1684 for alternatives.

**Batten spacing:**  
 75 x 38 F8 @ 900 Centre

**Colorbond fixings:**  
 50mm M6 11 x 50 EPDM seal to comply with AS3566 or refer to AS3566 for alternatives.

Roof Sheet Area (Approx)	Fascia Length (Approx)
183.14m <sup>2</sup>	63.81m <sup>2</sup>



**ROOF VENTILATION GUIDE:**  
 Ventilation calculations must be read in conjunction with CBOS - Condensation in Buildings - Tasmanian Designers' Guide - Version 2 (published April 2019).

**Continuous gap:**

Supply	Exhaust
Continuous gap at eaves is: 25mm for <16° pitch 10mm for >16° pitch	Continuous gap at ridge is at least 5mm for all roof pitches

OR

**Roof vents:**  
 The minimum vent area should be:  
 a) Ceiling area/150 for <16° pitch, or  
 b) Ceiling area/300 for >16° pitch

Supply	Exhaust
75% of ventilation should be supply	25% of ventilation should be exhaust

Vent at gable should be within 900mm of ridge.

**ROOF VENTILATION CALCULATION Roof 2**

<b>Roof vents:</b>	
Ceiling Area:	21.19m <sup>2</sup>
Roof Pitch:	2°
Supply area required (75%):	0.10m <sup>2</sup>
Exhaust area required (25%):	0.03m <sup>2</sup>

**Example**

Vent Width	200mm
Vent Length	400mm
Vent area	0.08m <sup>2</sup>
Opening	50%
Supply number required	3 evenly spaced
Exhaust number required	Continuous 5mm gap to ridge

AS3959 compliant ember mesh and compressible blanket to ridge vents on jobs in BAL zones.

Position and quantity of downpipes are not to be altered without consultation with designer

Area's shown are surface areas / catchment areas, not plan areas.

**DOWNPIPE AND ROOF CATCHMENT AREA CALCULATIONS (as per AS/NZS 3500.3)**

Ah <sup>1</sup>	144.37	Area of Roof (excluding 115mm Quad gutter) (m <sup>2</sup> )
Ah <sup>2</sup>	149.20	Area of Roof (including 115mm Quad gutter) (m <sup>2</sup> )
Ac	180.53	Ah <sup>2</sup> x Slope factor (Table 3.2 from AS/NZS 3500.3) (m <sup>2</sup> )
Ae	6555	Cross sectional area of assumed 57 x 115 Quad Gutter. (mm <sup>2</sup> )
DRI	86.9	Design Rainfall Intensity (determined from Appendix D from AS/NZS 3500.3)
ACDP	76	Catchment area per Downpipe (determined from Figure 3.5.4(A) from AS/NZS 3500.3) (m <sup>2</sup> )
Required Downpipes	2.37	Ac ÷ Acdp
Downpipes Provided	4	2 Additional due to roof design

**Roof 1:**  
 EAVES VENT NOTE:  
 SEV2040W EAVE VENT (21,000mm<sup>2</sup>).  
 5 VENTS EVENLY SPACED

**GLENORCHY CITY COUNCIL PLANNING SERVICES**

**APPLICATION No. :** PLN-24-135

**DATE RECEIVED:** 27/08/2024

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	No.	Date	Int.	Amendment changes as per cover sheet										
	Drawn	KV	WH713935											
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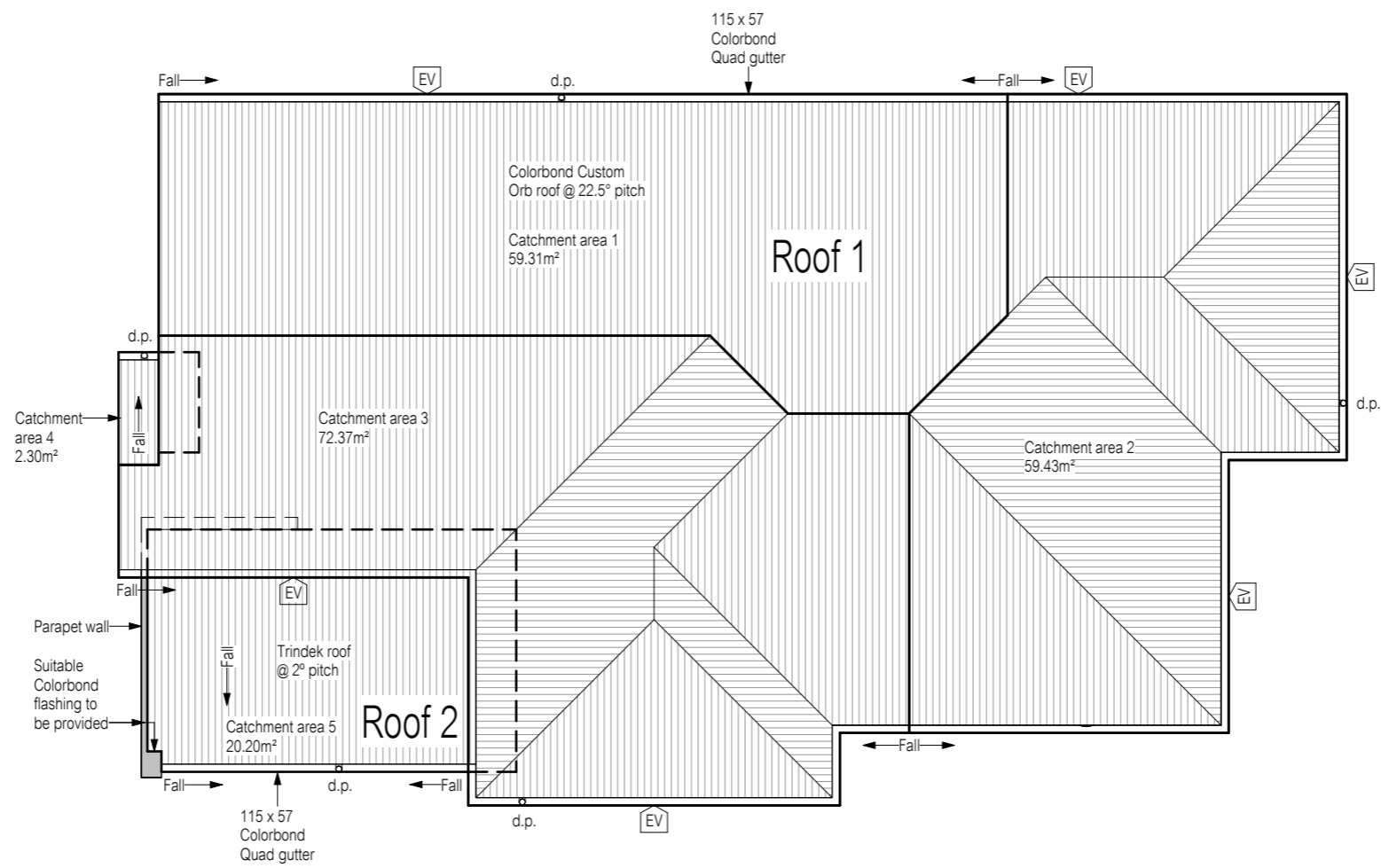
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 Minimum slot opening area of 1200 mm<sup>2</sup> per metre of gutter and the lower edge of the slots installed a minimum of 25 mm below the top of the fascia.  
 The acceptable overflow capacity must be 0.5 L/s/m.

**Batten fixings:**  
 100mm type 17, 14g bugle screws to comply with AS1684, or refer to AS1684 for alternatives.

**Batten spacing:**  
 75 x 38 F8 @ 900 Centre

**Colorbond fixings:**  
 50mm M6 11 x 50 EPDM seal to comply with AS3566 or refer to AS3566 for alternatives.

Roof Sheet Area (Approx)	Fascia Length (Approx)
186.5m <sup>2</sup>	65.45m <sup>2</sup>



**ROOF VENTILATION GUIDE:**  
 Ventilation calculations must be read in conjunction with CBOS - Condensation in Buildings - Tasmanian Designers' Guide - Version 2 (published April 2019).

**Continuous gap:**

Supply	Exhaust
Continuous gap at eaves is: 25mm for <16° pitch 10mm for >16° pitch	Continuous gap at ridge is at least 5mm for all roof pitches

OR

**Roof vents:**  
 The minimum vent area should be:  
 a) Ceiling area/150 for <16° pitch, or  
 b) Ceiling area/300 for >16° pitch

Supply	Exhaust
75% of ventilation should be supply	25% of ventilation should be exhaust

Vent at gable should be within 900mm of ridge.

**ROOF VENTILATION CALCULATION Roof 2**

<b>Roof vents:</b>	
Ceiling Area:	18.50m <sup>2</sup>
Roof Pitch:	2°
Supply area required (75%):	0.09m <sup>2</sup>
Exhaust area required (25%):	0.03m <sup>2</sup>

**Example**

Vent Width	200mm
Vent Length	400mm
Vent area	0.08m <sup>2</sup>
Opening	50%
Supply number required	3 evenly spaced
Exhaust number required	Continuous 5mm gap to ridge

AS3959 compliant ember mesh and compressible blanket to ridge vents on jobs in BAL zones.

Position and quantity of downpipes are not to be altered without consultation with designer

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Ah <sup>2</sup>	157.94	Area of Roof (including 115mm Quad gutter) (m <sup>2</sup> )
Ac	191.10	Ah <sup>2</sup> x Slope factor (Table 3.2 from AS/NZS 3500.3) (m <sup>2</sup> )
Ae	6555	Cross sectional area of assumed 57 x 115 Quad Gutter. (mm <sup>2</sup> )
DRI	86.9	Design Rainfall Intensity (determined from Appendix D from AS/NZS 3500.3)
ACDP	76	Catchment area per Downpipe (determined from Figure 3.5.4(A) from AS/NZS 3500.3) (m <sup>2</sup> )
Required Downpipes	2.51	Ac ÷ Acdp
Downpipes Provided	3	2 Additional due to roof design

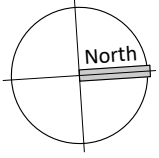
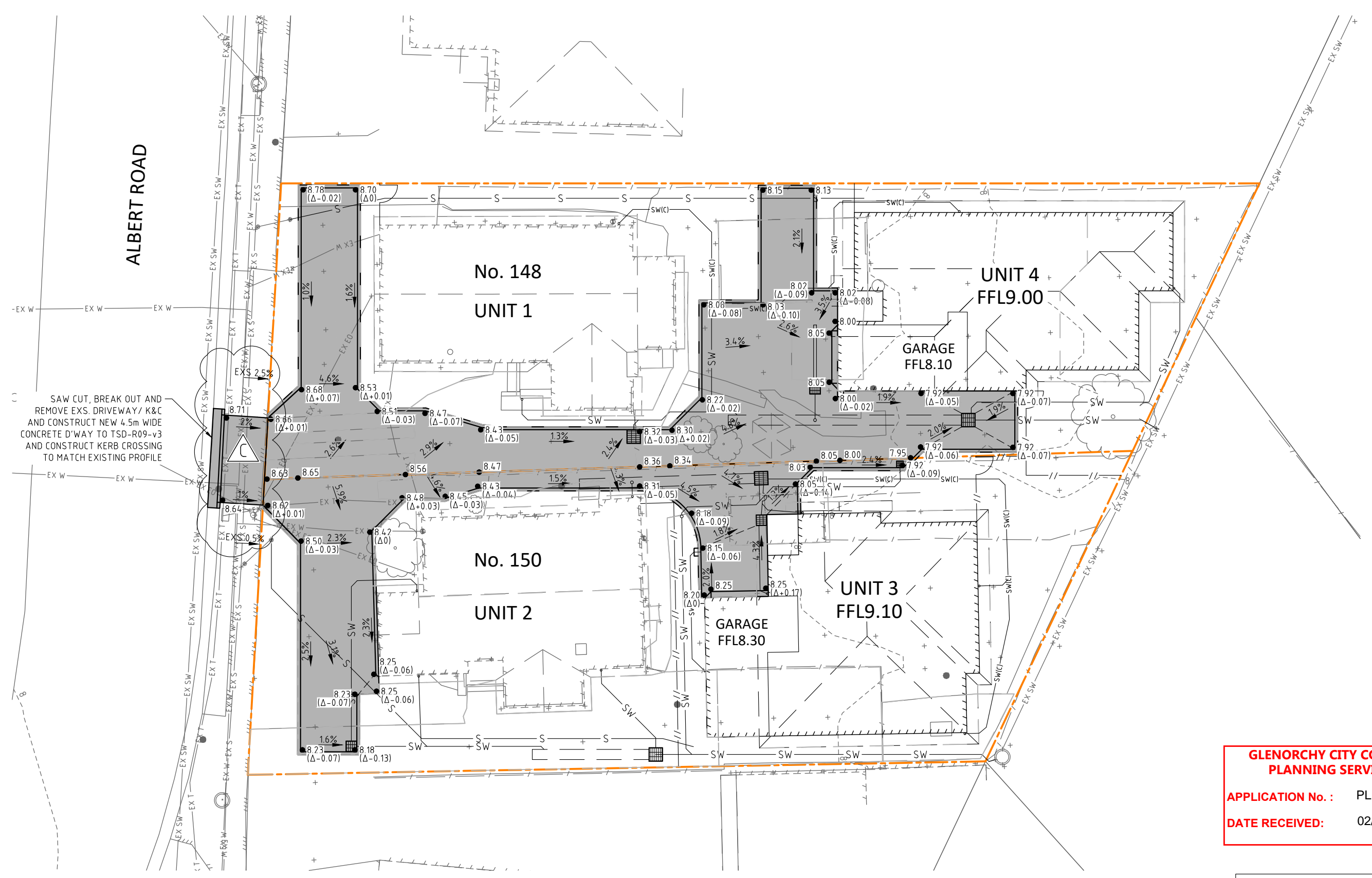
**Roof 1 :**  
 EAVES VENT NOTE:  
 SEV2040W EAVE VENT (21,000mm<sup>2</sup>).  
 6 VENTS EVENLY SPACED

**GLENORCHY CITY COUNCIL PLANNING SERVICES**  
**APPLICATION No. :** PLN-24-135  
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Scale	1:100	11a/05												



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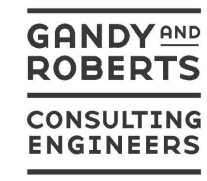


**GLENORCHY CITY COUNCIL  
 PLANNING SERVICES**

APPLICATION No. : PLN-24-135  
 DATE RECEIVED: 02/09/2024

THIS DRAWING HAS NOT BEEN  
 APPROVED FOR CONSTRUCTION

REV	DESCRIPTION	APP'D	DATE
C	DEVELOPMENT APPROVAL	SP	02.09.2024
B	DEVELOPMENT APPROVAL	SP	07.08.2024
A	DEVELOPMENT APPROVAL	SP	06.08.2024



159 DAVEY STREET, HOBART  
 TASMANIA, AUSTRALIA 7000

www.gandyandroberts.com.au  
 mail@gandyandroberts.com.au  
 ph 03 6223 8877

**PROPOSED UNIT DEVELOPMENT**  
**148-150 ALBERT ROAD, MOONAH, TAS, 7009**

DRAWING TITLE  
**SITWORK PLAN**

DESIGNED	DRAWN	CHECKED
SP	SP	GR
PROJECT	DRAWING	REVISION
24.0268	C200	C

0 50mm SCALE 1:100 @ A3

GANDY AND ROBERTS Consulting Engineers.

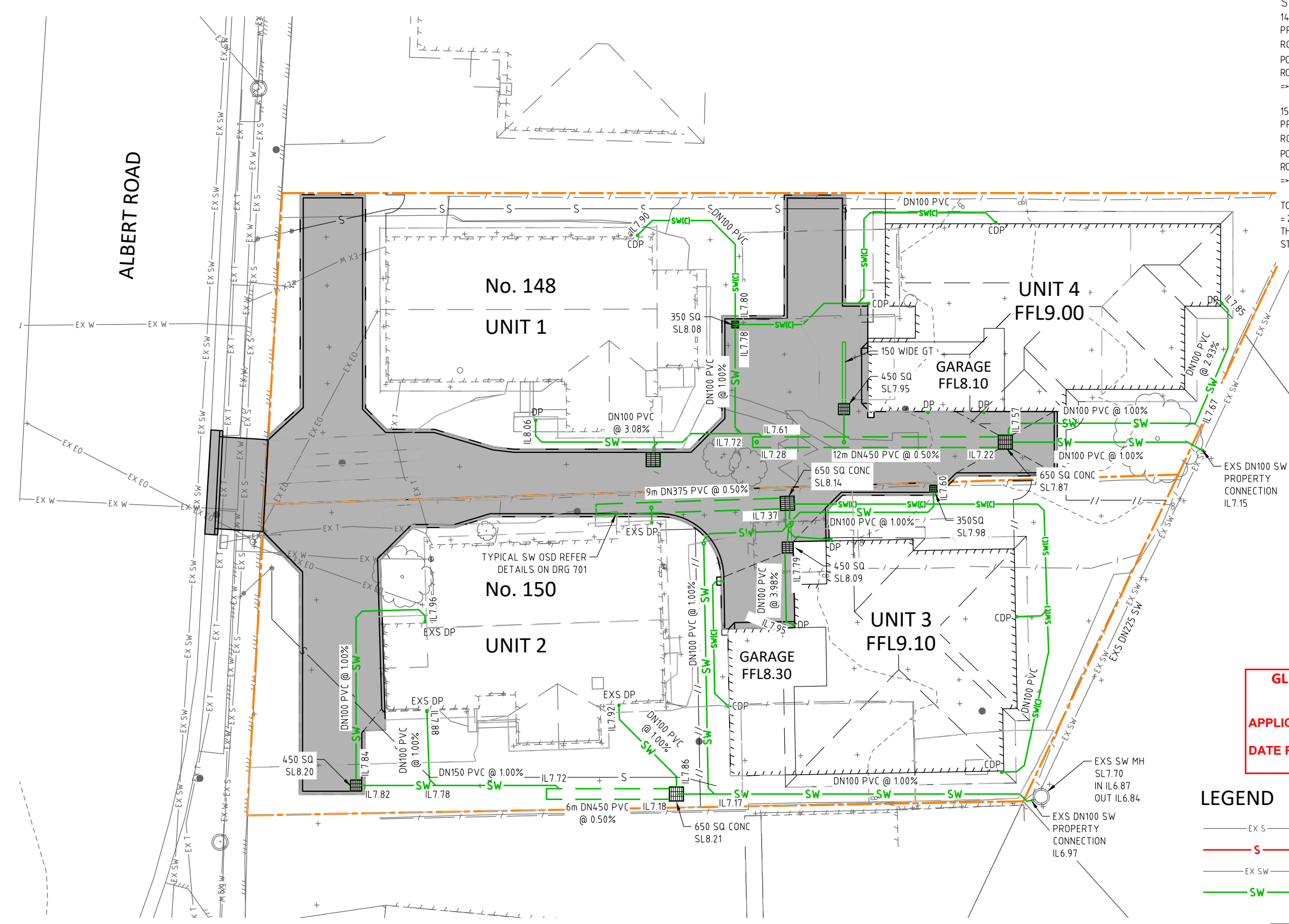
**NOTES**

**STORMWATER TREATMENT**

148 ALBERT ROAD:  
 PRE-DEVELOPMENT IMPERVIOUS SURFACES;  
 ROOFS 166 m<sup>2</sup> + CONCRETE 78 m<sup>2</sup> = 244 m<sup>2</sup>  
 POST-DEVELOPMENT IMPERVIOUS SURFACES;  
 ROOFS 300 m<sup>2</sup> + CONCRETE 206 m<sup>2</sup> = 506 m<sup>2</sup>  
 => INCREASE IN IMPERVIOUS AREA = 262 m<sup>2</sup>

150 ALBERT ROAD:  
 PRE-DEVELOPMENT IMPERVIOUS SURFACES;  
 ROOFS 183 m<sup>2</sup> + CONCRETE 118 m<sup>2</sup> = 301 m<sup>2</sup>  
 POST-DEVELOPMENT IMPERVIOUS SURFACES;  
 ROOFS 293 m<sup>2</sup> + CONCRETE 111 m<sup>2</sup> = 404 m<sup>2</sup>  
 => INCREASE IN IMPERVIOUS AREA = 103 m<sup>2</sup>

TOTAL INCREASE IN IMPERVIOUS AREA  
 = 262 + 103 = 365 m<sup>2</sup>  
 THEREFORE, AS INCREASE < 500 m<sup>2</sup> NO  
 STORMWATER TREATMENT REQUIRED



**GLENORCHY CITY COUNCIL  
 PLANNING SERVICES**

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**LEGEND**

— EX S — EXISTING SEWER DRAIN  
 — S — PROPOSED SEWER DRAIN  
 — EX SW — EXISTING STORMWATER DRAIN  
 — SW — PROPOSED STORMWATER DRAIN

THIS DRAWING HAS NOT BEEN APPROVED FOR CONSTRUCTION

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REV	DESCRIPTION	APP'D	DATE
B	DEVELOPMENT APPROVAL	SP	07.08.2024
A	DEVELOPMENT APPROVAL	SP	06.08.2024

**GANDY AND ROBERTS CONSULTING ENGINEERS**

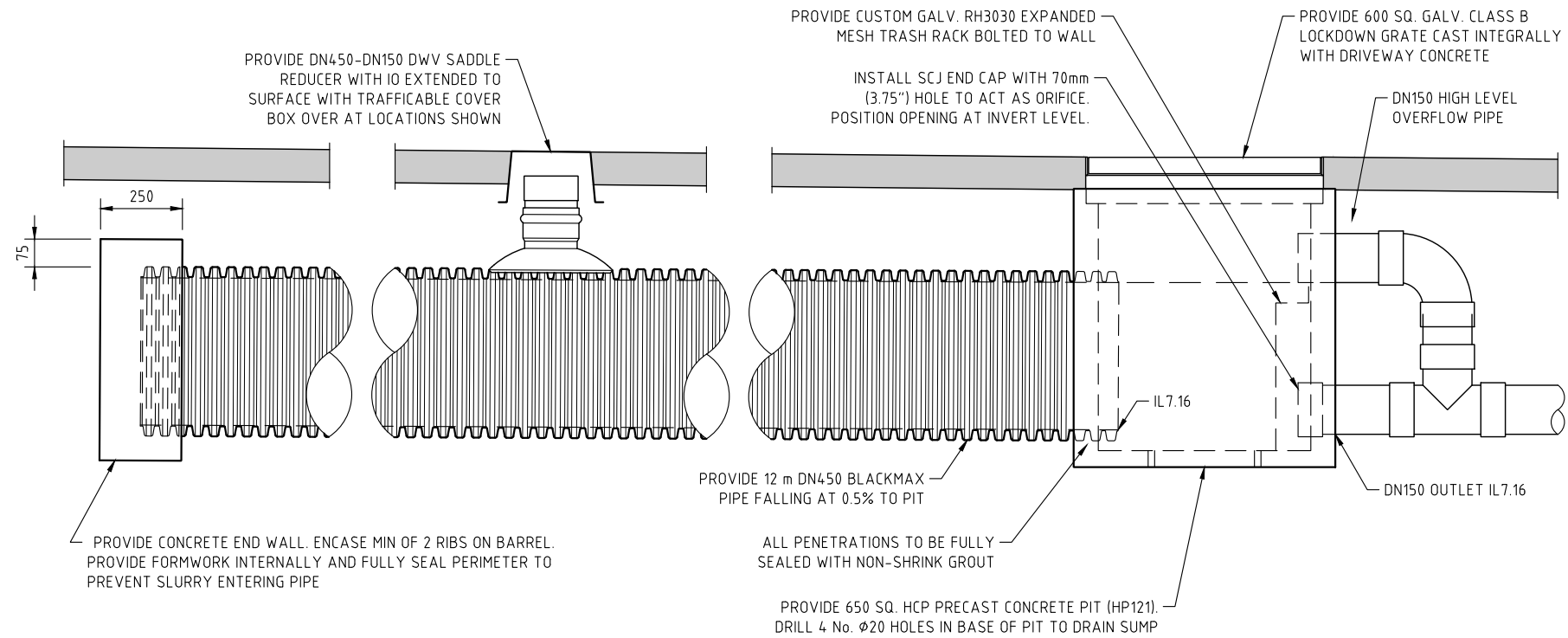
159 DAVEY STREET, HOBART TASMANIA, AUSTRALIA 7000  
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 ph 03 6223 8877

**PROPOSED UNIT DEVELOPMENT**  
 148-150 ALBERT ROAD, MOONAH, TAS, 7009  
 DRAWING TITLE  
**STORMWATER PLAN**

DESIGNED	DRAWN	CHECKED
SP	SP	GR
PROJECT	DRAWING	REVISION
24.0268	C400	B

0 50mm SCALE 1:100 @ A3

ON-SITE STORMWATER DETENTION: No. 148			
PERMISSIBLE SITE DISCHARGE ASSESSED USING RATIONAL METHOD FOR 5% AEP 5 MINUTE DURATION DESIGN STORM WITH INTENSITY 85 mm/h (REFER NOTE BELOW). SITE STORAGE REQUIREMENT ASSESSED USING RATIONAL METHOD FOR 5% AEP WITH STORM DURATIONS FROM 5 MIN TO 90 MINS. CRITICAL DURATION DETERMINED TO BE 5 MINS WITH RAINFALL INTENSITY 84.9 mm/h.			
TOTAL DEVELOPMENT AREA = 686 m <sup>2</sup>			
PRE-DEVELOPMENT AREAS		DEVELOPMENT AREAS	
IMPERVIOUS (C=0.55 x 686)	377 m <sup>2</sup>	ROOF (C=1.0)	300 m <sup>2</sup>
		IMPERVIOUS (C=0.9)	206 m <sup>2</sup>
		GARDEN (C=0.4)	180 m <sup>2</sup>
PERMISSIBLE SITE DISCHARGE	8.9 L/s	PEAK FLOW RATE	13.1 L/s
EQUIV. VOLUME	2673 L	EQUIV. VOLUME (L)	3944 L
AREAS DETAINED		AREAS NOT DETAINED	
ROOF	300 m <sup>2</sup>	ROOF	-
IMPERVIOUS	206 m <sup>2</sup>	IMPERVIOUS	-
GARDEN	-	GARDEN	180 m <sup>2</sup>
PEAK FLOW TO DETENTION = 11.5 L/s		UNDETAINED PEAK FLOW = 1.7 L/s	
DETENTION DISCHARGE REQUIREMENT = 8.9 - 1.7 = 7.2 L/s MAXIMUM			
DETENTION ACHIEVED WITH 12 m DN450 PIPE AND 650 SQ ORIFICE CONTROL PIT PROVIDING 2071 L OF STORAGE			
MAXIMUM OSD WATER DEPTH = 450 mm MAXIMUM CONTROLLED FLOW RATE WITH 70 mm ORIFICE = 7.1 L/s EQUIVALENT CONTROLLED VOLUME OUT = 2127 L			
SITE STORAGE REQUIREMENT = 3944 - 2127 = 1817 L			



### UNDERGROUND DETENTION GENERAL ARRANGEMENT

SCALE 1:20

NOTE: DETAIL SHOWN IS FOR No. 148 ALBERT ROAD. THE PROPOSED SYSTEMS FOR No. 150 ALBERT ROAD ARE SIMILAR. FULL DETAILS WILL BE PROVIDED AT BA STAGE

### STORMWATER MAINTENANCE PLAN

AN UNDERGROUND STORMWATER DETENTION PIPE HAS BEEN PROVIDED ON THIS SITE AND THE OWNER IS REQUIRED TO MAINTAIN, REPAIR AND REPLACE THE INFRASTRUCTURE AS REQUIRED TO ENSURE THAT IT FUNCTIONS CORRECTLY.

#### SYSTEM OVERVIEW

- THE SYSTEM CONSISTS OF GRAVITY AND CHARGED STORMWATER DRAINAGE PIPES DIRECTED TO THE UNDERGROUND DETENTION.
- STORMWATER IS DETAINED BY VIRTUE OF A REDUCED DIAMETER OUTLET, OR ORIFICE, THAT MAY BECOME BLOCKED OVER TIME.

#### MAINTENANCE

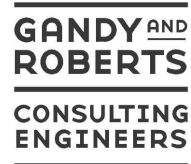
- THE DETENTION SYSTEM IS A CONFINED SPACE AND AS SUCH POSES DANGERS THAT REQUIRE IDENTIFICATION AND MANAGEMENT AND SHOULD ONLY BE ENTERED BY PERSONS TRAINED IN ACCORDANCE WITH TASMANIAN LEGISLATIVE REQUIREMENTS FOR CONFINED SPACES.
- INSPECTION OPENINGS ON THE CHARGED PIPEWORK SHOULD BE OPENED ANNUALLY TO FLUSH THE DRAINAGE SYSTEM.
- THE ORIFICE IS PROTECTED FROM BLOCKAGE BY A TRASH SCREEN. THE ORIFICE CONTROL PIT SHOULD BE INSPECTED ANNUALLY OR AFTER SIGNIFICANT RAINFALL EVENTS AND TRASH REMOVED. IF THIS PIT IS SEEN OVERFLOWING IT INDICATES THAT THE OUTLET IS BLOCKED AND REQUIRES MAINTENANCE BY AN APPROVED PLUMBING CONTRACTOR.
- OVER AN EXTENDED PERIOD OF TIME SEDIMENT MAY BUILD UP IN THE DETENTION SYSTEM AND DISCHARGE PIT. IF THIS IS OBSERVED MAINTENANCE IS REQUIRED BY A WASTE REMOVAL SPECIALIST.

ON-SITE STORMWATER DETENTION: No. 150			
PERMISSIBLE SITE DISCHARGE ASSESSED USING RATIONAL METHOD FOR 5% AEP 5 MINUTE DURATION DESIGN STORM WITH INTENSITY 85 mm/h (REFER NOTE BELOW). SITE STORAGE REQUIREMENT ASSESSED USING RATIONAL METHOD FOR 5% AEP WITH STORM DURATIONS FROM 5 MIN TO 90 MINS. CRITICAL DURATION DETERMINED TO BE 10 MINS WITH RAINFALL INTENSITY 63.9 mm/h.			
TOTAL DEVELOPMENT AREA = 640 m <sup>2</sup>			
PRE-DEVELOPMENT AREAS		DEVELOPMENT AREAS	
IMPERVIOUS (C=0.55 x 640)	352 m <sup>2</sup>	ROOF (C=1.0)	293 m <sup>2</sup>
		IMPERVIOUS (C=0.9)	111 m <sup>2</sup>
		GARDEN (C=0.4)	236 m <sup>2</sup>
PERMISSIBLE SITE DISCHARGE	8.3 L/s	PEAK FLOW RATE	8.8 L/s
EQUIV. VOLUME	4987 L	EQUIV. VOLUME (L)	5255 L
AREAS DETAINED		AREAS NOT DETAINED	
ROOF	293 m <sup>2</sup>	ROOF	-
IMPERVIOUS	111 m <sup>2</sup>	IMPERVIOUS	-
GARDEN	-	GARDEN	236 m <sup>2</sup>
PEAK FLOW TO DETENTION = 9.3 L/s		UNDETAINED PEAK FLOW = 2.2 L/s	
DETENTION DISCHARGE REQUIREMENT = 8.3 - 2.2 = 6.1 L/s MAXIMUM			
DETENTION ACHIEVED WITH 2 SYSTEMS: 9 m DN375 PIPE AND 6 m DN450 PIPE WITH 650 SQ ORIFICE CONTROL PITS PROVIDING 2272 L OF STORAGE			
MAXIMUM OSD WATER DEPTH = 450 mm MAXIMUM DISCHARGE WITH 44 mm ORIFICE = 2.8 L/s PER SYSTEM EQUIVALENT CONTROLLED VOLUME OUT = 3330 L			
SITE STORAGE REQUIREMENT = 5255 - 3330 = 1925 L			

NOTES:  
1. SYSTEM MAINTENANCE REQUIREMENTS DETAILED ON THIS DRG  
2. GCC STORMWATER POLICY NORMALLY REQUIRES 30 MIN DURATION. BASED ON THE LOCATION OF THIS PROPERTY AT THE BOTTOM OF THE CATCHMENT IN CLOSE PROXIMITY TO THE RIVER DERWENT 5 MIN DURATION MORE APPROPRIATE TO ENSURE DISCHARGE ACHIEVED PRIOR TO CATCHMENT FLOOD WAVE REACHING THIS LOCATION

**GLENORCHY CITY COUNCIL  
PLANNING SERVICES**  
**APPLICATION No. :** PLN-24-135  
**DATE RECEIVED:** 02/09/2024

THIS DRAWING HAS NOT BEEN APPROVED FOR CONSTRUCTION



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PROPOSED UNIT DEVELOPMENT  
148-150 ALBERT ROAD, MOONAH, TAS, 7009  
DRAWING TITLE  
DETAILS

0 50mm SCALE 1:100 @ A3		
DESIGNED SP	DRAWN SP	CHECKED GR
PROJECT 24.0268	DRAWING C701	REVISION B