

DEVELOPMENT APPLICATION

APPLICATION NUMBER:	PLN-23-016
PROPOSED DEVELOPMENT:	Demolition and three multiple dwellings (one existing and two new) with stormwater connection via CT66764/1 Westfield St Reserve
LOCATION:	16 Belgrave Street Claremont Wyndham Road Claremont
APPLICANT:	Prime Design (Hobart)
ADVERTISING START DATE:	11/09/2024
ADVERTISING EXPIRY DATE:	24/09/2024

Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and the plans are available on Glenorchy City Council's website (www.gcc.tas.gov.au) until **24/09/2024**.

During this time, any person may make representations relating to the applications by letter addressed to the General Manager, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to gccmail@gcc.tas.gov.au.

Representations must be received by no later than 11.59 pm on **24/09/2024**, or for postal and hand delivered representations, by 5.00 pm on **24/09/2024**.

PROPOSED UNIT DEVELOPMENT

16 BELGRAVE STREET

CLAREMONT

OAK BUILDING & CONSTRUCTION

PDH21035

BUILDING DRAWINGS

No	DRAWING
01	EXISTING SITE PLAN
02	SITE PLAN
03	LANDSCAPING PLAN
04	SITE DRAINAGE PLAN
05	SUN SHADOW DIAGRAMS
06	TURNING PATHS U2
07	TURNING PATHS U1
08	TURNING PATHS U1
09	TURNING PATHS U3
10	TURNING PATHS U3

BUILDING DRAWINGS UNIT 1

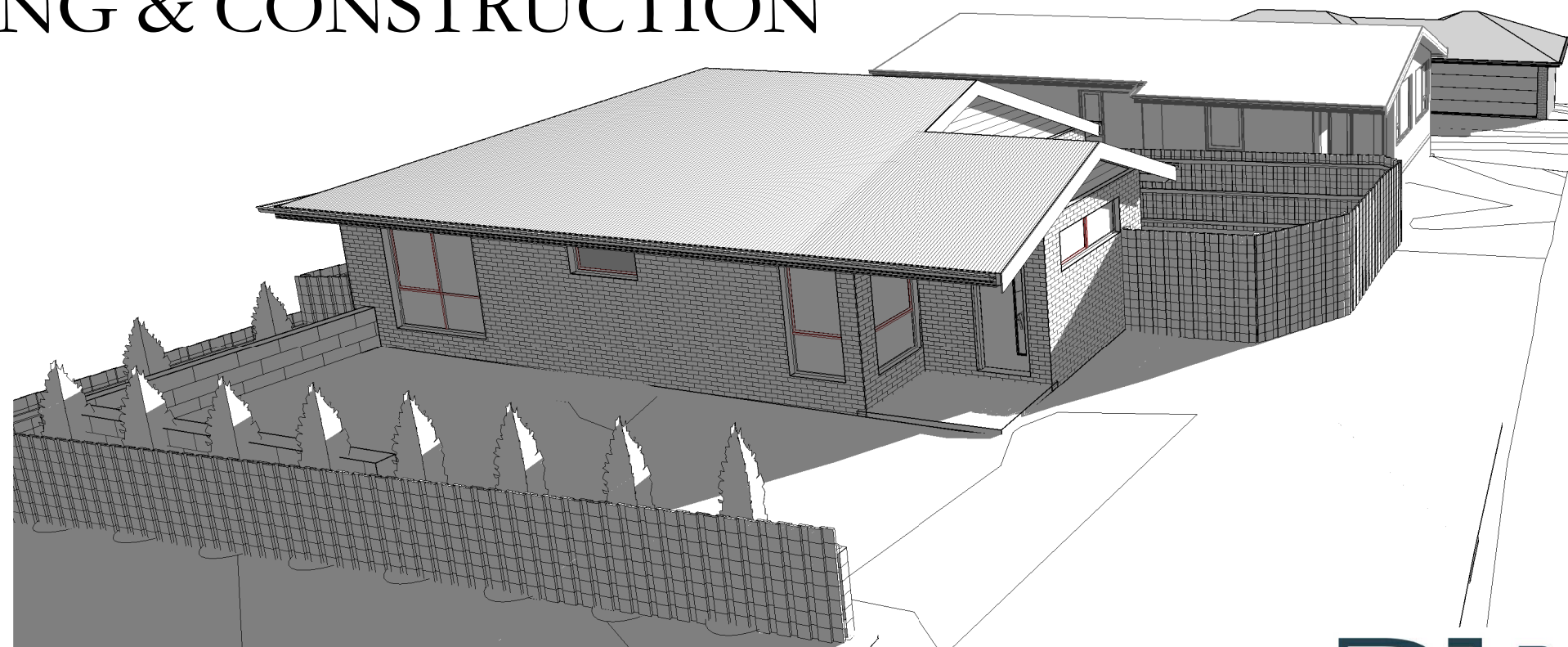
No	DRAWING
U1-01	DEMOLITION PLAN
U1-02	FLOOR PLAN
U1-03	ELEVATIONS
U1-04	ELEVATIONS

BUILDING DRAWINGS UNIT 2

No	DRAWING
U2-01	FLOOR PLAN
U2-02	DOOR AND WINDOW SCHEDULES
U2-03	ELEVATIONS
U2-04	ELEVATIONS
U2-05	ROOF PLAN
U2-06	PLUMBING PLAN

BUILDING DRAWINGS UNIT 3

No	DRAWING
U3-01	FLOOR PLAN
U3-02	DOOR AND WINDOW SCHEDULES
U3-03	ELEVATIONS
U3-04	ELEVATIONS
U3-05	ROOF PLAN
U3-06	PLUMBING PLAN



GENERAL PROJECT INFORMATION

TITLE REFERENCE: 55042/8
 SITE AREA: 814m²
 DESIGN WIND SPEED: TBC
 SOIL CLASSIFICATION: TBC
 CLIMATE ZONE: 7
 ALPINE AREA: NO
 CORROSIVE ENVIRONMENT: NO
 BAL RATING: EXEMPT
 OTHER KNOWN HAZARDS: WATERWAY & COASTAL PROTECTION AREA

NOTE:
 READ IN CONJUNCTION WITH CIVIL DESIGN
 BY ALDANMARK CONSULTING ENGINEERS
 PROJECT NUMBER: 23 E 99 - 30



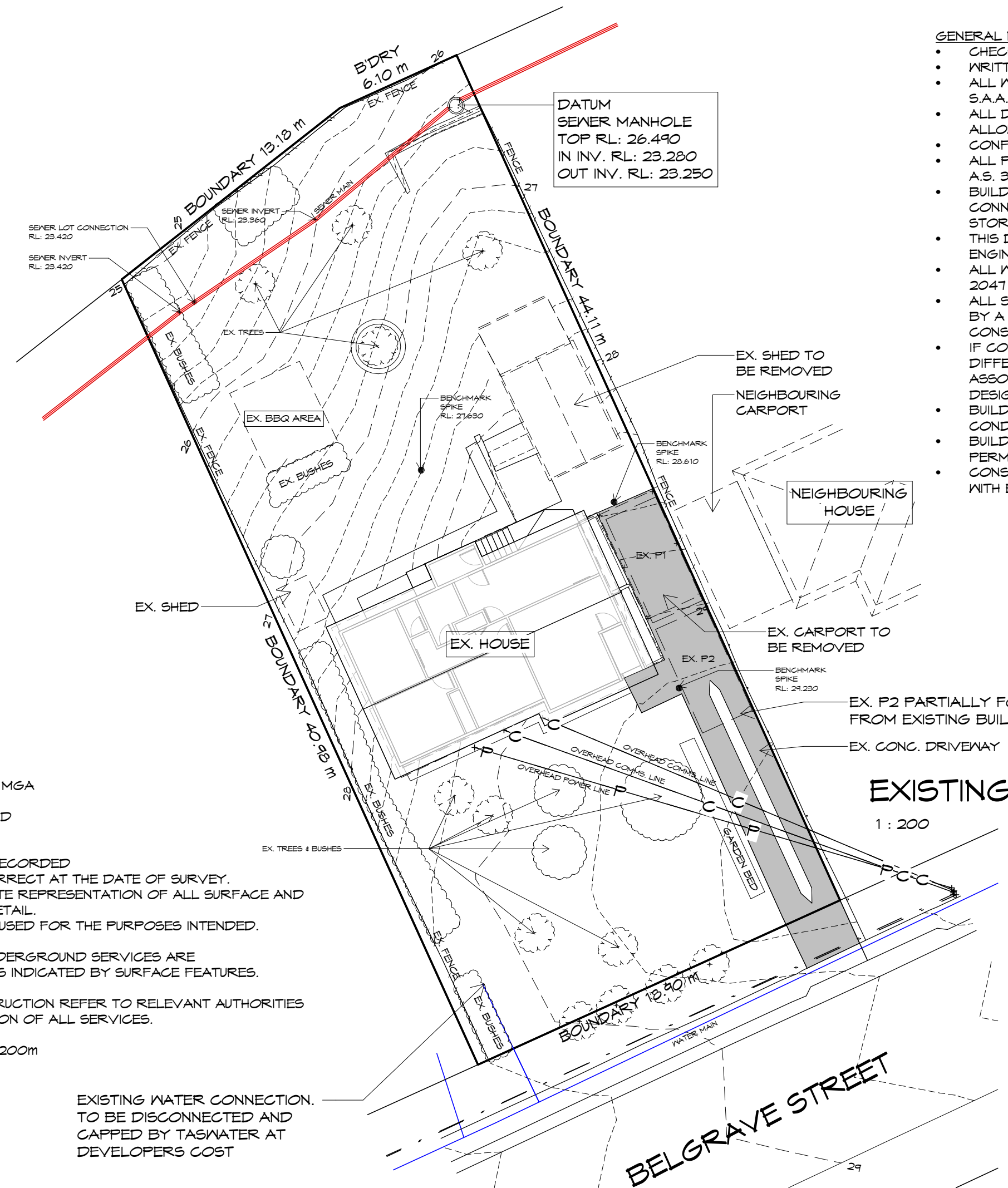
10 Goodman Court, Invermay Launceston 7248
 p(t) +03 6332 3790
 Shop 9, 105-111 Main Road, Moonah Hobart 7009
 p(h) +03 6228 4575
 info@primedesigntas.com.au primedesigntas.com.au
 Accredited Building Practitioner: Frank Geskus -No CC246A

AUGUST 2024

PLANNING

GENERAL NOTES

- CHECK & VERIFY ALL DIMENSIONS & LEVELS ON SITE
- WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER DIMENSIONS SHOWN ON THIS DRAWING
- ALL WORK TO BE STRICTLY IN ACCORDANCE WITH ALL APPLICABLE S.A.A. CODES & LOCAL AUTHORITY BY-LAWS
- ALL DIMENSIONS INDICATED ARE FRAME TO FRAME AND DO NOT ALLOW FOR WALL LININGS
- CONFIRM ALL FLOOR AREAS
- ALL PLUMBING WORKS TO BE STRICTLY IN ACCORDANCE WITH A.S. 3500 & APPROVED BY COUNCIL INSPECTOR
- BUILDER/PLUMBER TO ENSURE ADEQUATE FALL TO SITE CONNECTION POINTS IN ACCORDANCE WITH A.S. 3500 FOR STORMWATER AND SEWER BEFORE CONSTRUCTION COMMENCES
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ENGINEER'S STRUCTURAL DRAWINGS
- ALL WINDOWS AND GLAZING TO COMPLY WITH A.S. 1288 & A.S. 2047
- ALL SET OUT OF BUILDINGS & STRUCTURES TO BE CARRIED OUT BY A REGISTERED LAND SURVEYOR AND CHECKED PRIOR TO CONSTRUCTION
- IF CONSTRUCTION OF THE DESIGN IN THIS SET OF DRAWINGS DIFFER FROM THE DESIGN AND DETAIL IN THESE AND ANY ASSOCIATED DOCUMENTS BUILDER AND OWNER ARE TO NOTIFY DESIGNER
- BUILDER'S RESPONSIBILITY TO COMPLY WITH ALL PLANNING CONDITIONS
- BUILDER TO HAVE STAMPED BUILDING APPROVAL DRAWINGS AND PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION
- CONSTRUCTION TO COMPLY WITH AS 3959, READ IN CONJUNCTION WITH BUSHFIRE ATTACK LEVEL (BAL) ASSESSMENT REPORT.



SITE DETAIL

HORIZONTAL DATUM IS MGA

VERTICAL DATUM IS AHD

WARNINGS:

THE DETAIL SHOWN / RECORDED

- MAY ONLY BE CORRECT AT THE DATE OF SURVEY.
- IS NOT A COMPLETE REPRESENTATION OF ALL SURFACE AND UNDERGROUND DETAIL.
- SHOULD ONLY BE USED FOR THE PURPOSES INTENDED.

THE LOCATIONS OF UNDERGROUND SERVICES ARE APPROXIMATE ONLY AS INDICATED BY SURFACE FEATURES.

PRIOR TO ANY CONSTRUCTION REFER TO RELEVANT AUTHORITIES FOR DETAILED LOCATION OF ALL SERVICES.

CONTOUR INTERVAL 0.200m

EXISTING WATER CONNECTION. TO BE DISCONNECTED AND CAPPED BY TASWATER AT DEVELOPERS COST

EXISTING SITE PLAN

1 : 200



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info@primedesigntas.com.au primedesigntas.com.au

Project:
**PROPOSED UNIT DEVELOPMENT
16 BELGRAVE STREET
CLAREMONT**

Client name:
**OAK BUILDING &
CONSTRUCTION**

Drawing:
EXISTING SITE PLAN

Drafted by: D.D.H. Approved by: Approver

Date: 28.08.2024 Scale: 1 : 200

Project/Drawing no: PDH21035 -01 Revision: 11

Accredited building practitioner: Frank Geskus -No CC246A

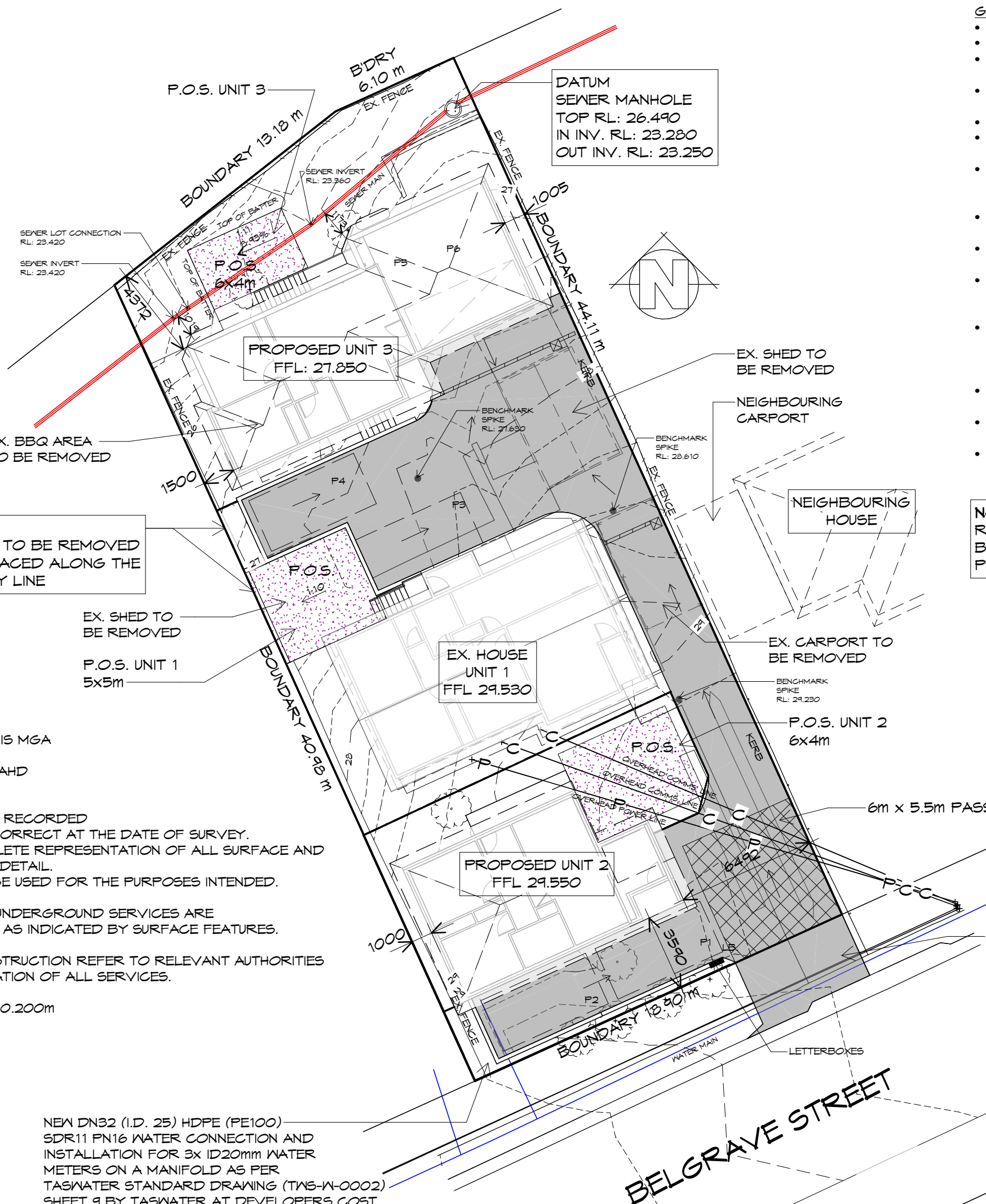


GENERAL NOTES

- CHECK & VERIFY ALL DIMENSIONS & LEVELS ON SITE
- WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER
- ALL WORK TO BE STRICTLY IN ACCORDANCE WITH S.A.A. CODES & LOCAL AUTHORITY BY-LAWS
- ALL DIMENSIONS INDICATED ARE FRAME TO FRAME ALLOW FOR WALL LININGS
- CONFIRM ALL FLOOR AREAS
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- CONSTRUCTION TO COMPLY WITH AS 3959, READ IN CONJUNCTION WITH BUSHFIRE ATTACK LEVEL (BAL) ASSESSMENT REPORT.

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

NOTE:
 READ IN CONJUNCTION WITH CIVIL DESIGN
 BY ALDANMARK CONSULTING ENGINEERS
 PROJECT NUMBER 23 E 99 - 30



NOTE:
 EX. FENCE TO BE REMOVED
 AND REPLACED ALONG THE
 BOUNDARY LINE

SITE DETAIL
 HORIZONTAL DATUM IS MGA
 VERTICAL DATUM IS AHD

WARNINGS:
 THE DETAIL SHOWN / RECORDED

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- IS NOT A COMPLETE REPRESENTATION OF ALL SURFACE AND UNDERGROUND DETAIL.
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CONTOUR INTERVAL 0.200m

NEW DN32 (I.D. 25) HDPE (PE100)
 SDR11 PN16 WATER CONNECTION AND
 INSTALLATION FOR 3x ID20mm WATER
 METERS ON A MANIFOLD AS PER
 TASWATER STANDARD DRAWING (TWS-W-0002)
 SHEET 9 BY TASWATER AT DEVELOPERS COST.

SITE PLAN

1 : 200
 LOT AREA 814 50%
 407



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Project:
**PROPOSED UNIT DEVELOPMENT
 16 BELGRAVE STREET
 CLAREMONT**

Client name:
**OAK BUILDING &
 CONSTRUCTION**

Drawing:
SITE PLAN

Drafted by: D.D.H. Approved by: Approver
 Date: 28.08.2024 Scale: 1 : 200

Project/Drawing no: PDH21035 -02 Revision: 11
 Accredited building practitioner: Frank Geskus -No CC246A

LEGEND

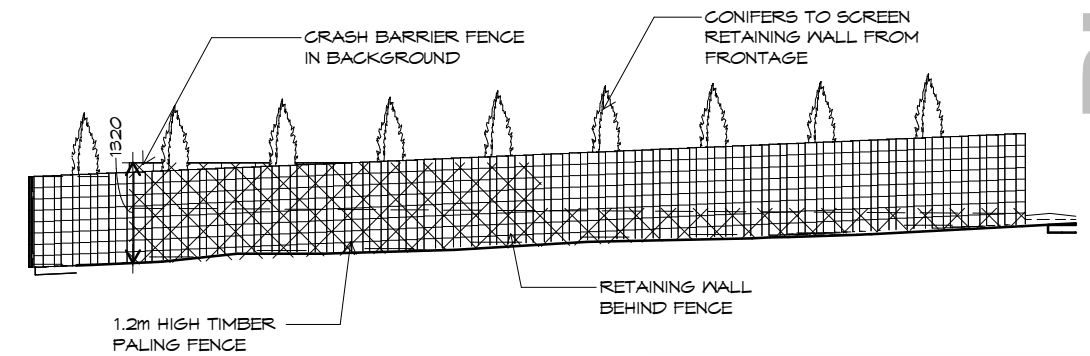
-  PROPOSED GROUNDCOVER/GRASS
-  LAWN
-  CONCRETE PATH/PAVING
-  CONCRETE DRIVEWAY
-  LETTER BOX
-  FENCE 1.8m HIGH
-  FENCE 1.2m HIGH
-  CLOTHES LINES - WALL
-  WASTE STORAGE 1.5m²
-  KERB; REFER TO ALDANMARK DRAWINGS FOR DETAILS
-  STORMWATER PIT; REFER TO ALDANMARK DRAWINGS FOR DETAILS
-  GRATED TRENCH; REFER TO ALDANMARK DRAWINGS FOR DETAILS
-  WATER TANK; REFER TO ALDANMARK DRAWINGS FOR DETAILS

SITE COVERAGE

BUILDING FOOTPRINT 264.25/SITE AREA 814 = 0.3246
 TOTAL SITE COVERAGE 32.46%

IMPERVIOUS SURFACES

NON-IMPERVIOUS SURFACES 230.029/SITE AREA 814 = 0.2825
 TOTAL SITE FREE FROM IMPERVIOUS SURFACES 28.25%



FRONT FENCE DETAIL

1 : 100

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

NOTE:
EX. FENCE TO BE REMOVED AND REPLACED ALONG THE BOUNDARY LINE

P.O.S. UNIT 1
PRIVATE OPEN SPACE = 81.508 m²
 NON IMPERVIOUS AREA = 244.136 m²

P.O.S. UNIT 2
PRIVATE OPEN SPACE = 65.884 m²

P.O.S. UNIT 3
PRIVATE OPEN SPACE = 118.255 m²

DATUM
SEWER MANHOLE
TOP RL: 26.490
IN INV. RL: 23.280
OUT INV. RL: 23.250

SITE LANDSCAPE PLAN







1 : 200

BELGRAVE STREET

Drafted by: D.D.H.
 Approved by: Approver
 Date: 28.08.2024
 Scale: As indicated

Project/Drawing no: PDH21035 -03
 Revision: 11
 Accredited building practitioner: Frank Geskus -No CC246A

LEGEND

-  450X 450 SURFACE DRAINAGE PIT
-  SURFACE DRAINAGE PIT; REFER TO ALDANMARK CIVIL DRAWINGS FOR DETAILS
-  WET AREAS
-  SEWER LINE
-  100Ø AG DRAIN
-  WATER TANK; REFER TO ALDANMARK DRAWINGS FOR DETAILS

PLUMBING NOTES:
ALL DRAINAGE WORK SHOWN IS PROVISIONAL ONLY AND IS SUBJECT TO AMENDMENT TO COMPLY WITH THE REQUIREMENTS OF THE LOCAL AUTHORITIES.
ALL WORK IS TO COMPLY WITH THE REQUIREMENTS OF AS 3500.2018 & THE TASMANIAN PLUMBING CODE. AND MUST BE CARRIED OUT BY A LICENCED TRADESMAN ONLY.

- PITS:** ALL GRATED PITS SIZED AND INSTALLED PER AS/NZS 3500.2018 PART 3
- ORGS:** OVERFLOW RELIEF GULLYS TO BE BRANCHED SEPERATE AND NOT PASS THROUGH. REFER AS/NZS 3500.2018 PART 2
- S/W:** STORMWATER PIPES TO BE SIZED PER AS/NZS 3500.2018 PART 3
- VENTS:** DRAINAGE VENTS TO BE LOCATED BEFORE LAST FITTING AT THE END OF THE LINE PER AS/NZS 3500.2018 PART 2

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

SINGLE OCEAN PROTECT JELLYFISH IN CONCRETE PIT. CONNECT STORMWATER OUTLET TO NEW CONNECTION AND MANHOLE. REFER REPORT PREPARED BY ALDANMARK CONSULTING ENGINEERS FOR DETAILS PROJECT NO: 23E99-30

DATUM
SEWER MANHOLE
TOP RL: 26.490
IN INV. RL: 23.280
OUT INV. RL: 23.250

TWO 2000L IN GROUND DETENTION TANKS RUNNING IN PARRELEL. REFER REPORT PREPARED BY ALDANMARK CONSULTING ENGINEERS FOR DETAILS PROJECT NO: 23E99-30

NOTE:
READ IN CONJUNCTION WITH CIVIL DESIGN BY ALDANMARK CONSULTING ENGINEERS PROJECT NUMBER 23 E 99 - 30

SITE DRAINAGE PLAN
1 : 200



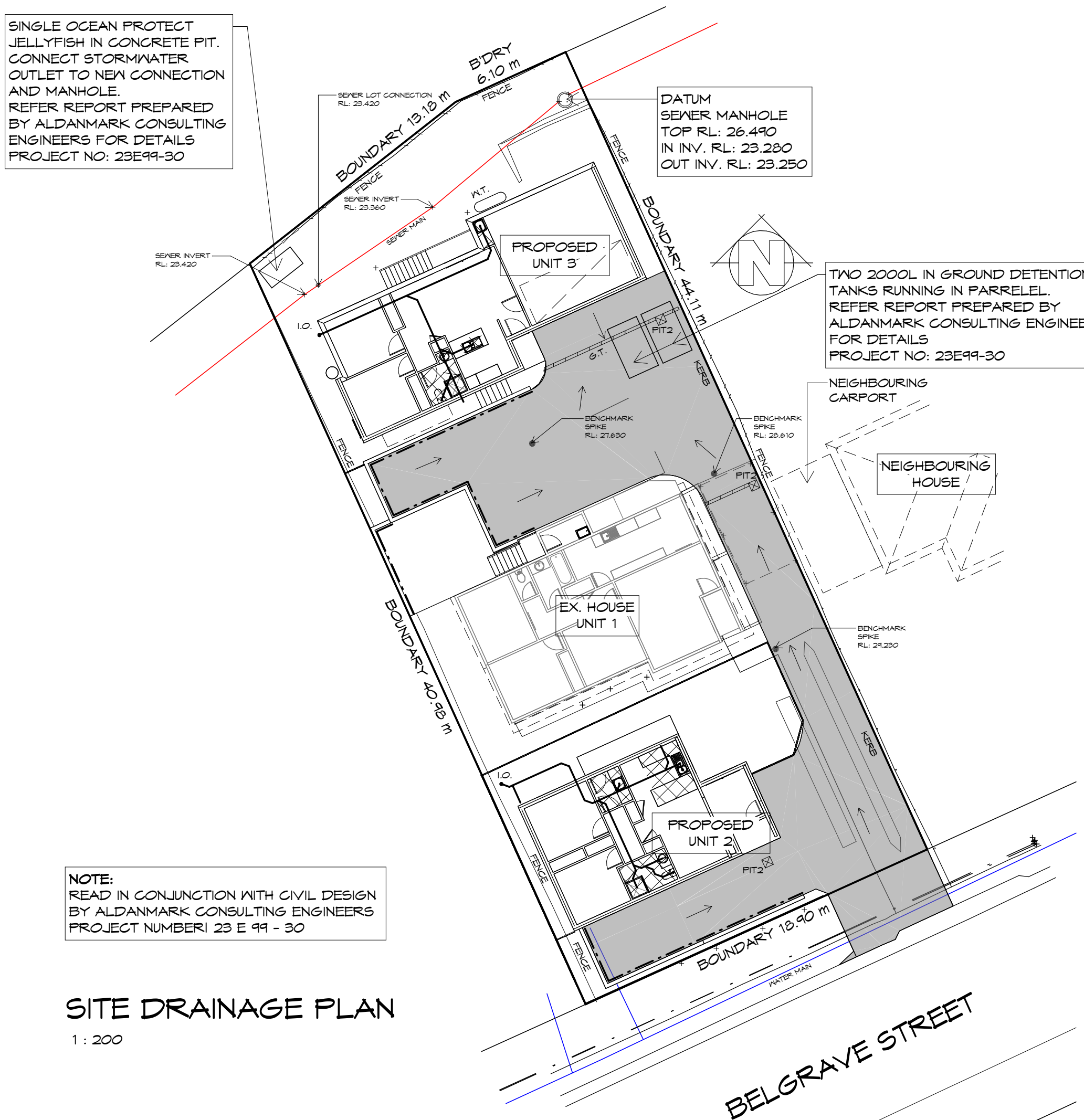
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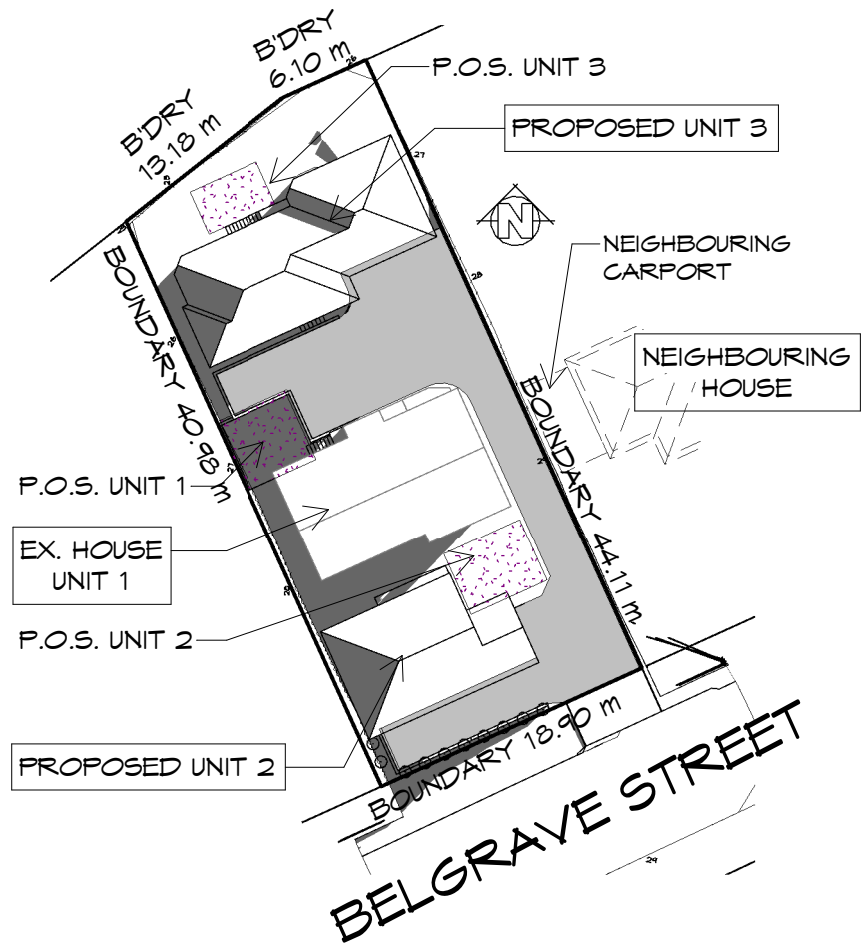
Project:
**PROPOSED UNIT DEVELOPMENT
16 BELGRAVE STREET
CLAREMONT**
Client name:
**OAK BUILDING &
CONSTRUCTION**

Drawing:
SITE DRAINAGE PLAN

Drafted by: D.D.H. Approved by: Approver
Date: 28.08.2024 Scale: As indicated

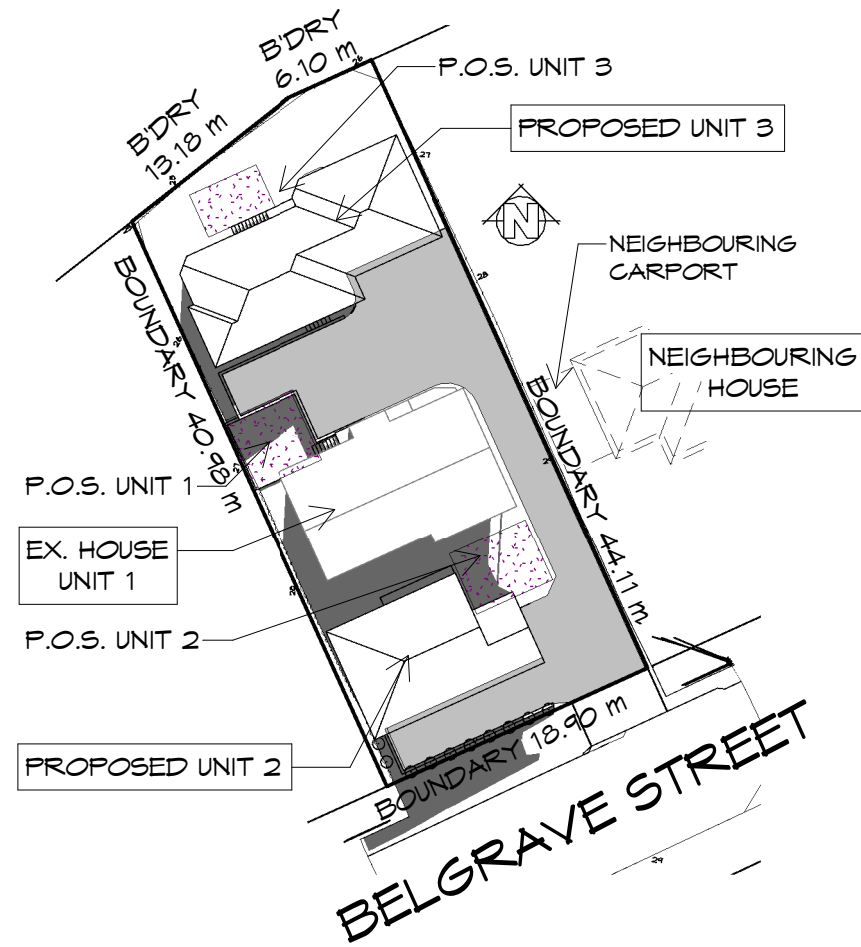
Project/Drawing no: PDH21035 -04 Revision: 11
Accredited building practitioner: Frank Geskus -No CC246A





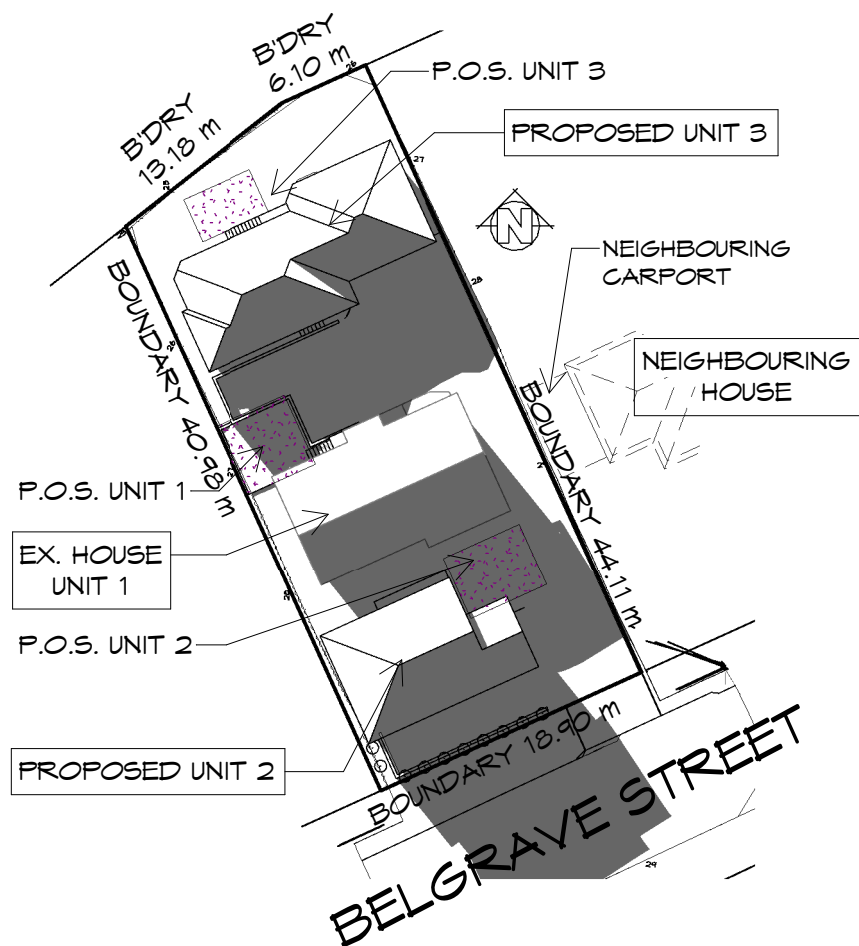
SHADOW DIAGRAM - JUNE 21 9am

1 : 500



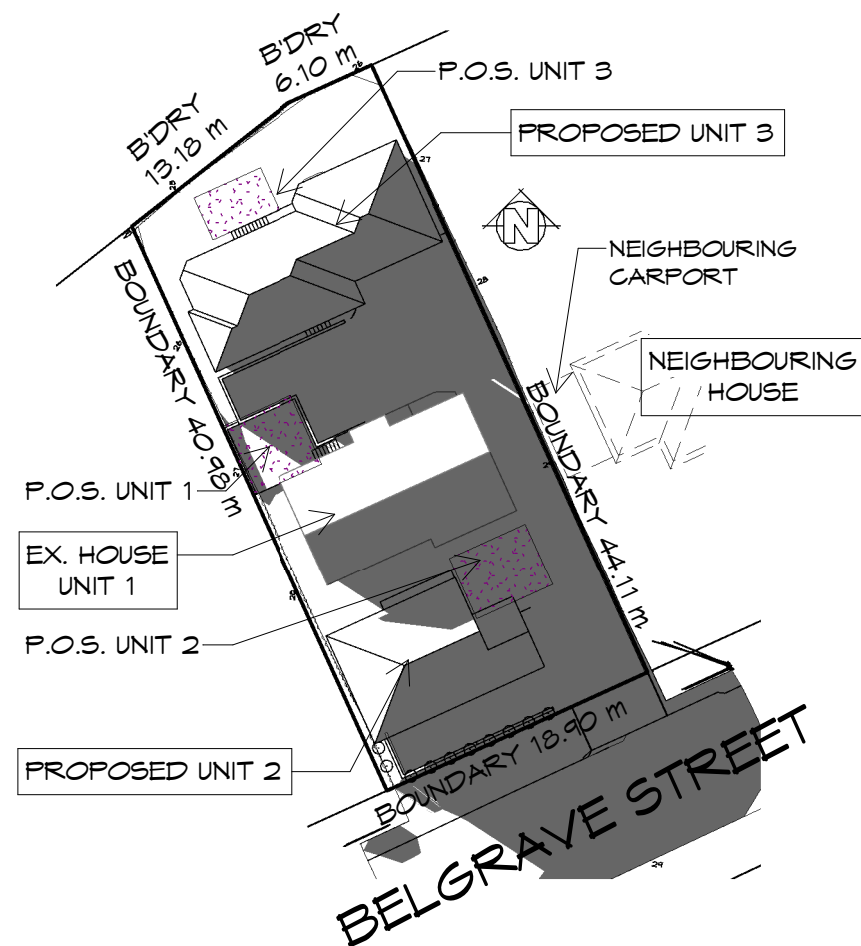
SHADOW DIAGRAM - JUNE 21 12pm

1 : 500



SHADOW DIAGRAM - JUNE 21 3pm

1 : 500



SHADOW DIAGRAM - JUNE 21 5pm

1 : 500

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



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Project:
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 16 BELGRAVE STREET
 CLAREMONT**
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Drawing:
SUN SHADOW DIAGRAMS

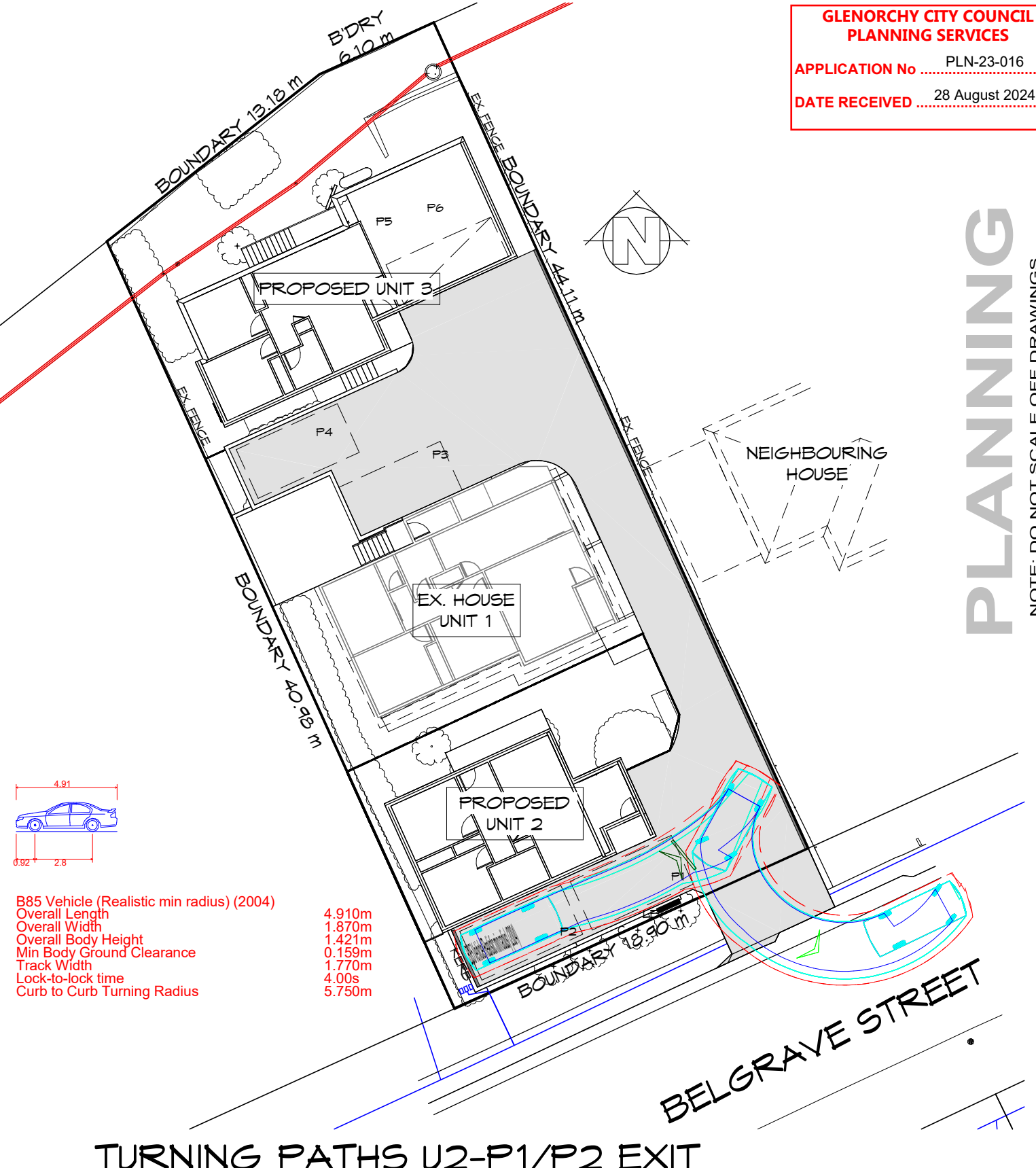
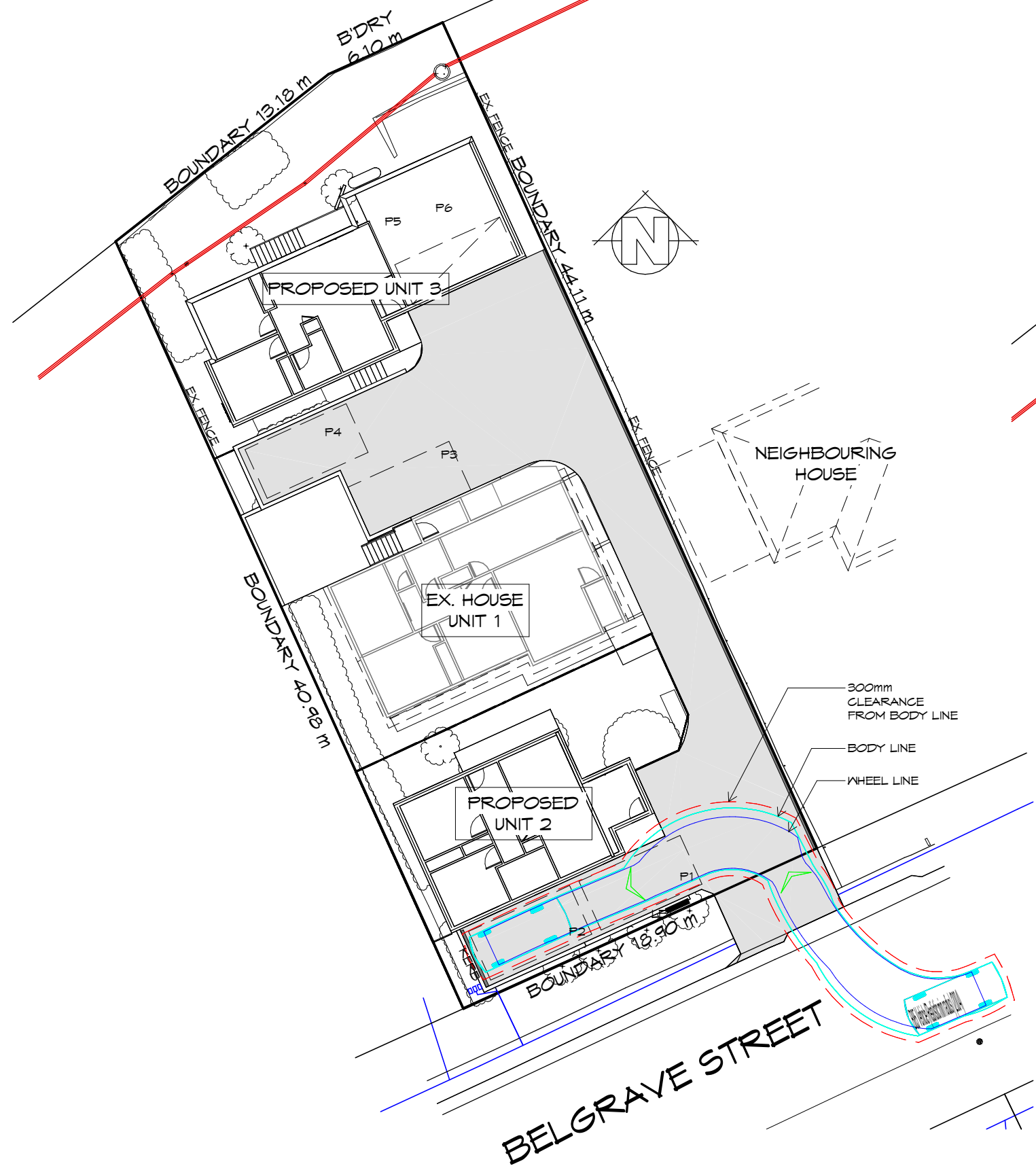
Drafted by: D.D.H. Approved by: Approver

Date: 28.08.2024 Scale: 1 : 500

Project/Drawing no: PDH21035 -05 Revision: 11

Accredited building practitioner: Frank Geskus -No CC246A





PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

TURNING PATHS U2-P1/P2 ENT
1 : 250

TURNING PATHS U2-P1/P2 EXIT
1 : 250



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Project:
**PROPOSED UNIT DEVELOPMENT
 16 BELGRAVE STREET
 CLAREMONT**

Client name:
OAK BUILDING & CONSTRUCTION

Drafted by:
D.D.H.

Approved by:
Approver

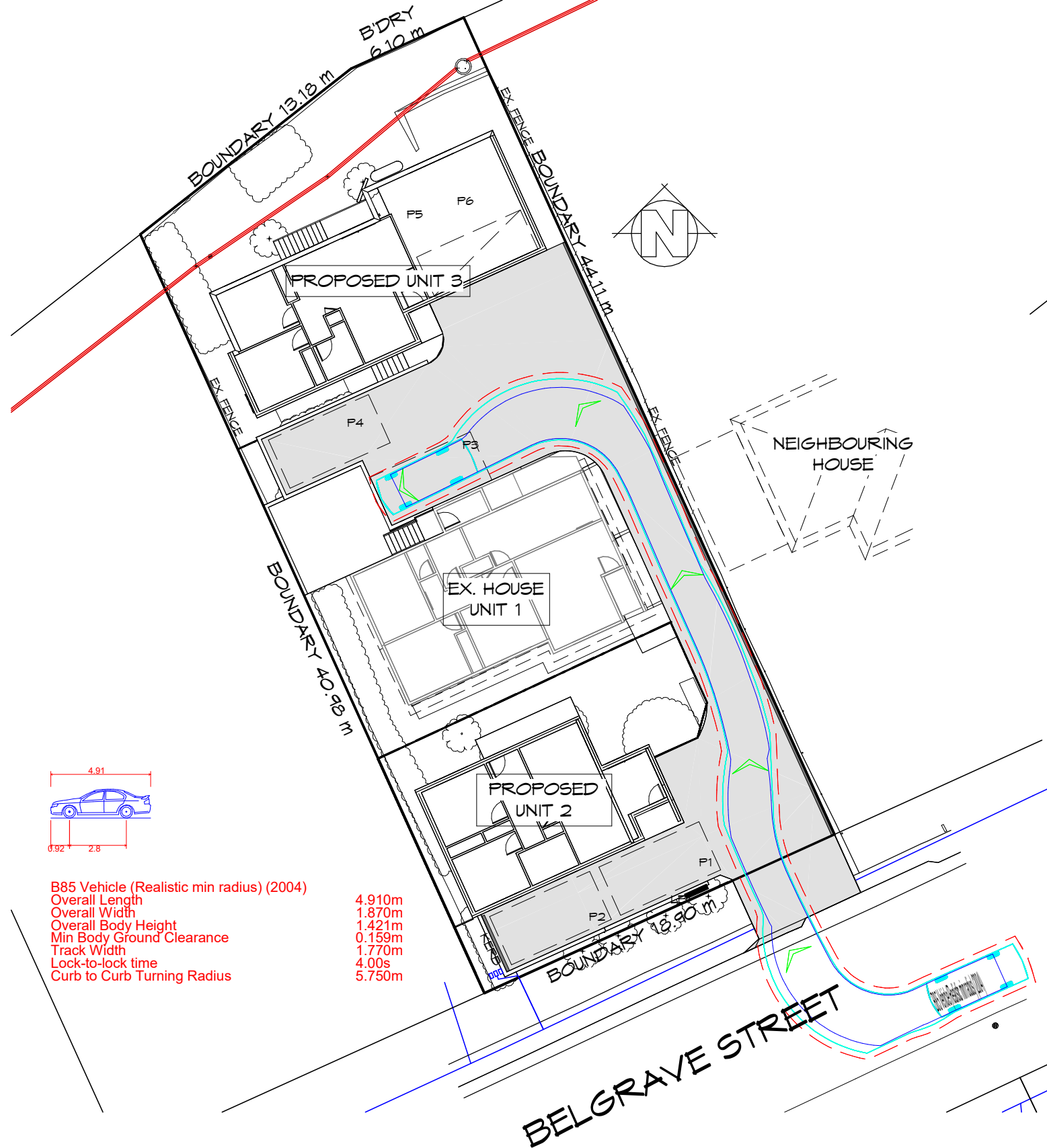


Drawing:
TURNING PATHS U2

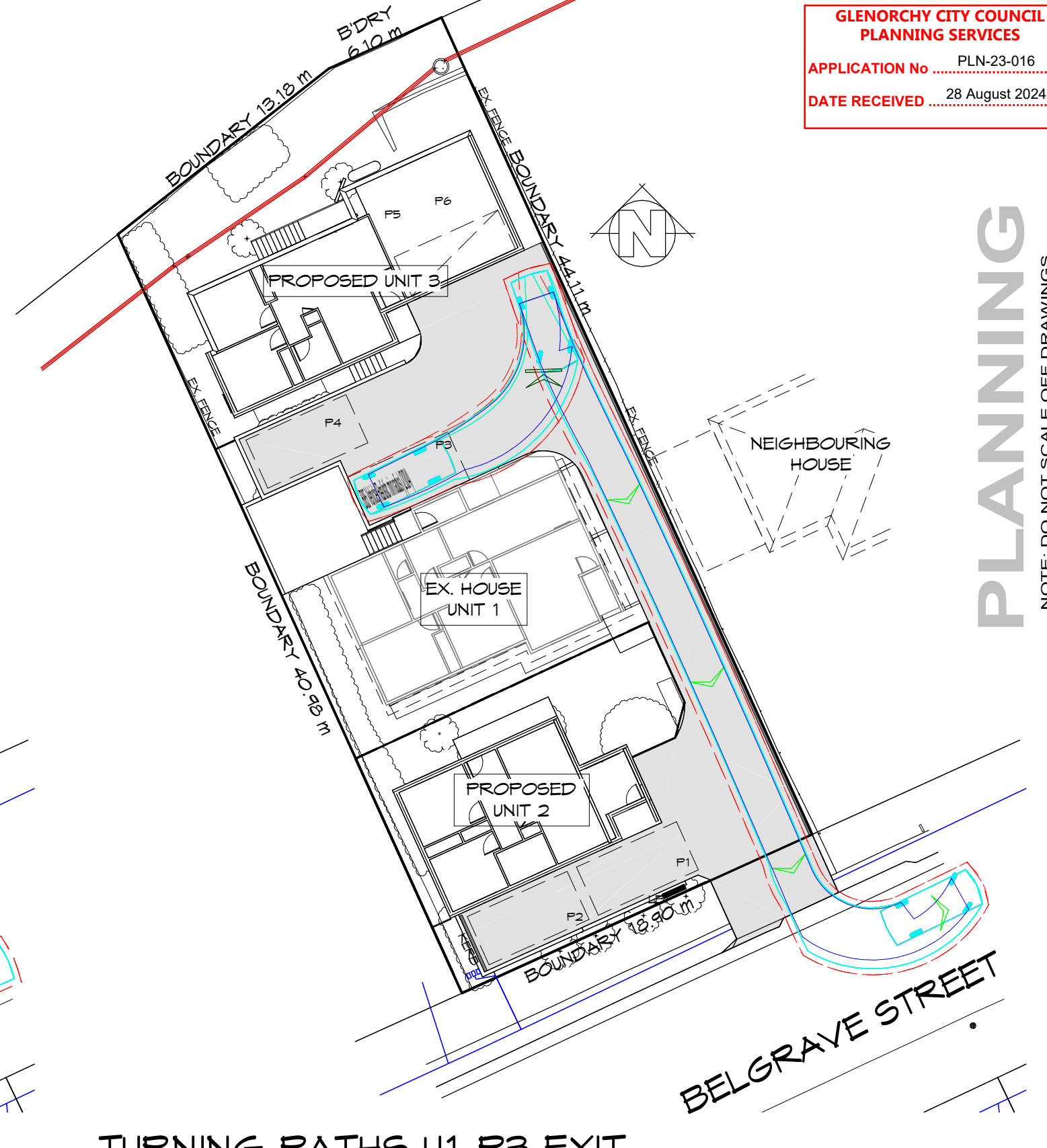
Date: **28.08.2024** Scale: **1 : 250**

Project/Drawing no: **PDH21035 -06** Revision: **11**

Accredited building practitioner: Frank Geskus -No CC246A



TURNING PATHS U1-P3 ENT
1 : 250



TURNING PATHS U1-P3 EXIT
1 : 250

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Project:
**PROPOSED UNIT DEVELOPMENT
 16 BELGRAVE STREET
 CLAREMONT**

Client name:
OAK BUILDING & CONSTRUCTION

Drafted by:
D.D.H.

Approved by:
Approver

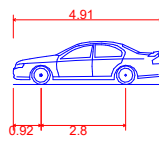
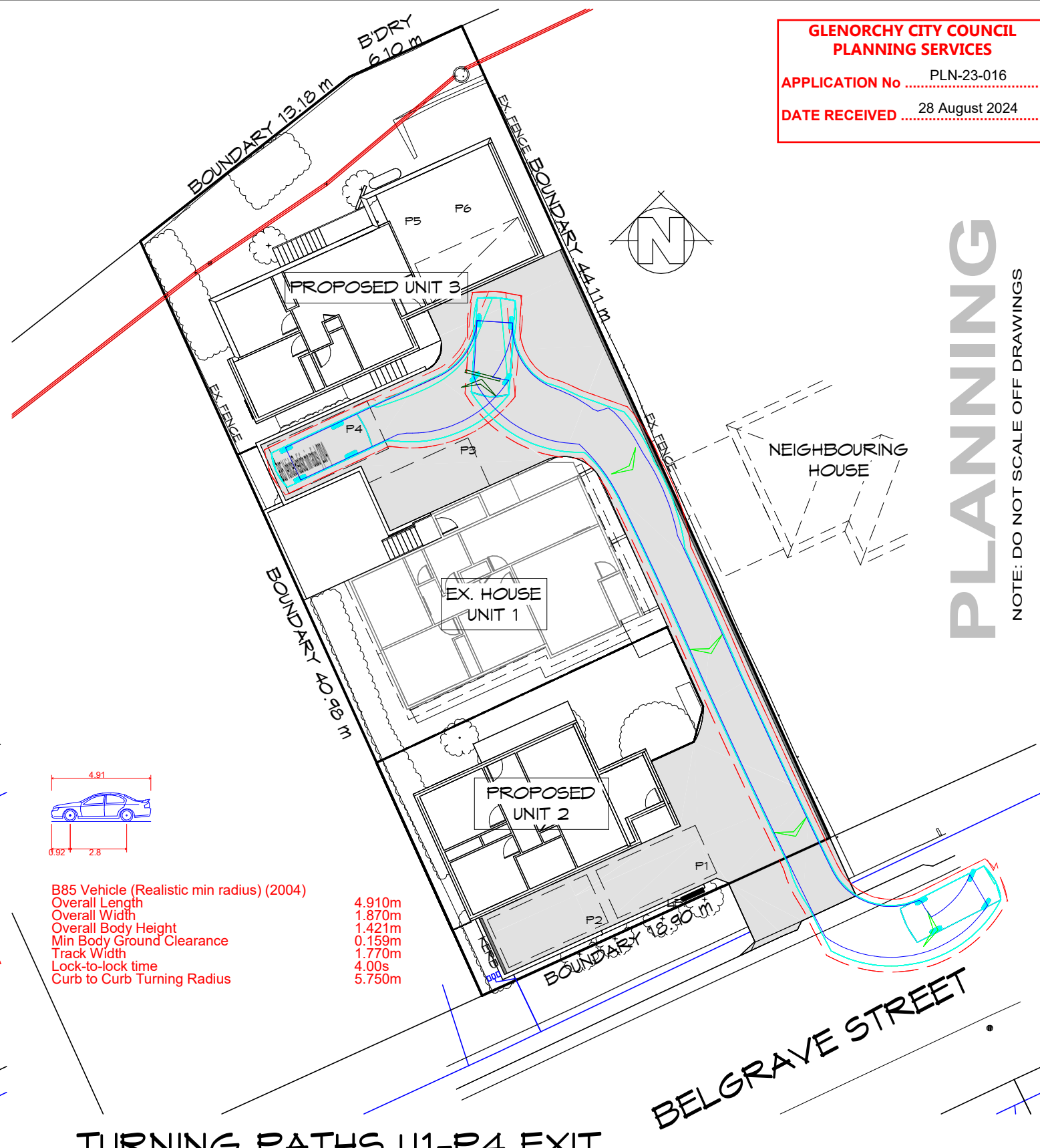
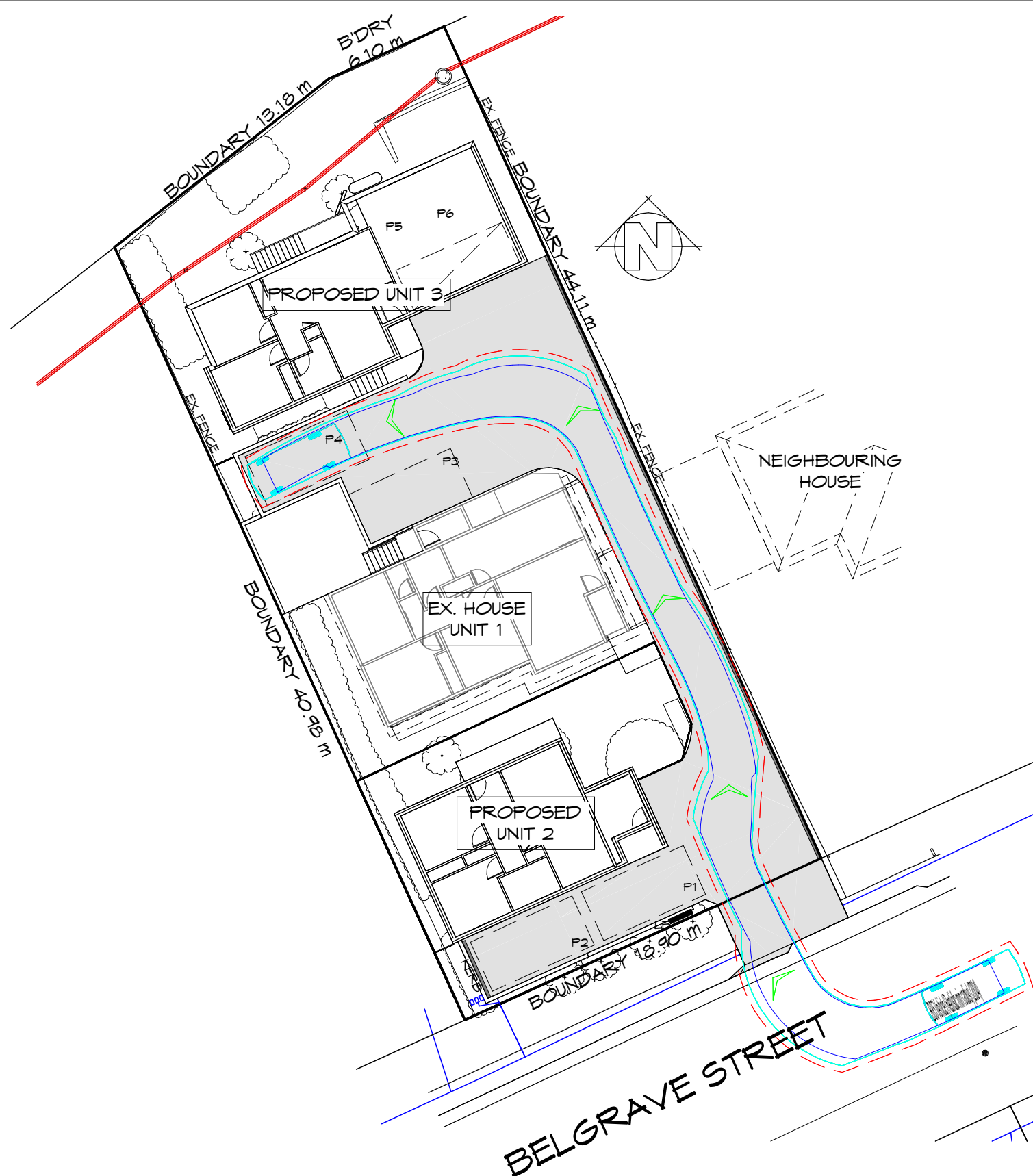


Drawing:
TURNING PATHS U1

Date: **28.08.2024** Scale: **1 : 250**

Project/Drawing no: **PDH21035 -07** Revision: **11**

Accredited building practitioner: Frank Geskus -No CC246A



B85 Vehicle (Realistic min radius) (2004)
 Overall Length 4.910m
 Overall Width 1.870m
 Overall Body Height 1.421m
 Min Body Ground Clearance 0.159m
 Track Width 1.770m
 Lock-to-lock time 4.00s
 Curb to Curb Turning Radius 5.750m

TURNING PATHS U1-P4 ENT
 1 : 250

TURNING PATHS U1-P4 EXIT
 1 : 250



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Project:
**PROPOSED UNIT DEVELOPMENT
 16 BELGRAVE STREET
 CLAREMONT**

Client name:
OAK BUILDING & CONSTRUCTION

Drafted by:
Author

Approved by:
Approver



Drawing:
TURNING PATHS U1

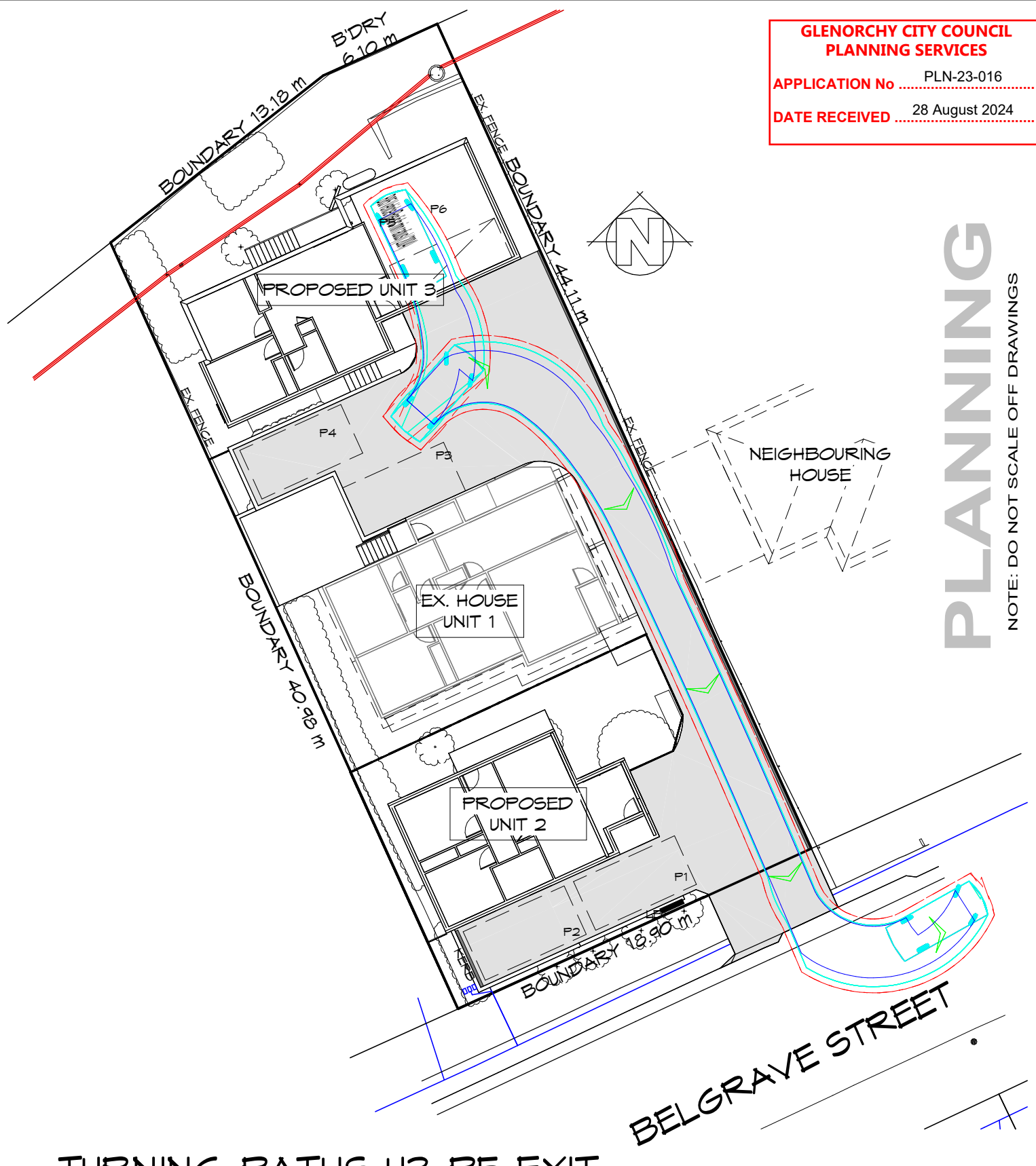
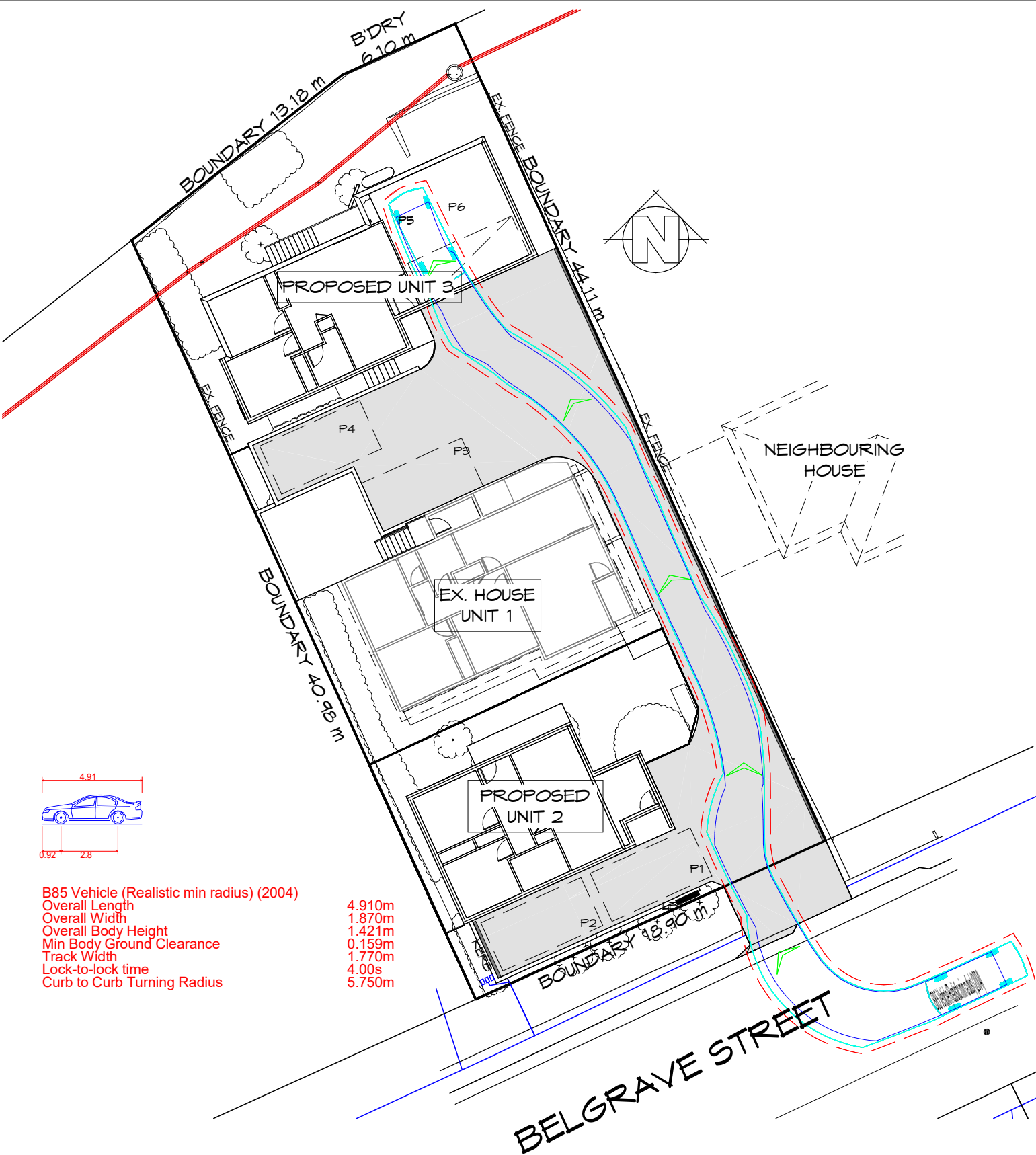
Date: 28.08.2024
 Scale: 1 : 250

Project/Drawing no:
PDH21035 -08

Revision:
11

Accredited building practitioner: Frank Geskus -No CC246A

PLANNING
 NOTE: DO NOT SCALE OFF DRAWINGS



PLANNING
 NOTE: DO NOT SCALE OFF DRAWINGS

TURNING PATHS U3-P5 ENT
 1 : 250

TURNING PATHS U3-P5 EXIT
 1 : 250



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Client name:
OAK BUILDING & CONSTRUCTION

Drafted by:
D.D.H.

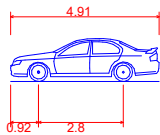
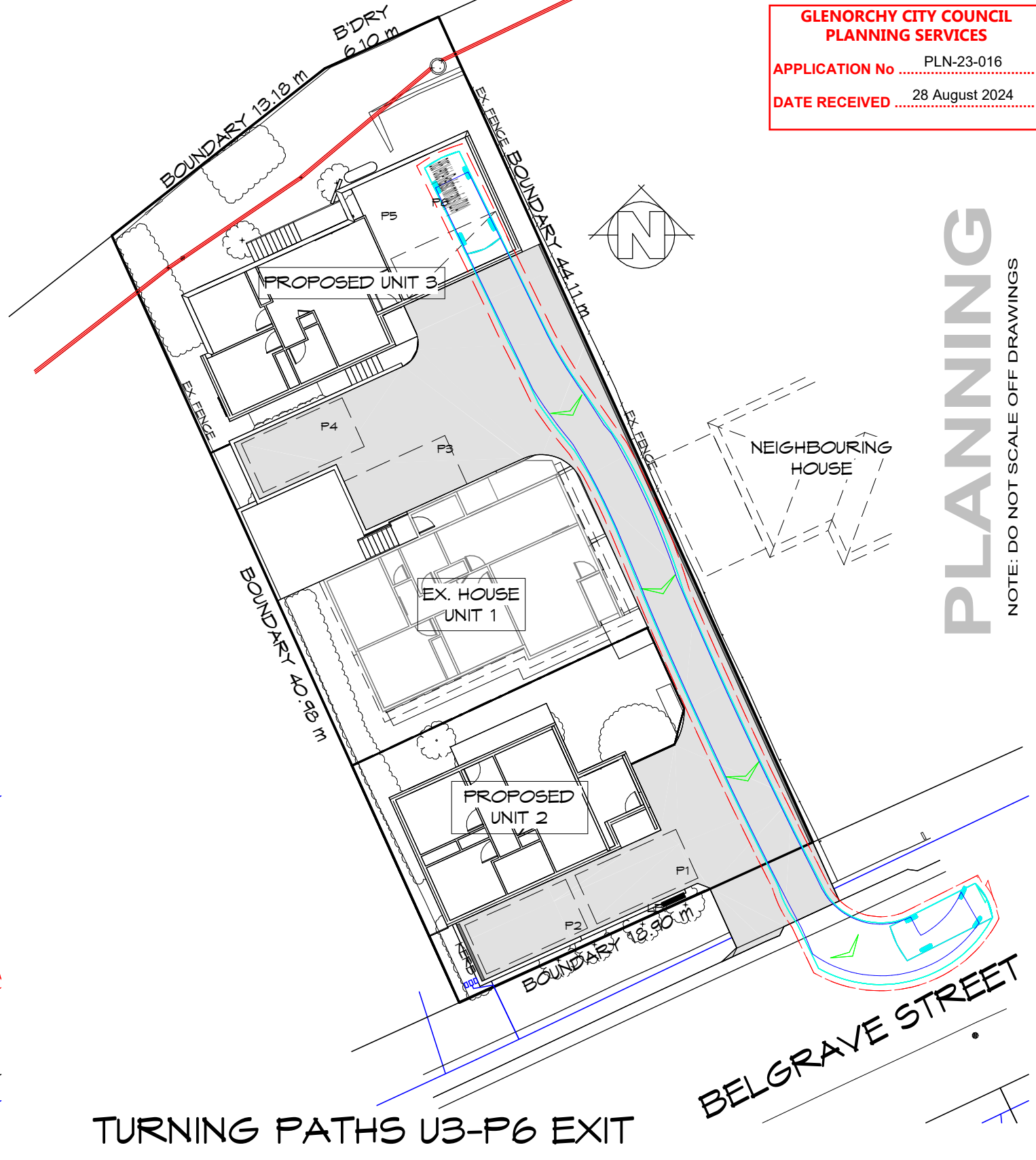
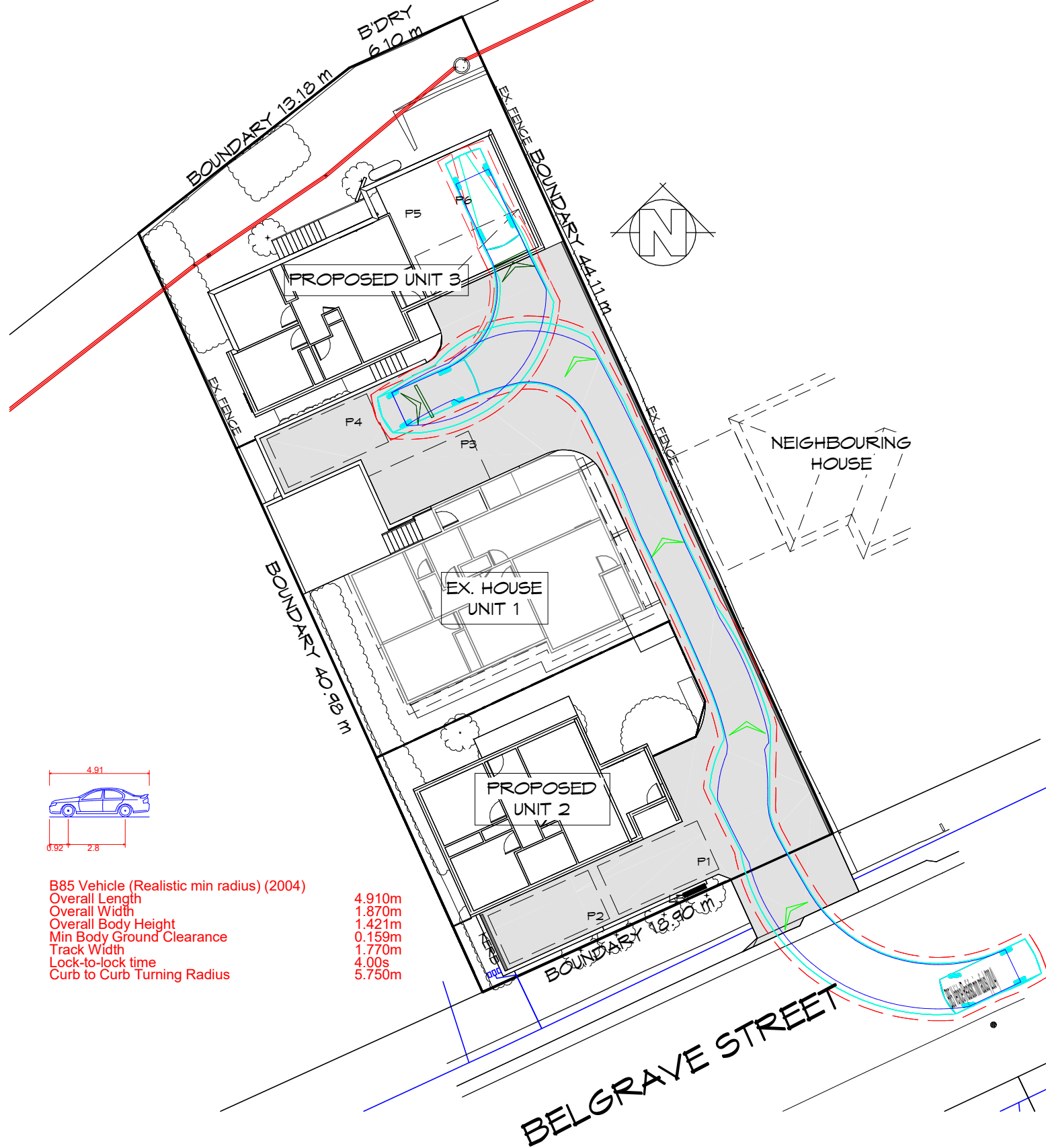
Approved by:
Approver

Drawing:
TURNING PATHS U3

Date: 28.08.2024
 Scale: 1 : 250

Project/Drawing no: PDH21035 -09
 Revision: 11

Accredited building practitioner: Frank Geskus -No CC246A



B85 Vehicle (Realistic min radius) (2004)
 Overall Length 4.910m
 Overall Width 1.870m
 Overall Body Height 1.421m
 Min Body Ground Clearance 0.159m
 Track Width 1.770m
 Lock-to-lock time 4.00s
 Curb to Curb Turning Radius 5.750m

TURNING PATHS U3-P6 ENT
 1 : 250

TURNING PATHS U3-P6 EXIT
 1 : 250

PLANNING
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 CLAREMONT**

Client name:
OAK BUILDING & CONSTRUCTION

Drafted by:
Author

Approved by:
Approver

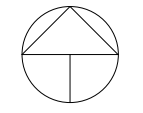


Drawing:
TURNING PATHS U3

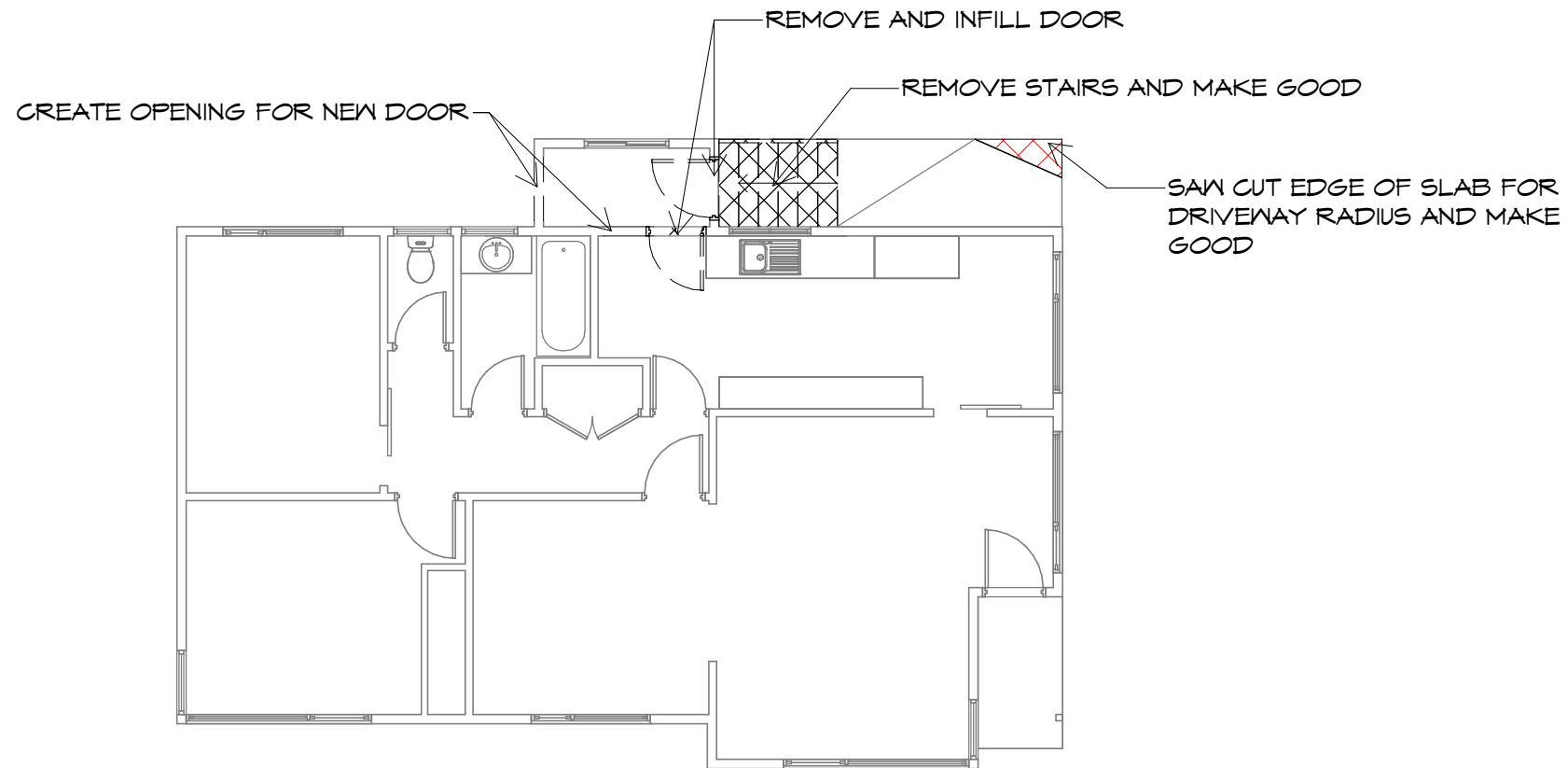
Date: 28.08.2024
 Scale: 1 : 250

Project/Drawing no:
PDH21035 -10

Revision:
11



Accredited building practitioner: Frank Geskus -No CC246A



PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

DEMOLITION PLAN

1 : 100

DEMOLITION NOTE:

- IT IS THE BUILDERS RESPONSIBILITY THAT ALL WORKS TO BE DONE IN A SAFE MANNER.
- BUILDER TO PROP WHERE REQUIRED. IF UNSURE CONTACT ENGINEER OR DESIGNER.
- CAP ALL PLUMBING.
- ALL ELECTRICAL TO BE DISCONNECTED AT MAINS BOARD/STREET 1 OF FEED INTO SITE.
- BUILDERS RESPONSIBILITY TO KEEP SITE CLEAN TO ENSURE NO CONTAMINATES GO INTO STORM WATER/SEWER WATER LINES.
- BUILDER TO HAVE SITE INSPECTED/TESTED FOR ASBESTOS PRIOR TO ANY WORKS



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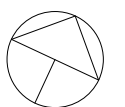
Project:
**PROPOSED UNIT DEVELOPMENT
16 BELGRAVE STREET
CLAREMONT**

Client name:
OAK BUILDING & CONSTRUCTION

Drawing:
DEMOLITION PLAN

Drafted by: D.D.H. Approved by: Approver

Date: 28.08.2024 Scale: 1 : 100



Project/Drawing no: PDH21035 -U1-01 Revision: 11

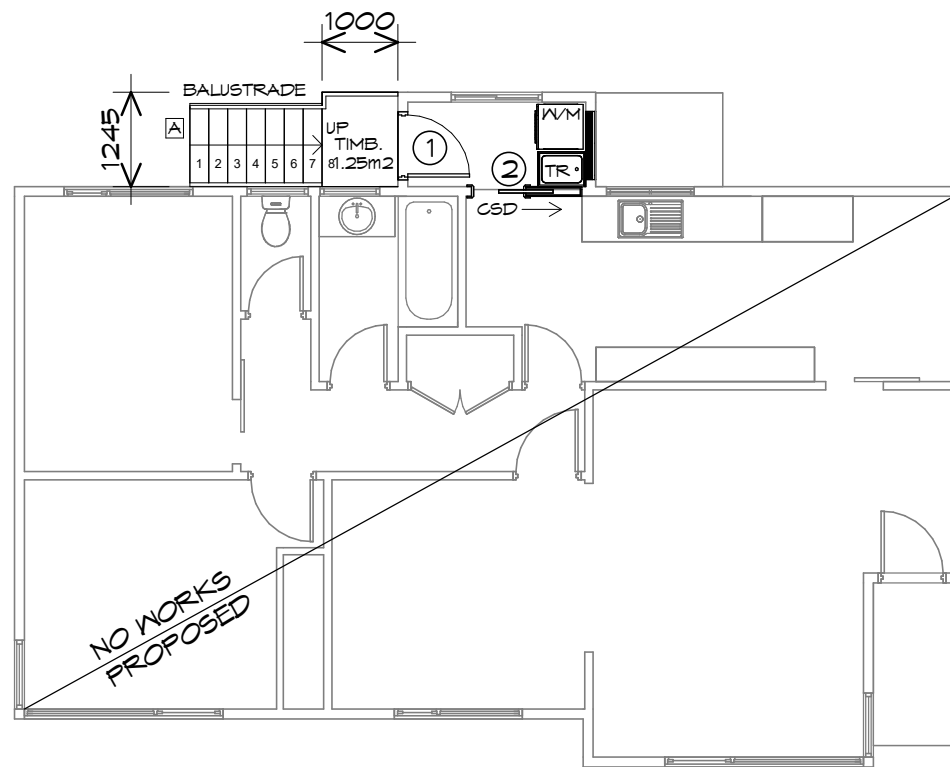
Accredited building practitioner: Frank Geskus -No CC246A

LEGEND

CSD CAVITY SLIDING DOOR

90X35 MFG10
NEW STUD WALLS

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS



FLOOR PLAN

1 : 100

EX. HOUSE FLOOR AREA 91.97 m² (9.89 SQUARES)

NOTE:
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

STAIRS

STAIR	NO RISERS	RISER HT	TREAD DEPTH
A	8	181	250

GOING NON SLIP TO COMPLY NCC 2019

DOOR SCHEDULE

MARK	WIDTH	TYPE	REMARKS
1	820	GLAZED EXTERNAL DOOR	
2	720	CAVITY SLIDING DOOR	



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Project:
**PROPOSED UNIT DEVELOPMENT
16 BELGRAVE STREET
CLAREMONT**

Client name:
OAK BUILDING & CONSTRUCTION

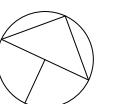
Drawing:
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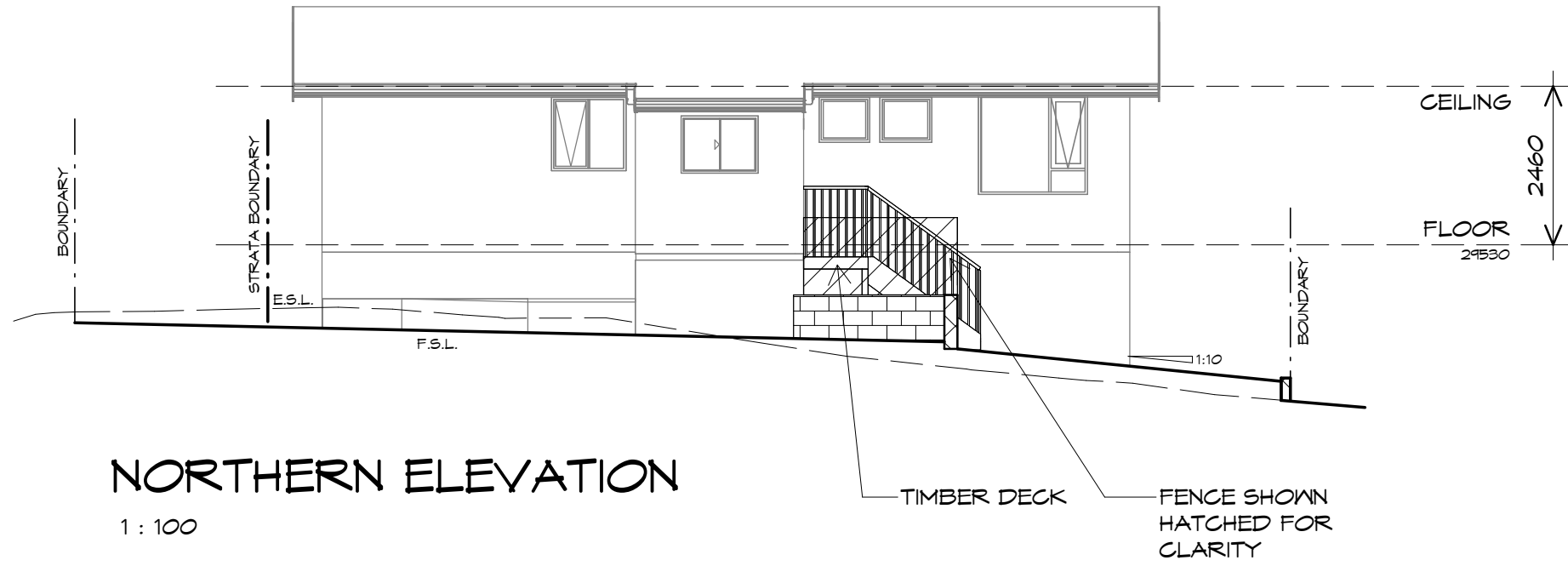
Drafted by: D.D.H. Approved by: Approver

Date: 28.08.2024 Scale: 1 : 100

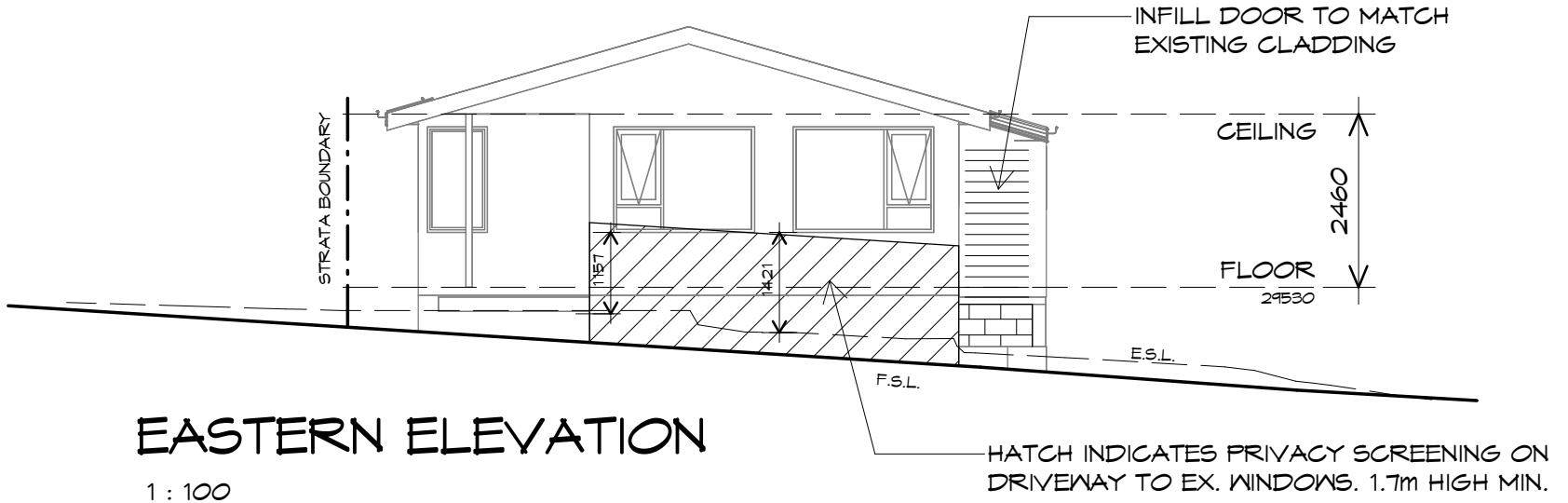
Project/Drawing no: PDH21035 -U1-02 Revision: 11

Accredited building practitioner: Frank Geskus -No CC246A





NORTHERN ELEVATION
 1 : 100



EASTERN ELEVATION
 1 : 100



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Project:
**PROPOSED UNIT DEVELOPMENT
 16 BELGRAVE STREET
 CLAREMONT**

Client name:
OAK BUILDING & CONSTRUCTION

Drawing:
ELEVATIONS

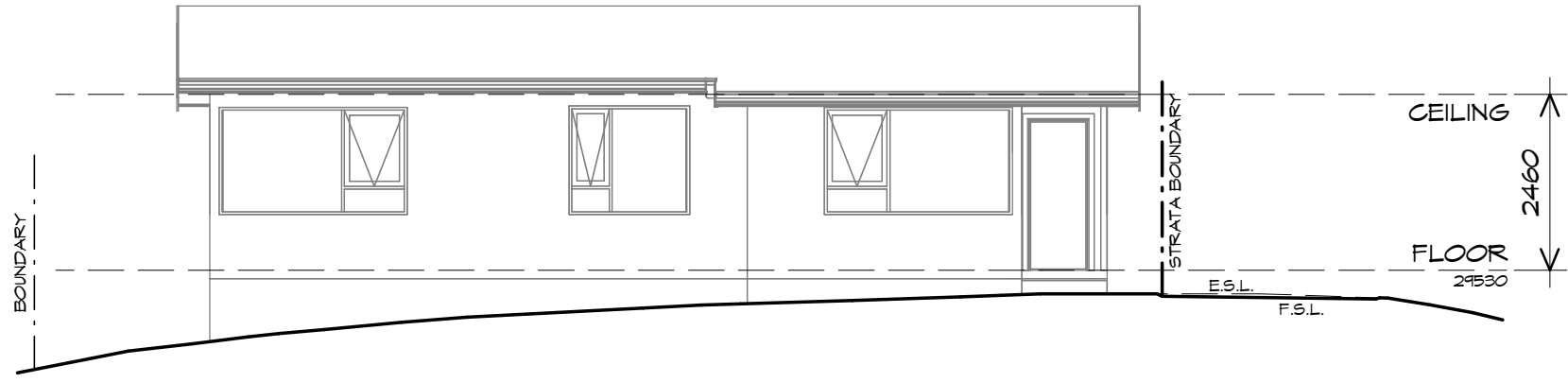
Drafted by: **D.D.H.** Approved by: **Approver**

Date: **28.08.2024** Scale: **1 : 100**

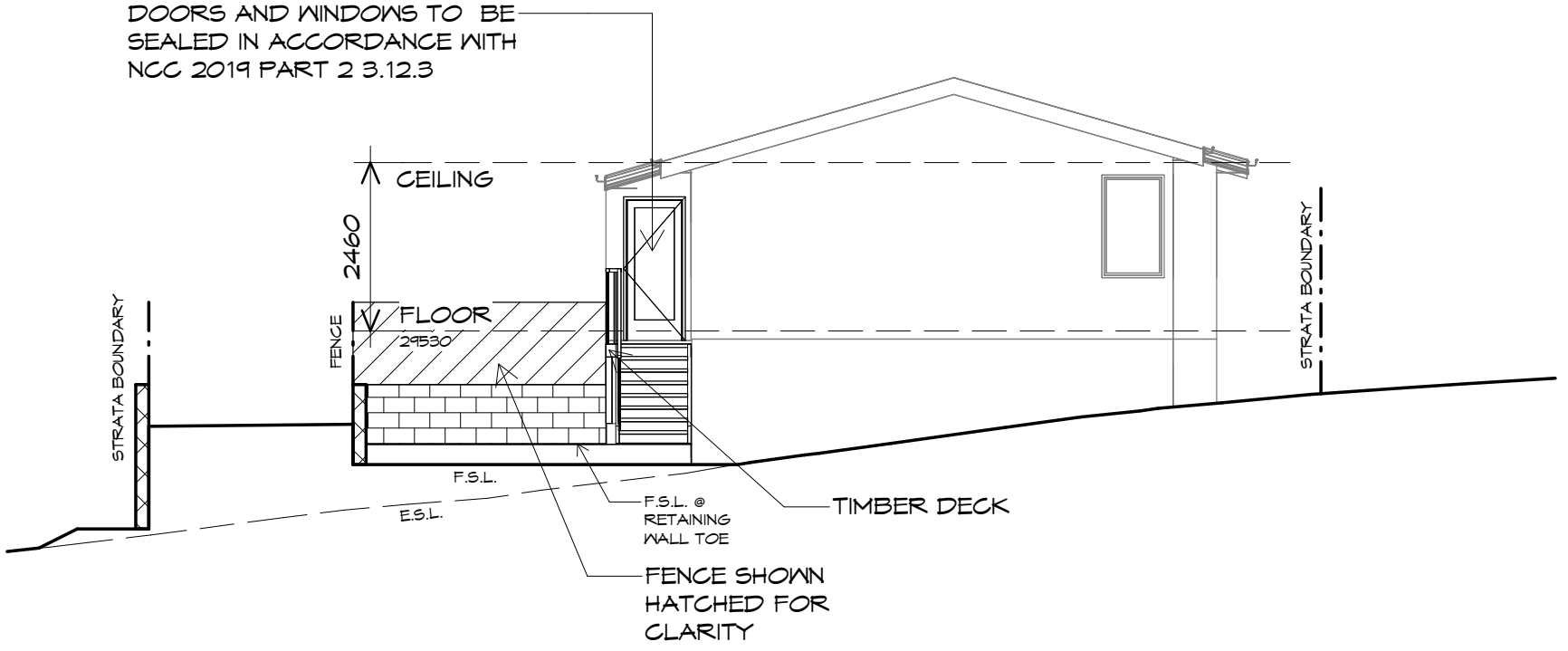
Project/Drawing no: **PDH21035 -U1-03** Revision: **11**

Accredited building practitioner: Frank Geskus -No CC246A





SOUTHERN ELEVATION
 1 : 100



WESTERN ELEVATION
 1 : 100



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Project:
**PROPOSED UNIT DEVELOPMENT
 16 BELGRAVE STREET
 CLAREMONT**

Client name:
OAK BUILDING & CONSTRUCTION

Drawing:
ELEVATIONS

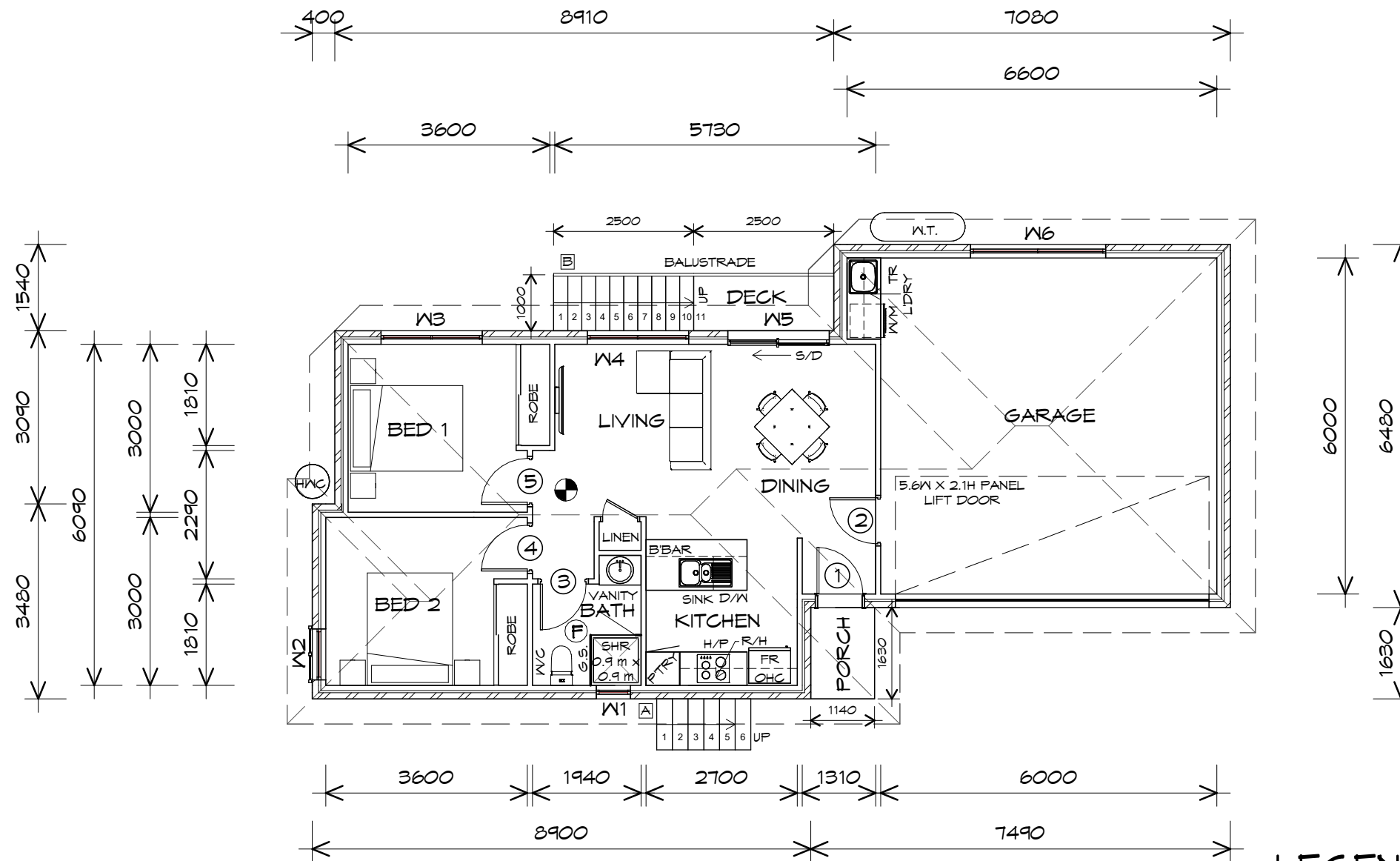
Drafted by: D.D.H. Approved by: Approver

Date: 28.08.2024 Scale: 1 : 100

Project/Drawing no: PDH21035 -U1-04 Revision: 11

Accredited building practitioner: Frank Geskus -No CC246A





FLOOR PLAN

1 : 100

GROUND FLOOR AREA	63.11	m ²	(6.79	SQUARES)
GARAGE AREA	42.05	m ²	(4.52	SQUARES)
TOTAL AREA	105.16		11.31	

NOTE:
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

STAIRS

STAIR	NO RISERS	RISER H'T	TREAD DEPTH
A	6	168	280
B	11	168	250

GOING NON SLIP TO COMPLY NCC 2019

LEGEND

- (F) EXHAUST FAN-VENT TO OUTSIDE AIR.
- (S) 240V SMOKE ALARM
- CSD CAVITY SLIDING DOOR
- S/D SLIDING DOOR
- FW FLOOR WASTE
- G.T. GRATED TRENCH
- H.R. HAND RAIL
- G.S. GLASS SCREEN
- R/H RANGE HOOD
- HWC HOT WATER CYLINDER

Project:
PROPOSED UNIT DEVELOPMENT
16 BELGRAVE STREET
CLAREMONT

Client name:
OAK BUILDING & CONSTRUCTION

Drafted by:
D.D.H.

Approved by:
Approver



Drawing:
FLOOR PLAN

Date: **28.08.2024**
Scale: **1 : 100**

Project/Drawing no: **PDH21035 -U3-01**
Revision: **11**

Accredited building practitioner: Frank Geskus -No CC246A

DOOR SCHEDULE

MARK	WIDTH	TYPE	REMARKS
1	820	EXTERNAL ENTRY DOOR	
2	820	INTERNAL TIMBER DOOR	
3	820	INTERNAL TIMBER DOOR	
4	820	INTERNAL TIMBER DOOR	
5	820	INTERNAL TIMBER DOOR	

WINDOW SCHEDULE

MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	900	610	AWNING WINDOW	
W2	1800	910	AWNING WINDOW	PRIVACY SCREEN
W3	1800	1810	AWNING WINDOW	
W4	1800	1810	AWNING WINDOW	
W5	2100	1810	SLIDING DOOR	
W6	900	2410	AWNING WINDOW	

ALUMINIUM WINDOWS DOUBLE GLAZING COMPLETE
WITH FLY SCREENS TO SUIT BAL EXEMPT RATING.
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE
PRIOR TO ORDERING

PLANNING
 NOTE: DO NOT SCALE OFF DRAWINGS



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Project:
PROPOSED UNIT DEVELOPMENT
16 BELGRAVE STREET
CLAREMONT

Client name:
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Drafted by:
D.D.H.

Approved by:
Approver

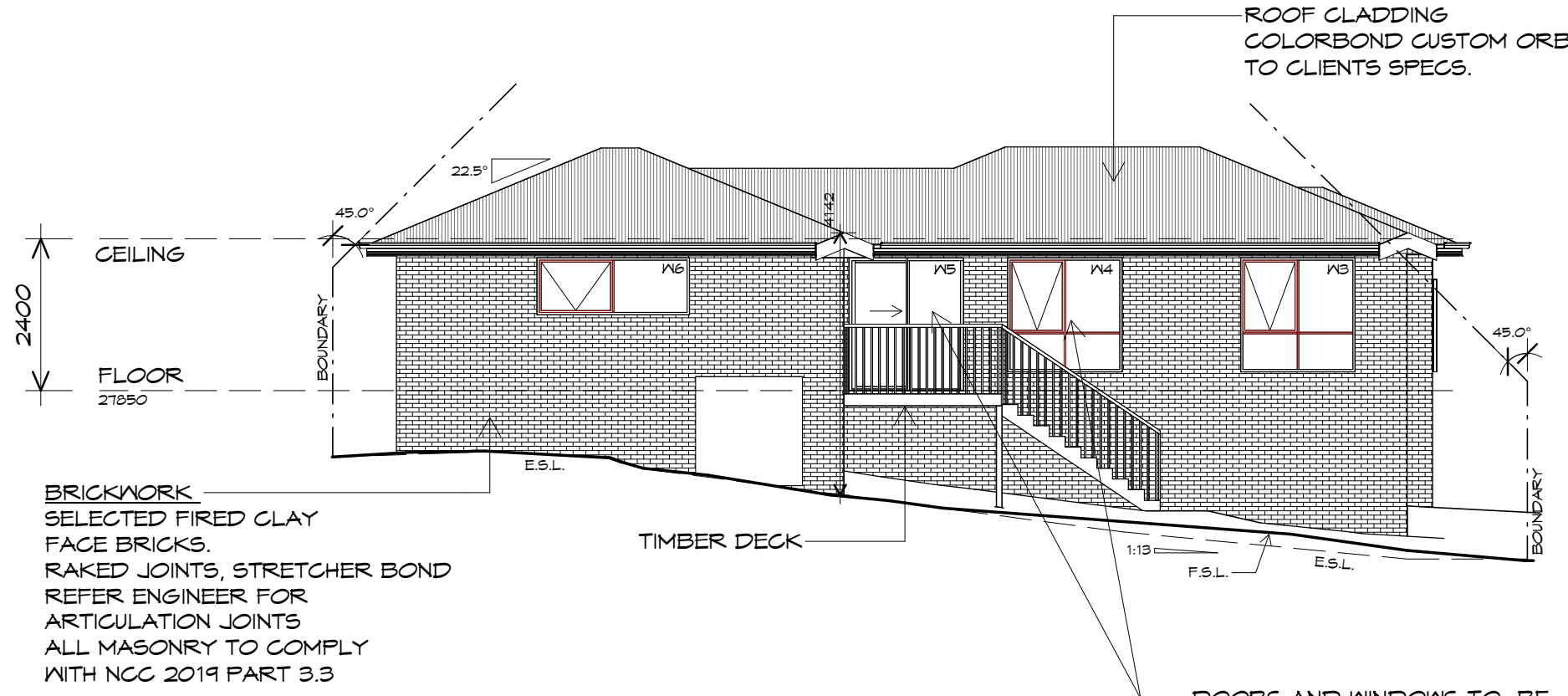


Drawing:
DOOR AND WINDOW
SCHEDULES

Date: 28.08.2024
Scale:

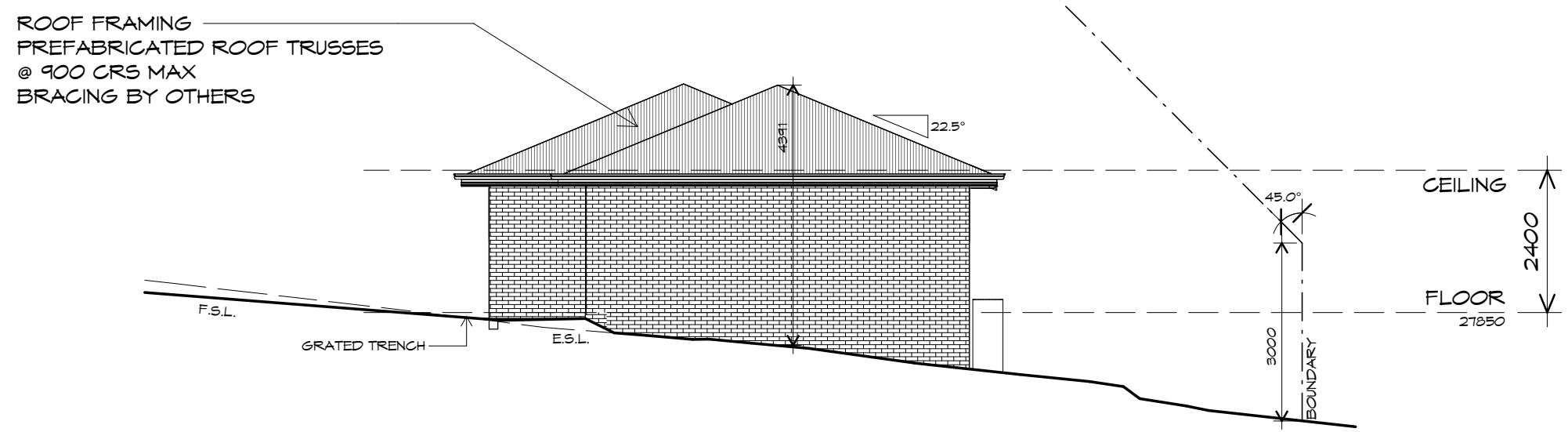
Project/Drawing no: PDH21035 -U3-02
Revision: 11

Accredited building practitioner: Frank Geskus -No CC246A



BRICKWORK
 SELECTED FIRED CLAY
 FACE BRICKS.
 RAKED JOINTS, STRETCHER BOND
 REFER ENGINEER FOR
 ARTICULATION JOINTS
 ALL MASONRY TO COMPLY
 WITH NCC 2019 PART 3.3

NORTHERN ELEVATION
 1 : 100



EASTERN ELEVATION
 1 : 100

PLANNING
 NOTE: DO NOT SCALE OFF DRAWINGS



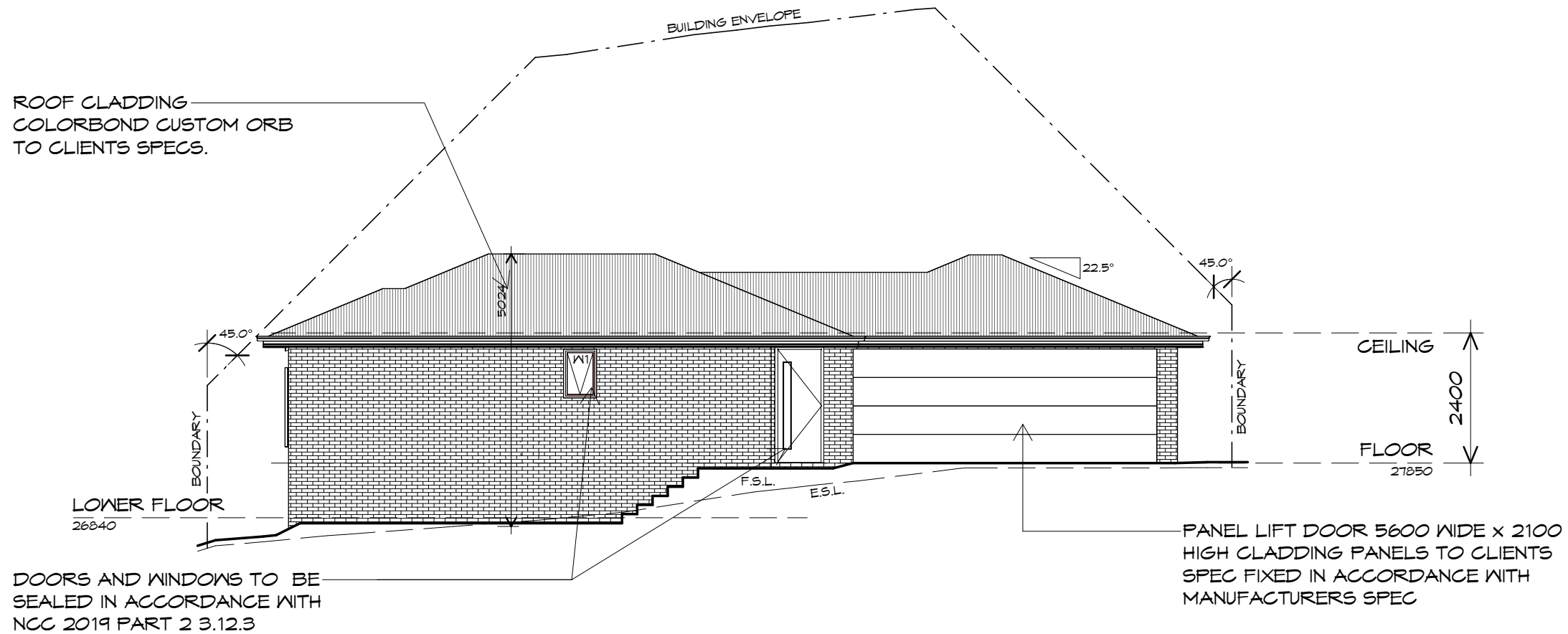
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Project:
**PROPOSED UNIT DEVELOPMENT
 16 BELGRAVE STREET
 CLAREMONT**
 Client name:
**OAK BUILDING &
 CONSTRUCTION**
 Drawing:
ELEVATIONS

Drafted by: D.D.H. Approved by: Approver
 Date: 28.08.2024 Scale: 1 : 100

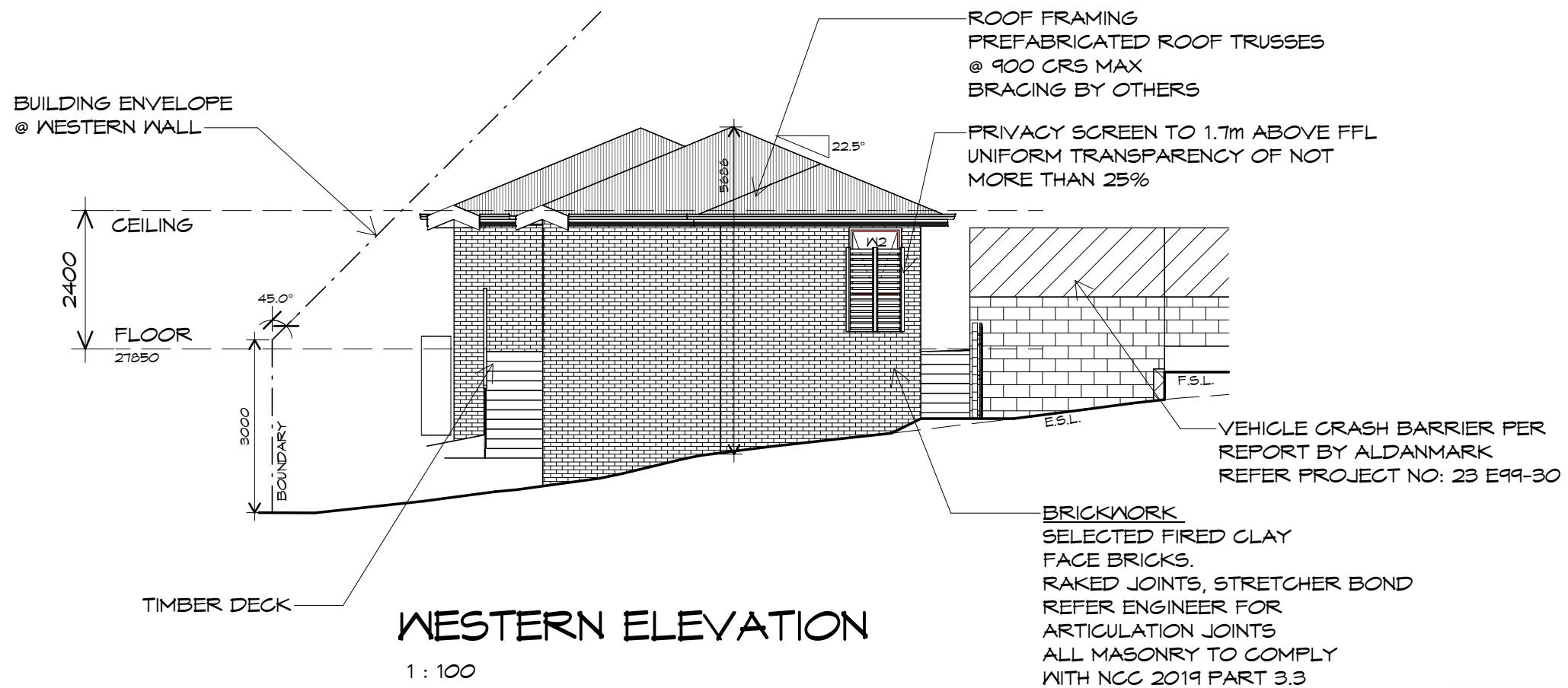
Project/Drawing no: PDH21035 -U3-03 Revision: 11
 Accredited building practitioner: Frank Geskus -No CC246A





SOUTHERN ELEVATION

1 : 100



WESTERN ELEVATION

1 : 100

PLANNING
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Project:
**PROPOSED UNIT DEVELOPMENT
 16 BELGRAVE STREET
 CLAREMONT**

Client name:
**OAK BUILDING &
 CONSTRUCTION**

Drawing:
ELEVATIONS

Drafted by: D.D.H.	Approved by: Approver
Date: 28.08.2024	Scale: 1 : 100

Project/Drawing no: PDH21035 -U3-04	Revision: 11
Accredited building practitioner: Frank Geskus -No CC246A	



ROOF PLUMBING NOTES:

GUTTER INSTALLATION
TO BE IN ACCORDANCE WITH
NCC 2019 PART 3.5.2.4.
WITH FALL NO LESS THAN
1:100 FOR BOX GUTTERS
1:500 FOR EAVES GUTTER

UNLESS FIXED TO METAL FASCIA
EAVES GUTTER TO BE FIXED
@ 1200 CRS MAX.

VALLEY GUTTERS ON A ROOF WITH A PITCH:

- A) MORE THAN 12.5° DEGREES - MUST HAVE A WIDTH OF NOT LESS THAN 400mm AND ROOF OVERHANG OF NOT LESS THAN 150mm EACH SIDE OF VALLEY GUTTER.
- B) LESS THAN 12.5° DEGREES, MUST BE DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION OF FLOW, RIVET & SEAL WITH AN APPROVED SILICONE SEALANT.

DOWNPIPE POSITIONS SHOWN ON THIS PLAN ARE NOMINAL ONLY.

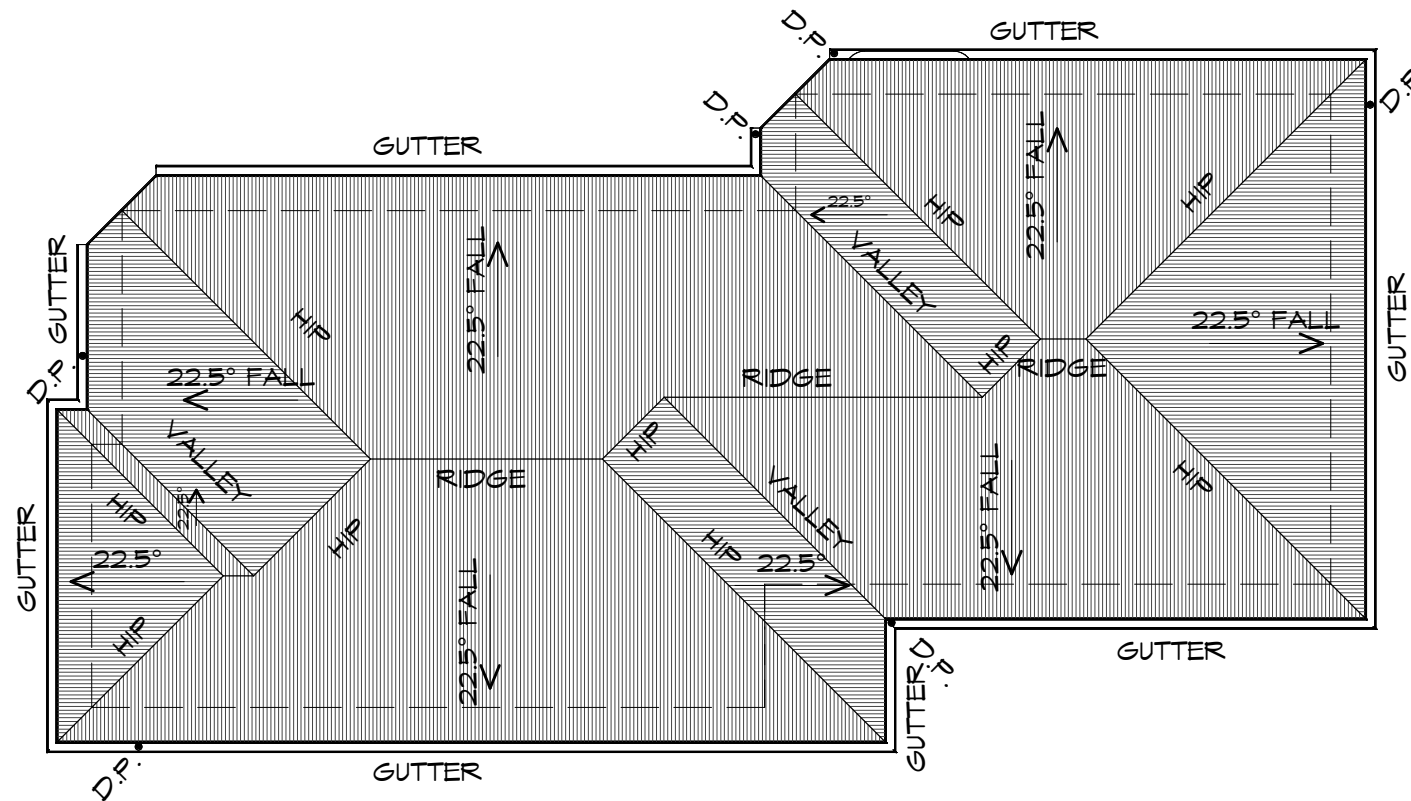
EXACT LOCATION & NUMBER OF D.P.'S REQUIRED ARE TO BE IN ACCORDANCE WITH NCC 2019 PART 3.5.2.5 REQUIREMENTS. SPACING BETWEEN DOWNPIPES MUST NOT BE MORE THAN 12m & WITHIN 1.2m FROM A VALLEY GUTTER.

ADDITIONAL ROOF LOAD

NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.

METAL ROOF

METAL SHEETING ROOF TO BE INSTALLED IN ACCORDANCE WITH NCC 2019 PART 3.5.1.3. REFER TO TABLE 3.5.3.1a FOR ACCEPTABLE CORROSION PROTECTION FOR SHEET ROOFING, REFER TO TABLE 3.5.1.1 FOR ACCEPTABILITY OF CONTACT BETWEEN DIFFERENT ROOFING MATERIALS.
FOR FIXING, SHEET LAYING SEQUENCE, FASTENER FREQUENCY FOR TRANVERSE FLASHINGS AND CAPPINGS, ANTI CAPILLARY BREAKS, FLASHING DETAILS REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7
ROOF PENETRATION FLASHING DETAILS. REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7
ROOF SHEETING MUST OVERHANG MIN 35mm AS PER NCC 2019 PART 3.5.1.8



ROOF PLAN

1 : 100

PLANNING
 NOTE: DO NOT SCALE OFF DRAWINGS



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Project:
**PROPOSED UNIT DEVELOPMENT
16 BELGRAVE STREET
CLAREMONT**

Client name:
OAK BUILDING & CONSTRUCTION

Drafted by:
D.D.H.

Approved by:
Approver



Drawing:
ROOF PLAN

Date: **28.08.2024**
Scale: **1 : 100**

Project/Drawing no:
PDH21035 -U3-05

Revision:
11

Accredited building practitioner: Frank Geskus -No CC246A

PLUMBING NOTES:
 ALL DRAINAGE WORK SHOWN IS PROVISIONAL ONLY AND IS SUBJECT TO AMENDMENT TO COMPLY WITH THE REQUIREMENTS OF THE LOCAL AUTHORITIES.
 ALL WORK IS TO COMPLY WITH THE REQUIREMENTS OF AS 3500.2018 & THE NATIONAL CONSTRUCTION CODE. AND MUST BE CARRIED OUT BY A LICENCED TRADESMAN ONLY.

LEGEND OF DIAMETERS
 TROUGH = 50mm
 SINK = 50mm
 BATH = 40mm
 BASIN = 40mm
 SHOWER = 50mm
 WC = 100mm
 SEWER = 100mm uPVC
 ORG = OVERFLOW RELIEF GULLY
 VENT = 50mm
 DP = 90mm
 DOWNPIPE STORMWATER = 90mm uPVC

THE INSTALLATION OF WATER PIPE LINES, USE POLY OR COPPER PIPE, MUST COMPLY WITH AS/NZS 3500.2018. MAIN COLD WATER LINE FROM METER TO HOUSE TO BE DN 25mm WITH DN 16mm BRANCHES & HOT WATER MAIN LINES TO BE DN 20mm WITH DN 16mm BRANCHES TO FIXTURES, ALL OTHER PRODUCTS USED ARE TO COMPLY WITH THE REQUIREMENTS OF AS/NZS 3500.2018.

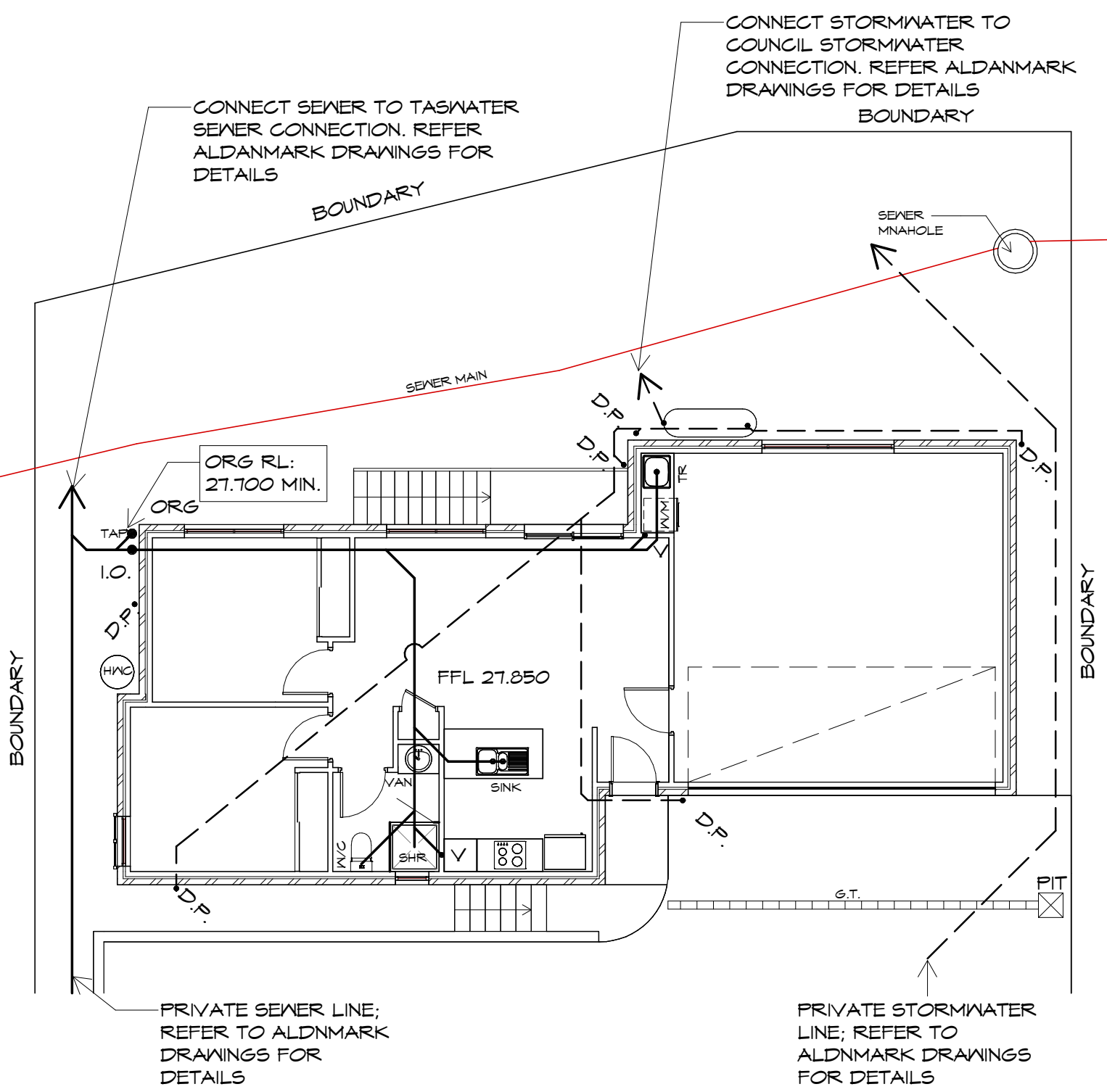
HOT WATER INSTALLATION SHALL DELIVER HOT WATER TO ALL SANITARY FIXTURES USED FOR PERSONAL HYGIENE AT 50deg C, KITCHEN SINK & LAUNDRY SHALL BE 60deg C TO COMPLY WITH REQUIREMENTS OF AS/NZS 3500.2018.

AT THE PROPERTY BOUNDARY, AN APPROVED BACKFLOW PROTECTION VALVE IS TO BE FITTED BEFORE EXTENDING THE DOMESTIC SUPPLY TO THE DWELLING.

FINAL PITS LOCATION AND NUMBER TO BE CONFIRMED ON SITE TO ENSURE SURFACE WATER IS REMOVED FROM AROUND HOUSE.

- ☒ 300X300 EVERHART SURFACE DRAINAGE PIT
- ☒ 450X450 SURFACE DRAINAGE PIT AT LOCATION OF DRIVEWAY/BATTERS

HOT WATER CYLINDER TO BE INSTALLED AS PER NCC 2019 VOL 3



PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

PLUMBING PLAN

1 : 100

NOTE:
 READ IN CONJUNCTION WITH CIVIL DESIGN BY ALDANMARK CONSULTING ENGINEERS
 PROJECT NUMBER: 23 E 99 - 30



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Project:
PROPOSED UNIT DEVELOPMENT
 16 BELGRAVE STREET
 CLAREMONT

Client name:
OAK BUILDING & CONSTRUCTION

Drafted by:
D.D.H.

Approved by:
Approver

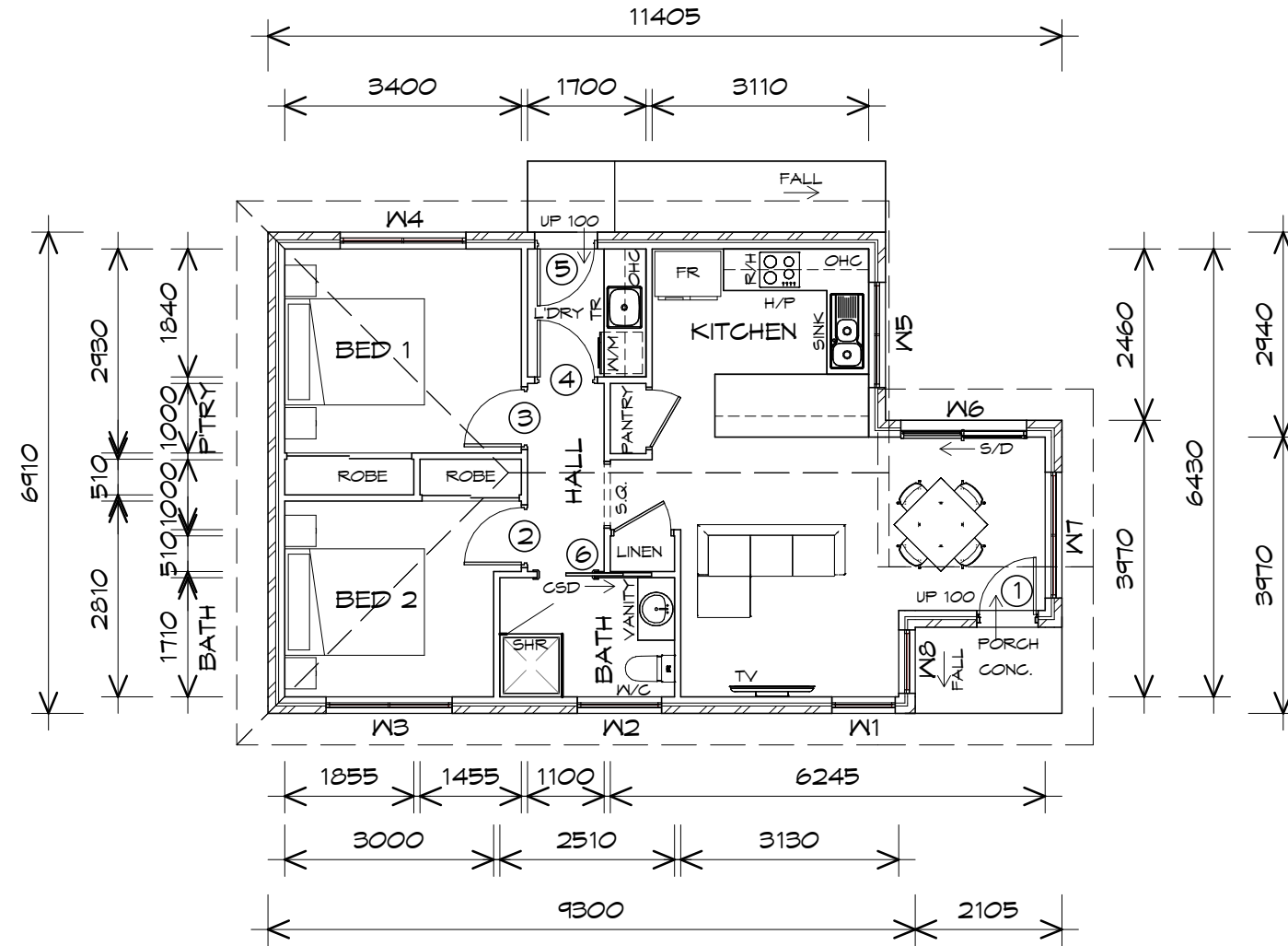


Drawing:
PLUMBING PLAN

Date: **28.08.2024**
 Scale: **1 : 100**

Project/Drawing no: **PDH21035 -U3-06**
 Revision: **11**

Accredited building practitioner: Frank Geskus -No CC246A



FLOOR PLAN

1 : 100

GROUND FLOOR AREA	69.35 m2	(7.46 SQUARES)
TOTAL AREA	69.35	7.46

NOTE:
 FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

LEGEND

- ⊕ EXHAUST FAN-VENT TO OUTSIDE AIR.
- ⊙ 240V SMOKE ALARM
- CSD CAVITY SLIDING DOOR
- S/D SLIDING DOOR
- ⊙ FN FLOOR WASTE
- G.T. GRATED TRENCH
- H.R. HAND RAIL
- G.S. GLASS SCREEN
- R/H RANGE HOOD
- HWC HOT WATER CYLINDER



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Project:
 PROPOSED UNIT DEVELOPMENT
 16 BELGRAVE STREET
 CLAREMONT

Client name:
 OAK BUILDING & CONSTRUCTION

Drafted by:
 D.D.H.

Approved by:
 Approver



Drawing:
 FLOOR PLAN

Date:
 28.08.2024

Scale:
 1 : 100

Project/Drawing no:
 PDH21035 -U2-01

Revision:
 11

Accredited building practitioner: Frank Geskus -No CC246A

PLANNING
 NOTE: DO NOT SCALE OFF DRAWINGS

DOOR SCHEDULE

MARK	WIDTH	TYPE	REMARKS
1	820	EXTERNAL ENTRY DOOR	
2	820	INTERNAL TIMBER DOOR	
3	820	INTERNAL TIMBER DOOR	
4	820	INTERNAL TIMBER DOOR	
5	820	GLAZED EXTERNAL DOOR	
6	820	CAVITY SLIDING DOOR	

WINDOW SCHEDULE

MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1800	910	AWNING WINDOW	
W2	600	1210	AWNING WINDOW	
W3	1800	1810	AWNING WINDOW	
W4	1800	1810	AWNING WINDOW	
W5	1000	1510	AWNING WINDOW	OPAQUE
W6	2100	1810	SLIDING DOOR	
W7	600	1810	AWNING WINDOW	
W8	1800	910	AWNING WINDOW	

ALUMINIUM WINDOWS DOUBLE GLAZING COMPLETE WITH FLY SCREENS TO SUIT BAL EXEMPT RATING. ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE PRIOR TO ORDERING

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS



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Project:
PROPOSED UNIT DEVELOPMENT
16 BELGRAVE STREET
CLAREMONT

Client name:
OAK BUILDING & CONSTRUCTION

Drafted by:
D.D.H.

Approved by:
Approver



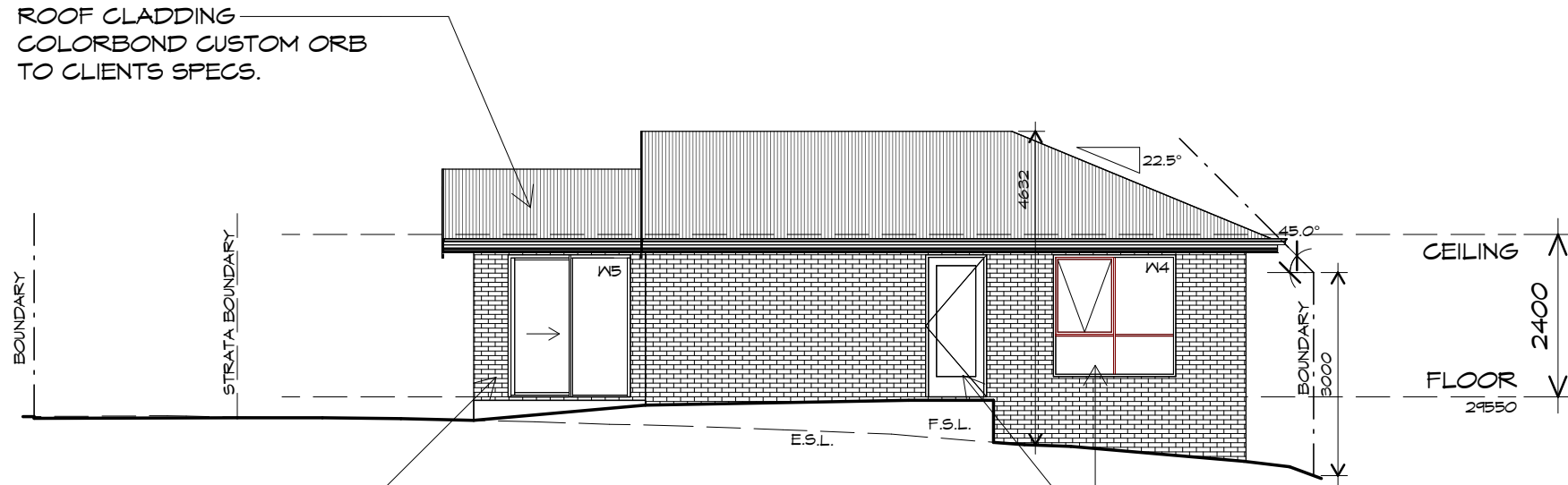
Drawing:
DOOR AND WINDOW
SCHEDULES

Date: 28.08.2024
Scale:

Project/Drawing no: PDH21035 -U2-02
Revision: 11

Accredited building practitioner: Frank Geskus -No CC246A

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

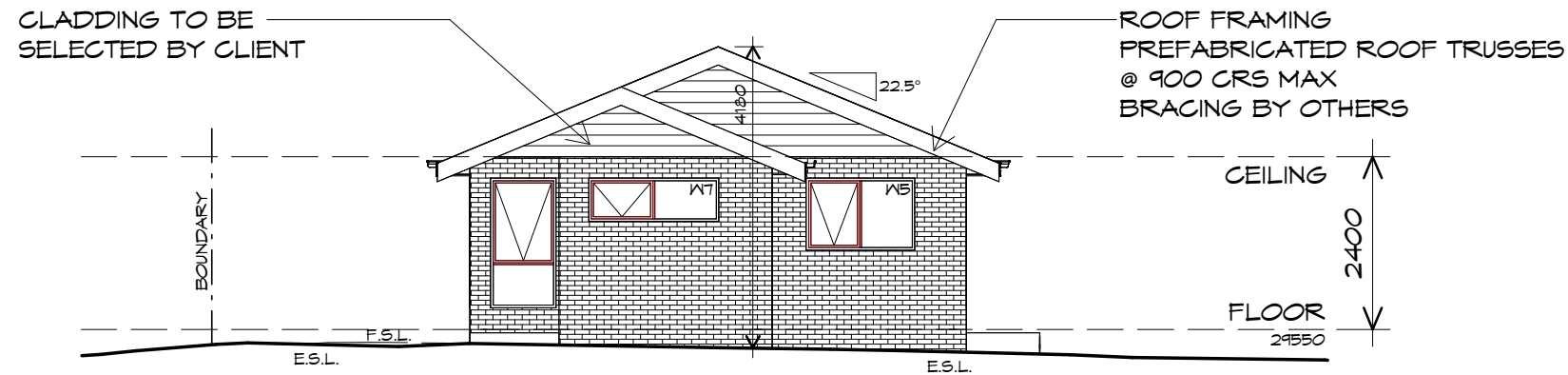


NORTHERN ELEVATION

1 : 100

BRICKWORK
SELECTED FIRED CLAY
FACE BRICKS.
RAKED JOINTS, STRETCHER BOND
REFER ENGINEER FOR
ARTICULATION JOINTS
ALL MASONRY TO COMPLY
WITH NCC 2019 PART 3.3

DOORS AND WINDOWS TO BE
SEALED IN ACCORDANCE WITH
NCC 2019 PART 2 3.12.3



EASTERN ELEVATION

1 : 100

CLADDING TO BE
SELECTED BY CLIENT

ROOF FRAMING
PREFABRICATED ROOF TRUSSES
@ 900 CRS MAX
BRACING BY OTHERS



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Project:
**PROPOSED UNIT DEVELOPMENT
16 BELGRAVE STREET
CLAREMONT**

Client name:
**OAK BUILDING &
CONSTRUCTION**

Drawing:
ELEVATIONS

Drafted by: D.D.H. Approved by: Approver

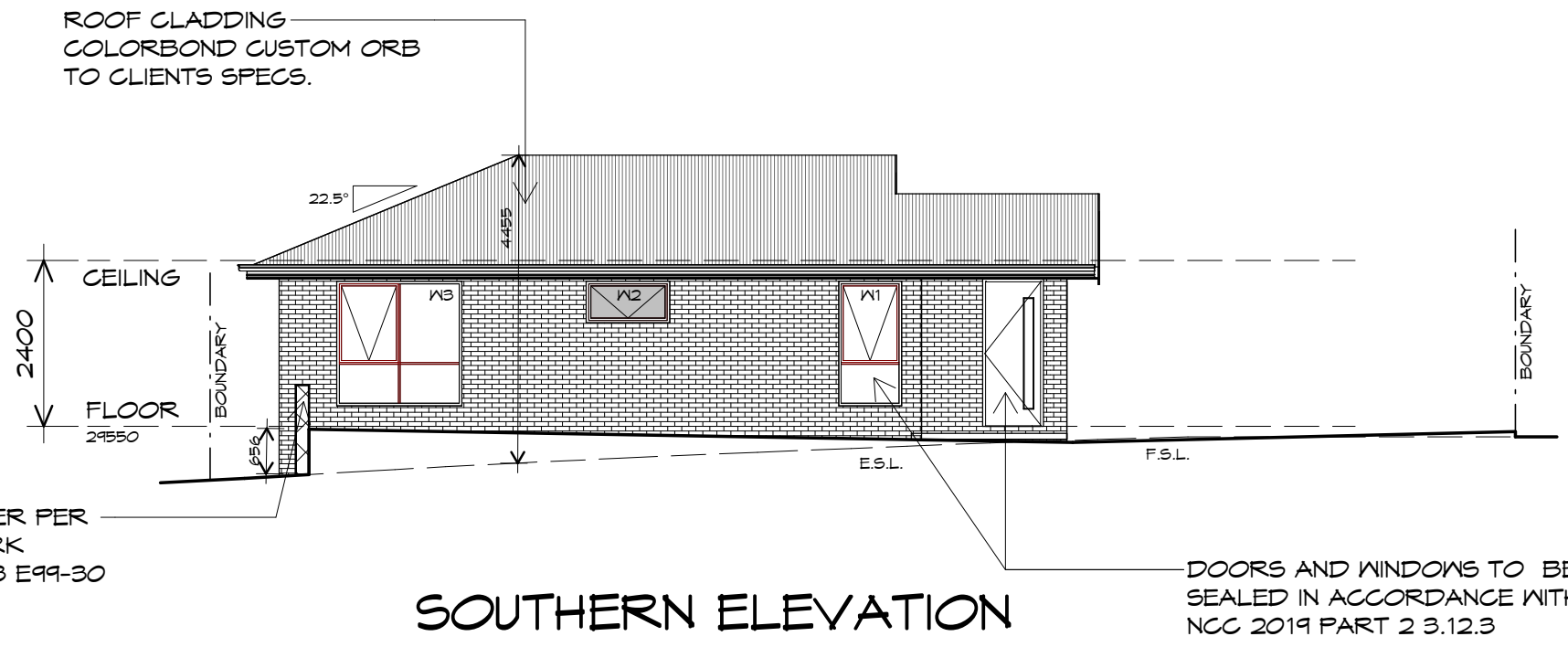
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Project/Drawing no: PDH21035 -U2-03 Revision: 11

Accredited building practitioner: Frank Geskus -No CC246A

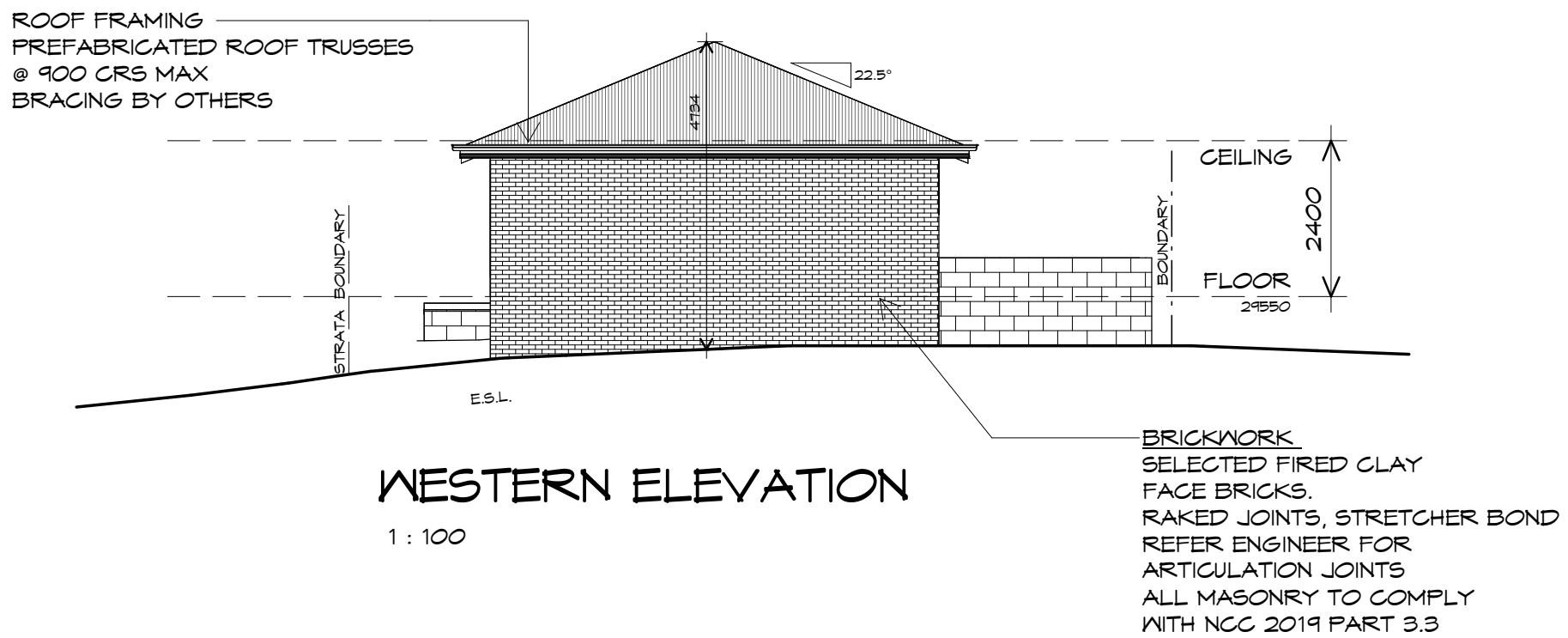


PLANNING
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SOUTHERN ELEVATION

1 : 100



WESTERN ELEVATION

1 : 100



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Drawing:
ELEVATIONS

Drafted by: D.D.H. Approved by: Approver
 Date: 28.08.2024 Scale: 1 : 100

Project/Drawing no: PDH21035 -U2-04 Revision: 11
 Accredited building practitioner: Frank Geskus -No CC246A



PLUMBING NOTES:

ALL DRAINAGE WORK SHOWN IS PROVISIONAL ONLY AND IS SUBJECT TO AMENDMENT TO COMPLY WITH THE REQUIREMENTS OF THE LOCAL AUTHORITIES.

ALL WORK IS TO COMPLY WITH THE REQUIREMENTS OF AS 3500.2018 & THE NATIONAL CONSTRUCTION CODE. AND MUST BE CARRIED OUT BY A LICENCED TRADESMAN ONLY.

LEGEND OF DIAMETERS

- TROUGH = 50mm
- SINK = 50mm
- BATH = 40mm
- BASIN = 40mm
- SHOWER = 50mm
- WC = 100mm
- SEWER = 100mm uPVC
- ORG = OVERFLOW RELIEF GULLY
- VENT = 50mm
- DP = 90mm
- DOWNPIPE STORMWATER = 90mm uPVC

THE INSTALLATION OF WATER PIPE LINES, USE POLY OR COPPER PIPE, MUST COMPLY WITH AS/NZS 3500.2018. MAIN COLD WATER LINE FROM METER TO HOUSE TO BE DN 25mm WITH DN 16mm BRANCHES & HOT WATER MAIN LINES TO BE DN 20mm WITH DN 16mm BRANCHES TO FIXTURES, ALL OTHER PRODUCTS USED ARE TO COMPLY WITH THE REQUIREMENTS OF AS/NZS 3500.2018.

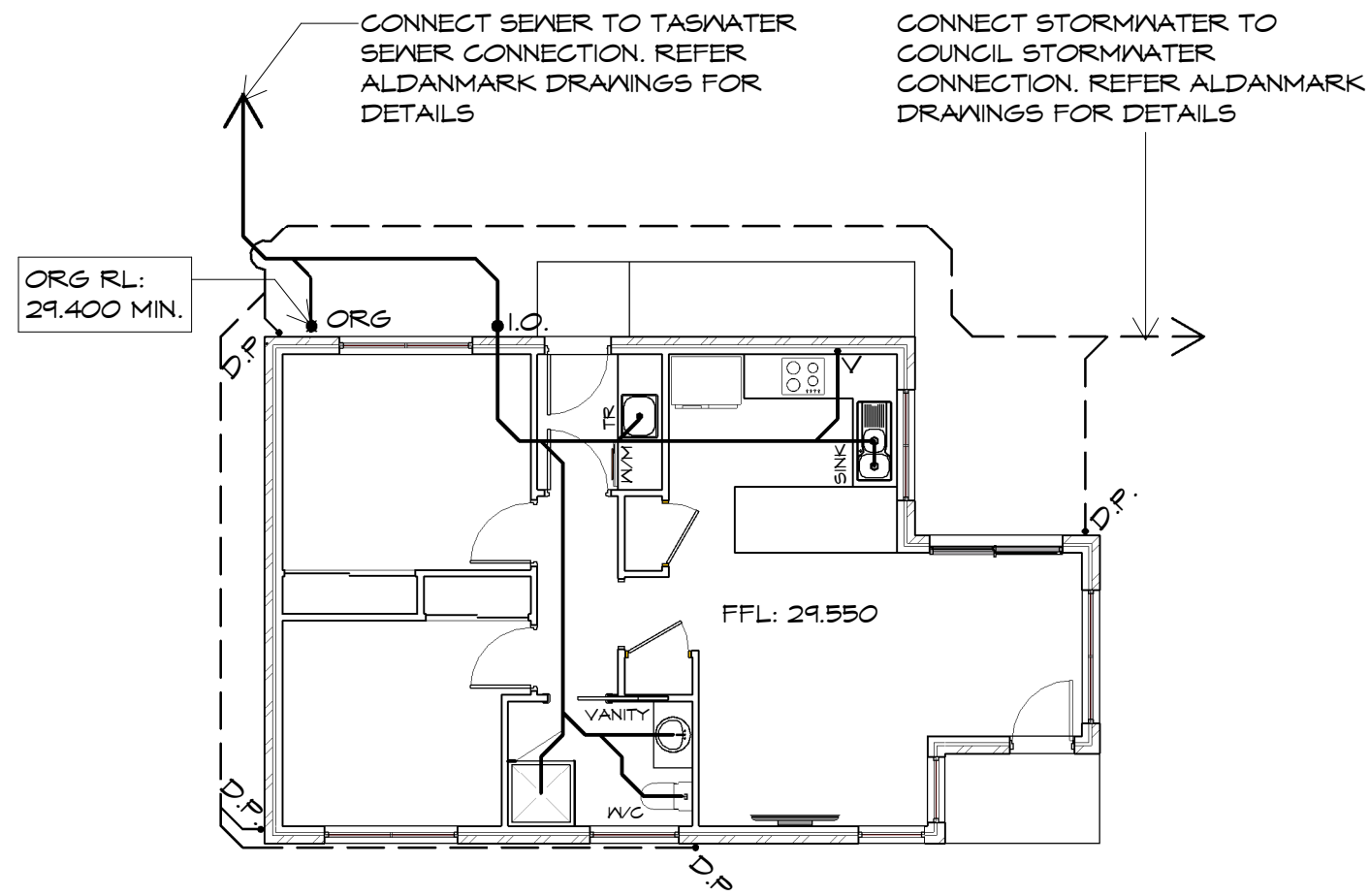
HOT WATER INSTALLATION SHALL DELIVER HOT WATER TO ALL SANITARY FIXTURES USED FOR PERSONAL HYGIENE AT 50deg C, KITCHEN SINK & LAUNDRY SHALL BE 60deg C TO COMPLY WITH REQUIREMENTS OF AS/NZS 3500.2018.

AT THE PROPERTY BOUNDARY, AN APPROVED BACKFLOW PROTECTION VALVE IS TO BE FITTED BEFORE EXTENDING THE DOMESTIC SUPPLY TO THE DWELLING.

FINAL PITS LOCATION AND NUMBER TO BE CONFIRMED ON SITE TO ENSURE SURFACE WATER IS REMOVED FROM AROUND HOUSE.

-  300X300 EVERHART SURFACE DRAINAGE PIT
-  450X450 SURFACE DRAINAGE PIT AT LOCATION OF DRIVEWAY/BATTERS

HOT WATER CYLINDER TO BE INSTALLED AS PER NCC 2019 VOL 3



PLUMBING PLAN

1 : 100

NOTE:
READ IN CONJUNCTION WITH CIVIL DESIGN BY ALDANMARK CONSULTING ENGINEERS
PROJECT NUMBER: 23 E 99 - 30

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS



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p(h)+ 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au

Project:
**PROPOSED UNIT DEVELOPMENT
16 BELGRAVE STREET
CLAREMONT**

Drawing:
PLUMBING PLAN

Client name:
OAK BUILDING & CONSTRUCTION

Date: **28.08.2024** Scale: **1 : 100**

Drafted by:
D.D.H.

Approved by:
Approver



Project/Drawing no:
PDH21035 -U2-06

Revision:
11

Accredited building practitioner: Frank Geskus -No CC246A



STORMWATER LEGEND	
	PVC STORMWATER DN150 SN8 U.N.O.
	SLOTTED PVC AG DRAIN
	TABLE DRAIN
	EXISTING STORMWATER
	STORMWATER MANHOLE
	SIDE ENTRY PIT TYPE 3, AS PER TSD-SW09-v3
	SIDE ENTRY PIT TYPE 5, AS PER TSD-SW12-v3
	SIDE ENTRY PIT TYPE 6, AS PER TSD-SW16-v3
	INSPECTION OPENING
	GRATED PIT
	GRATED TRENCH WITH PIT
SEWER LEGEND	
	uPVC SEWER DN100 SN6 U.N.O.
	EXISTING SEWER
	SEWER MAINTENANCE HOLE 10500
	MAINTENANCE SHAFT
	SEWER FIXTURE
	INSPECTION OPENING
	INSPECTION OPENING TO SURFACE
	OVERFLOW RELIEF GULLY (DN100) WITH TAP OVER
SITE & EXISTING SERVICES LEGEND	
	DESIGN SURFACE CONTOUR (MAJIMIN)
	EXISTING SURFACE CONTOUR (MAJIMIN)
	BOUNDARY
	EASEMENT
	EXISTING FENCE
	EXISTING OVERHEAD POWER
	EXISTING UNDERGROUND POWER
	EXISTING TELSTRA
	EXISTING NBN
	EXISTING GAS
PAVEMENT LEGEND	
	ASPHALT
	CONCRETE DRIVEWAY
	CONCRETE FOOTPATH
	GRAVEL

NOTES

THESE DRAWINGS SHALL BE APPROVED BY RELEVANT AUTHORITIES (INCL. COUNCIL & TASFATER) PRIOR TO CONSTRUCTION.

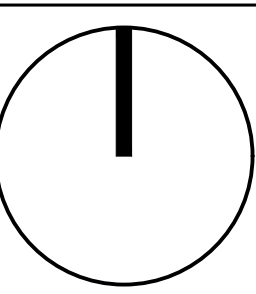
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SITE PLAN
 SCALE 1:200 (A1)

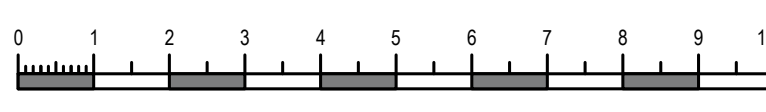


REV	ISSUE	DATE	APPROVAL
B	DEVELOPMENT APPROVAL	16/07/2024	MG
A	DEVELOPMENT APPROVAL	21/07/2023	MG

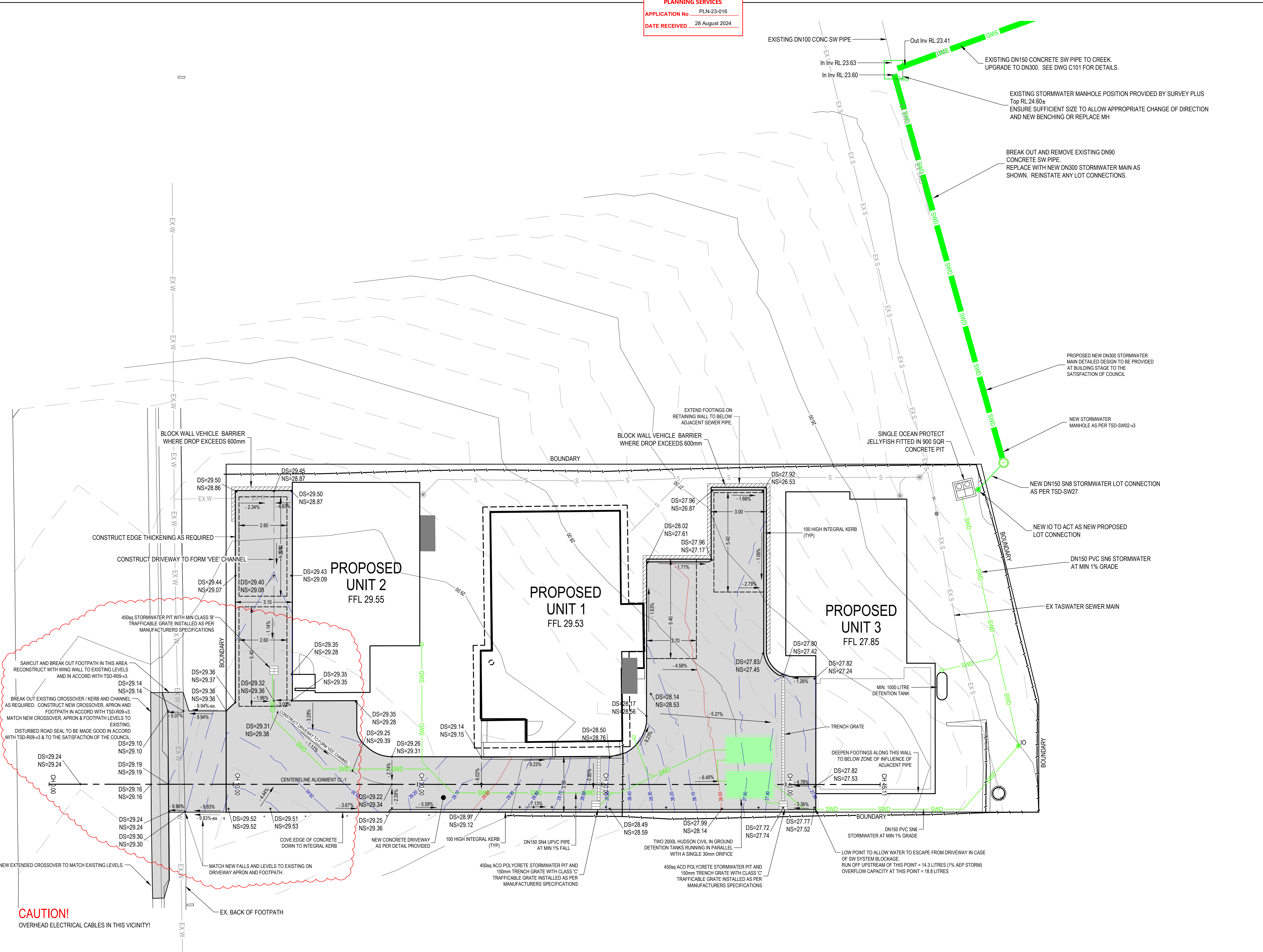


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PROJECT:	UNIT DEVELOPMENT
ADDRESS:	16 BELGRAVE STREET CLAREMONT
CLIENT:	CHRIS SPILLANE



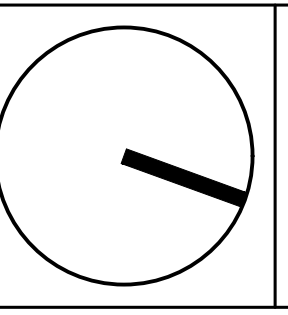
SHEET:	SITE PLAN		
SCALE:	1:200	TOTAL SHEETS:	7
PROJECT No:	23 E 99 - 30	SHEET:	C101
SIZE:	A1	REV:	B



STORMWATER LEGEND	
	SWD PVC STORMWATER DN150 S/N8 U.N.O.
	SSD SLOTTED PVC AG DRAIN
	TABLE DRAIN
	EX SWD EXISTING STORMWATER
	STORMWATER MANHOLE
	SIDE ENTRY PIT TYPE 3, AS PER TSD-SW09-v3
	SIDE ENTRY PIT TYPE 5, AS PER TSD-SW12-v3
	SIDE ENTRY PIT TYPE 6, AS PER TSD-SW16-v3
	INSPECTION OPENING
	GRATED PIT
	GRATED TRENCH WITH PIT
SEWER LEGEND	
	UPVC SEWER DN100 S/N6 U.N.O.
	EX S EXISTING SEWER
	SEWER MAINTENANCE HOLE 1050Ø
	MAINTENANCE SHAFT
	SEWER FIXTURE
	IO INSPECTION OPENING
	IOS INSPECTION OPENING TO SURFACE
	ORG OVERFLOW RELIEF GULLY (DN100) WITH TAP OVER
SITE & EXISTING SERVICES LEGEND	
	26.0 DESIGN SURFACE CONTOUR (MAJIMIN)
	26.0 EXISTING SURFACE CONTOUR (MAJIMIN)
	BOUNDARY
	EASEMENT
	EXISTING FENCE
	OH EXISTING OVERHEAD POWER
	E EXISTING UNDERGROUND POWER
	OP EXISTING TELSTRA
	FOC EXISTING NBN
	G EXISTING GAS
NOTES	
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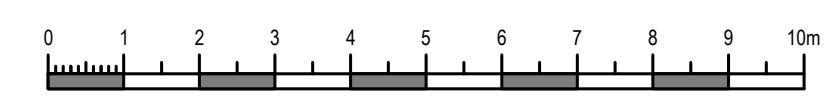
STORMWATER AND GRADING PLAN
 SCALE 1:100 (A1)

REV	ISSUE	DATE	APPROVAL
C	DEVELOPMENT APPROVAL	21/08/2024	DHJ
B	DEVELOPMENT APPROVAL	16/07/2024	MG
A	DEVELOPMENT APPROVAL	21/07/2023	MG



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PROJECT:	UNIT DEVELOPMENT
ADDRESS:	16 BELGRAVE STREET CLAREMONT
CLIENT:	CHRIS SPILLANE



SHEET:	STORMWATER AND GRADING PLAN
SCALE:	1:100
TOTAL SHEETS:	7
SIZE:	A1
PROJECT No:	23 E 99 - 30
SHEET:	C102
REV:	C



STORMWATER LEGEND	
	PVC STORMWATER DN150 SN8 U.N.O.
	SLOTTED PVC AG DRAIN
	TABLE DRAIN
	EXISTING STORMWATER
	STORMWATER MANHOLE
	SIDE ENTRY PIT TYPE 3, AS PER TSD-SW09-v3
	SIDE ENTRY PIT TYPE 5, AS PER TSD-SW12-v3
	SIDE ENTRY PIT TYPE 6, AS PER TSD-SW16-v3
	INSPECTION OPENING
	GRATED PIT
	GRATED TRENCH WITH PIT
SEWER LEGEND	
	uPVC SEWER DN100 SN6 U.N.O.
	EXISTING SEWER
	SEWER MAINTENANCE HOLE 10500
	MAINTENANCE SHAFT
	SEWER FIXTURE
	IO INSPECTION OPENING
	IOS INSPECTION OPENING TO SURFACE
	ORG OVERFLOW RELIEF GULLY (DN100) WITH TAP OVER
WATER SERVICES LEGEND	
	DN150 O-PVC PN16 WATER MAIN OR APPROVED EQUIVALENT UNO
	HDPE WATER
	EXISTING WATER MAIN
	250D POLY (20ID) CONNECTION WITH 20mm WATER METER INCL. OF BACKFLOW PREVENTION AS PER TWS-W-0002
	DN100 CONDUIT TO ROAD CROSSING
	CHECK VALVE
	WATER VALVE
	FH HYDRANT
SITE & EXISTING SERVICES LEGEND	
	26.0 DESIGN SURFACE CONTOUR (MAJ/MIN)
	26.0 EXISTING SURFACE CONTOUR (MAJ/MIN)
	BOUNDARY
	EASEMENT
	EXISTING FENCE
	OH EXISTING OVERHEAD POWER
	E EXISTING UNDERGROUND POWER
	OP EXISTING TELSTRA
	FOC EXISTING NBN
	G EXISTING GAS

NOTES

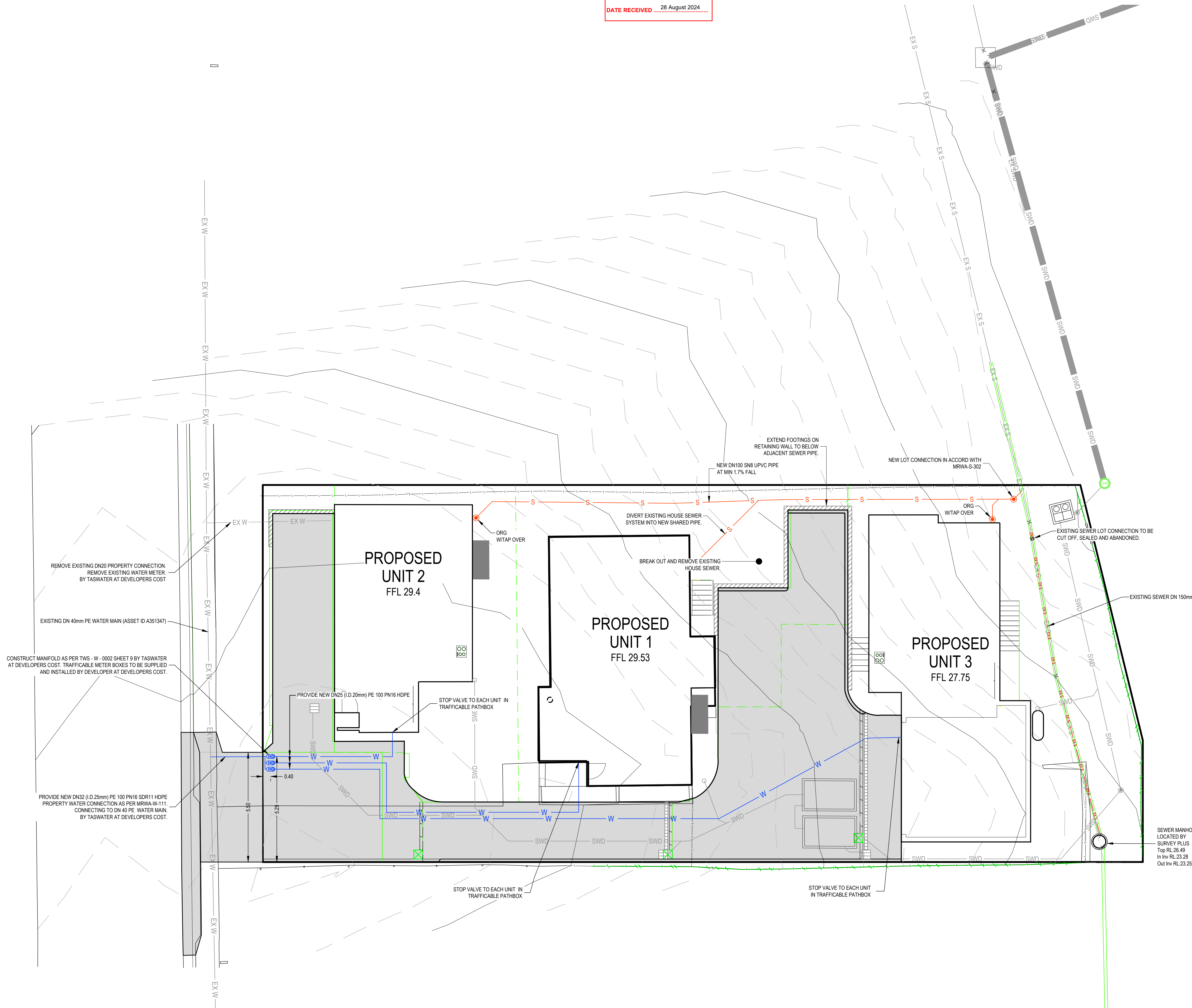
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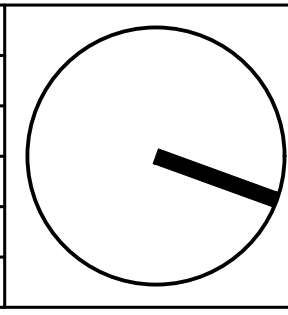
WATER & SEWER NOTES

ALL WORKS ARE TO BE IN ACCORDANCE WITH THE WATER SUPPLY CODE OF AUSTRALIA WSA 03 - 2011-3.1 VERSION 3.1 MRWA EDITION V2.0 AND SEWERAGE CODE OF AUSTRALIA MELBOURNE RETAIL WATER AGENCIES CODE WSA 02 - 2014-3.1 MRWA VERSION 2 AND TASWATER'S SUPPLEMENTS TO THESE CODES



SEWER AND WATER PLAN
 SCALE 1/100 (A1)

			DRAWN: DHJ
			CHECKED: MG
			DESIGN: DHJ
B	DEVELOPMENT APPROVAL	16/07/2024	CHECKED: MG
A	DEVELOPMENT APPROVAL	21/07/2023	VERIFIED: MG
REV	ISSUE	DATE	APPROVAL



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PROJECT: UNIT DEVELOPMENT

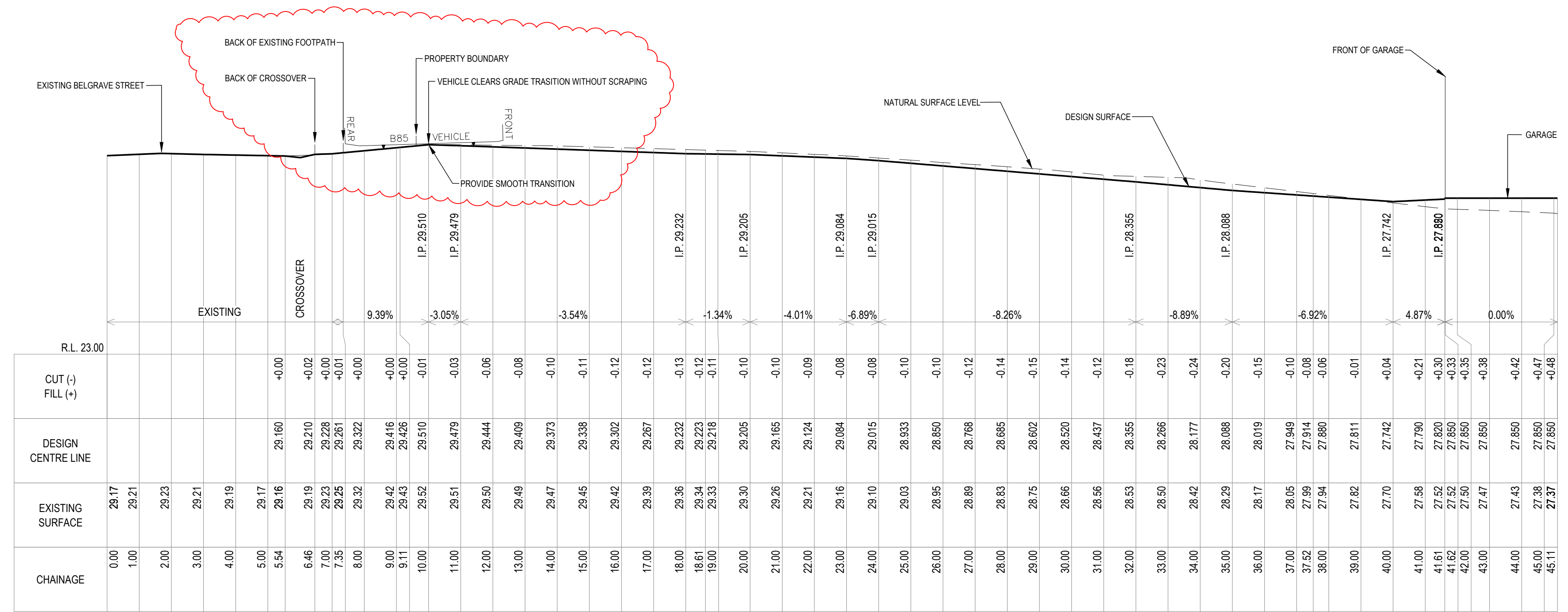
ADDRESS: 16 BELGRAVE STREET CLAREMONT

CLIENT: CHRIS SPILLANE

SHEET: SEWER AND WATER PLAN	SCALE: 1/100	TOTAL SHEETS: 7	SIZE: A1
PROJECT No: 23 E 99 - 30	SHEET: C103	REV: B	



NOTES
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From 0.000m To 45.113m Scales: H 1:100 V 1:100

DRIVEWAY- CL

SECTIONS 01
 SCALE 1:100 (A1)

REV	ISSUE	DATE	APPROVAL
C	DEVELOPMENT APPROVAL	21/08/2024	DHJ
B	DEVELOPMENT APPROVAL	16/07/2024	MG
A	DEVELOPMENT APPROVAL	21/07/2023	MG



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PROJECT:	UNIT DEVELOPMENT
ADDRESS:	16 BELGRAVE STREET CLAREMONT
CLIENT:	CHRIS SPILLANE

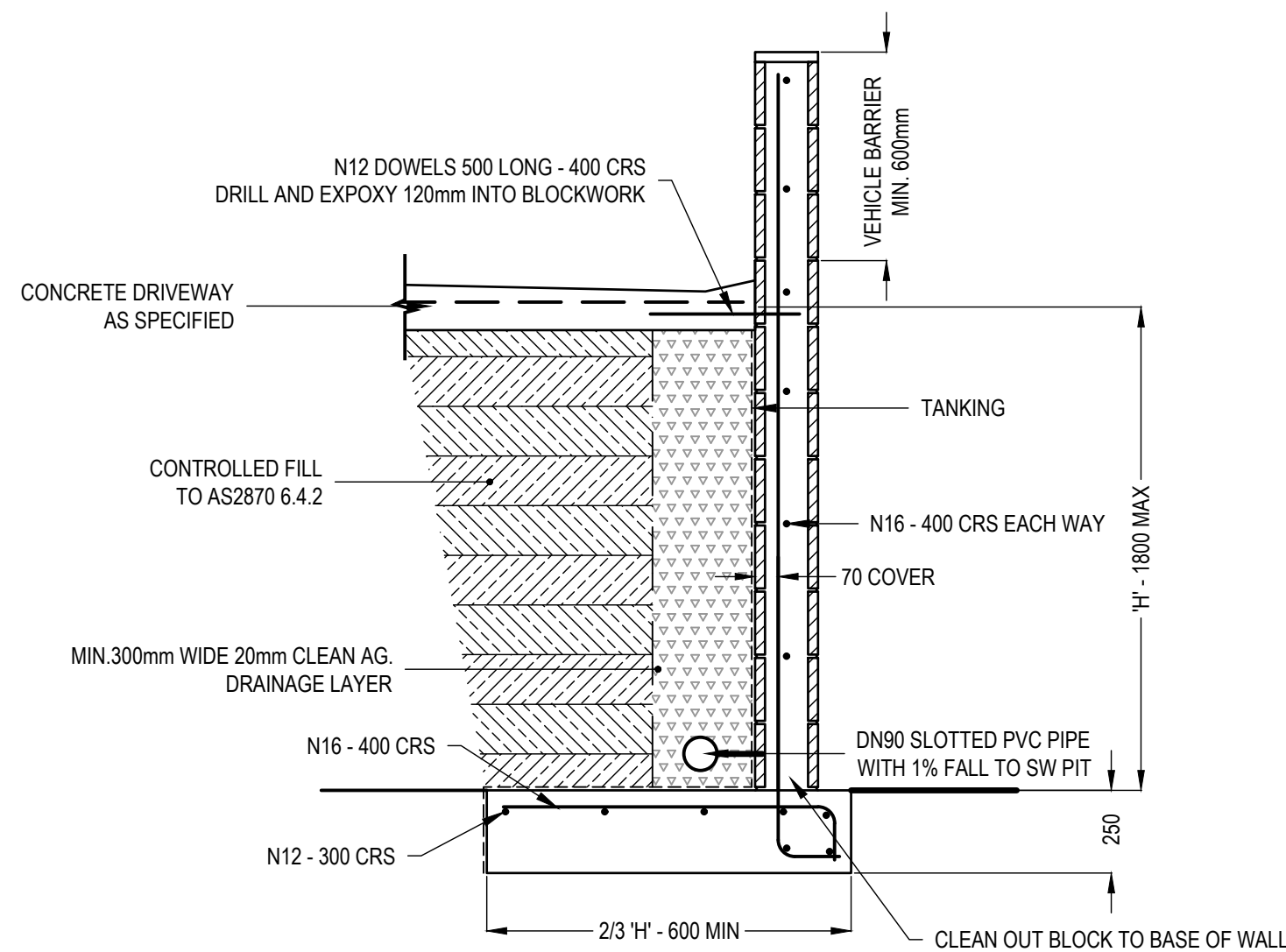
SHEET:	LONG SECTION
SCALE:	H1:100 V1:100
PROJECT No:	23 E 99 - 30

TOTAL SHEETS:	7	SIZE:	A1
SHEET:	C201	REV:	C

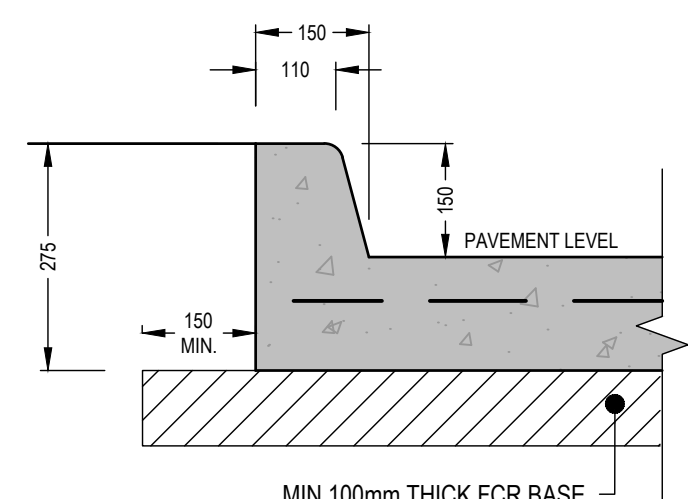
NOTES

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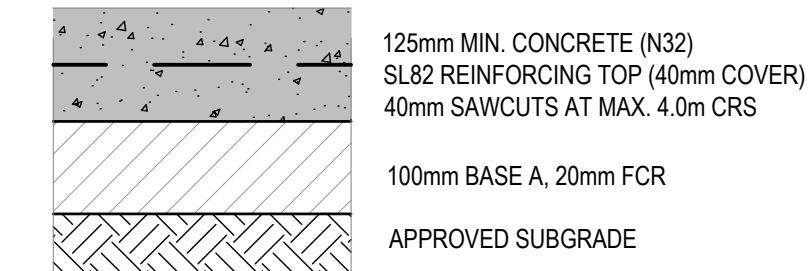
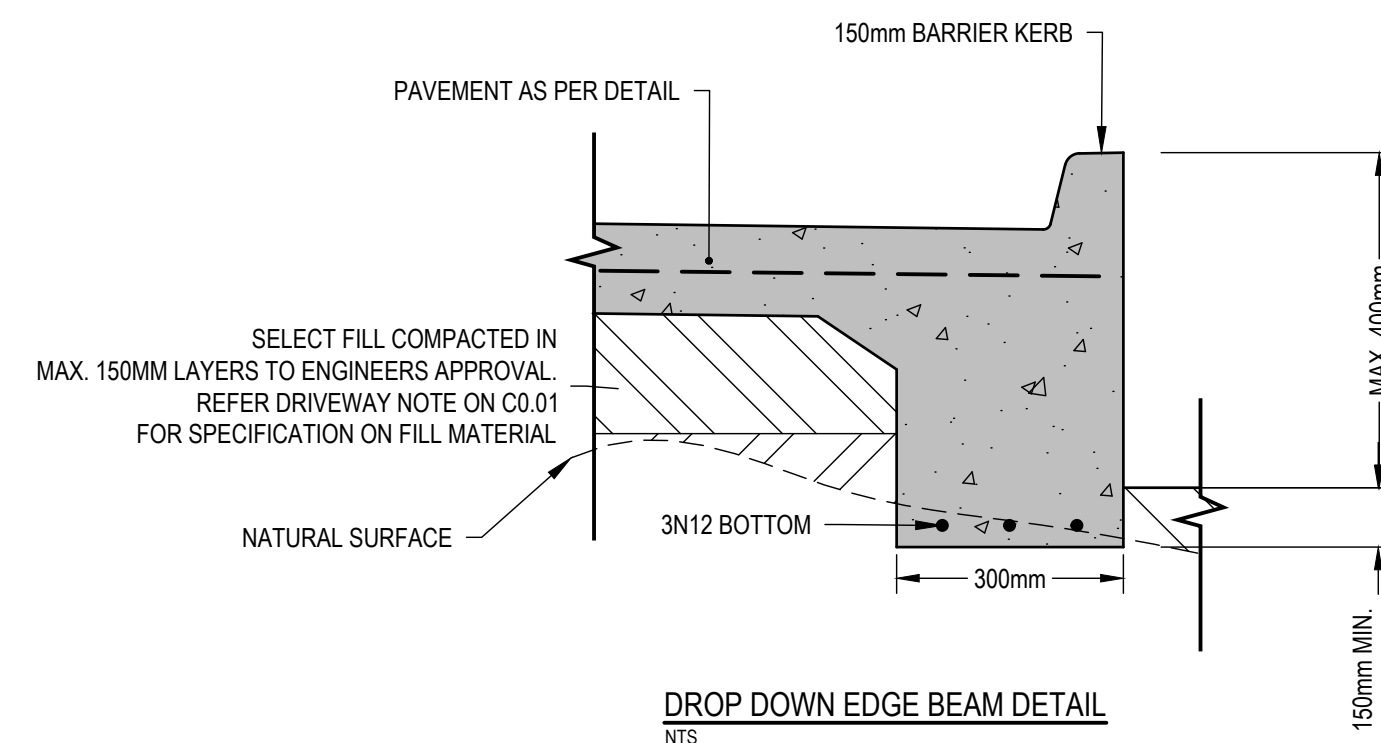
NOTE: VEHICLE BARRIER TO BE 1.3m HIGH IF AT THE END OF A PARKING SPACE.



RETAINING WALL DETAIL
 WITH BLOCKWORK VEHICLE BARRIER
 SCALE 1:20 (A1)

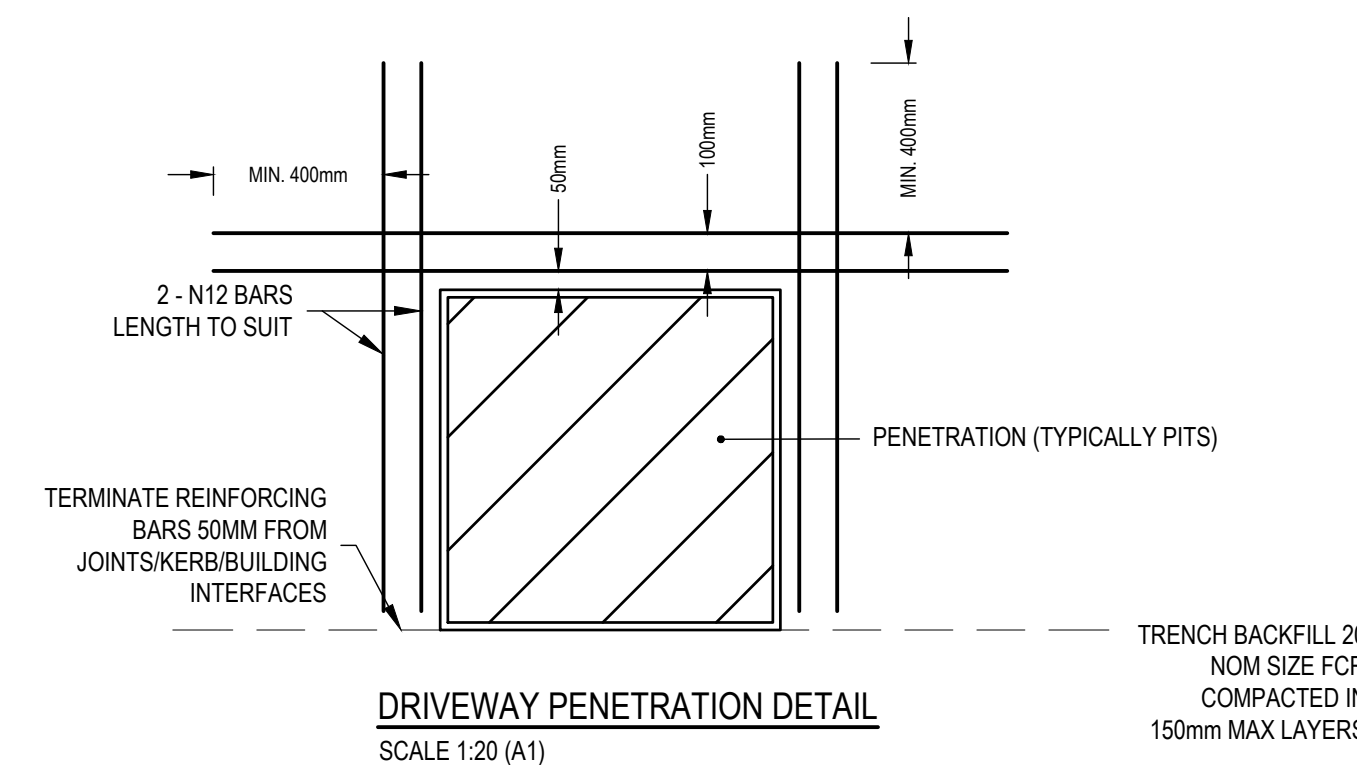
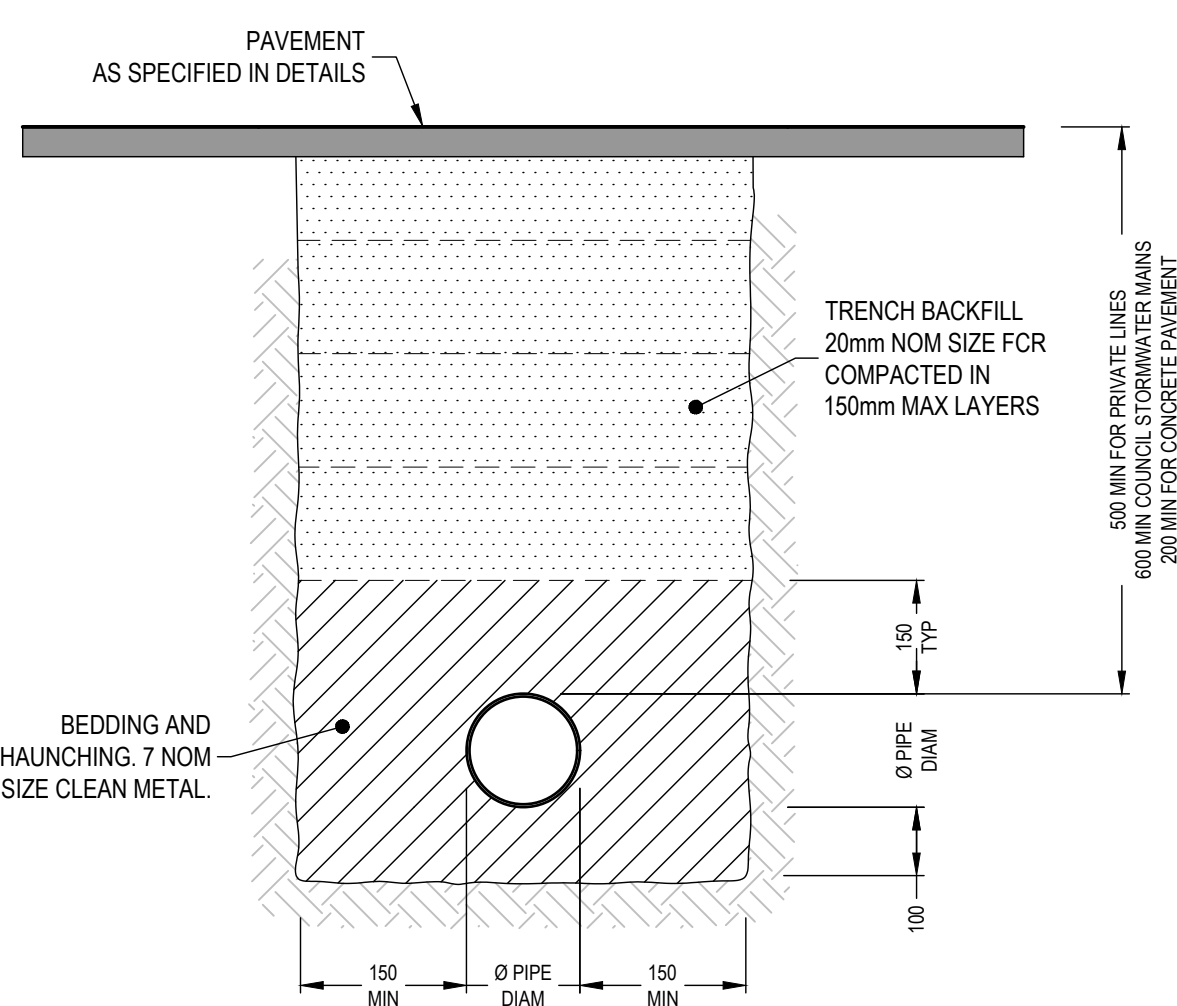
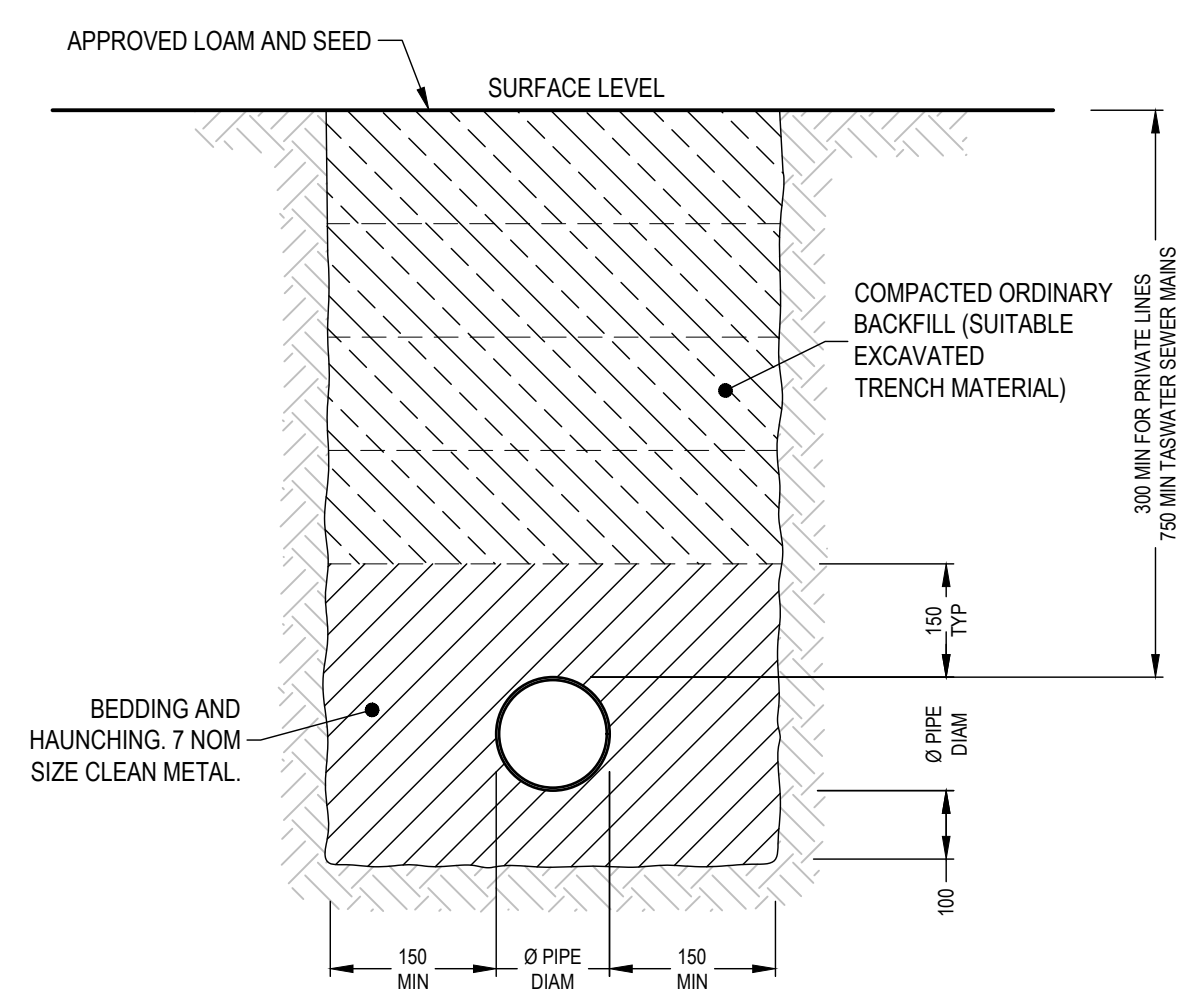
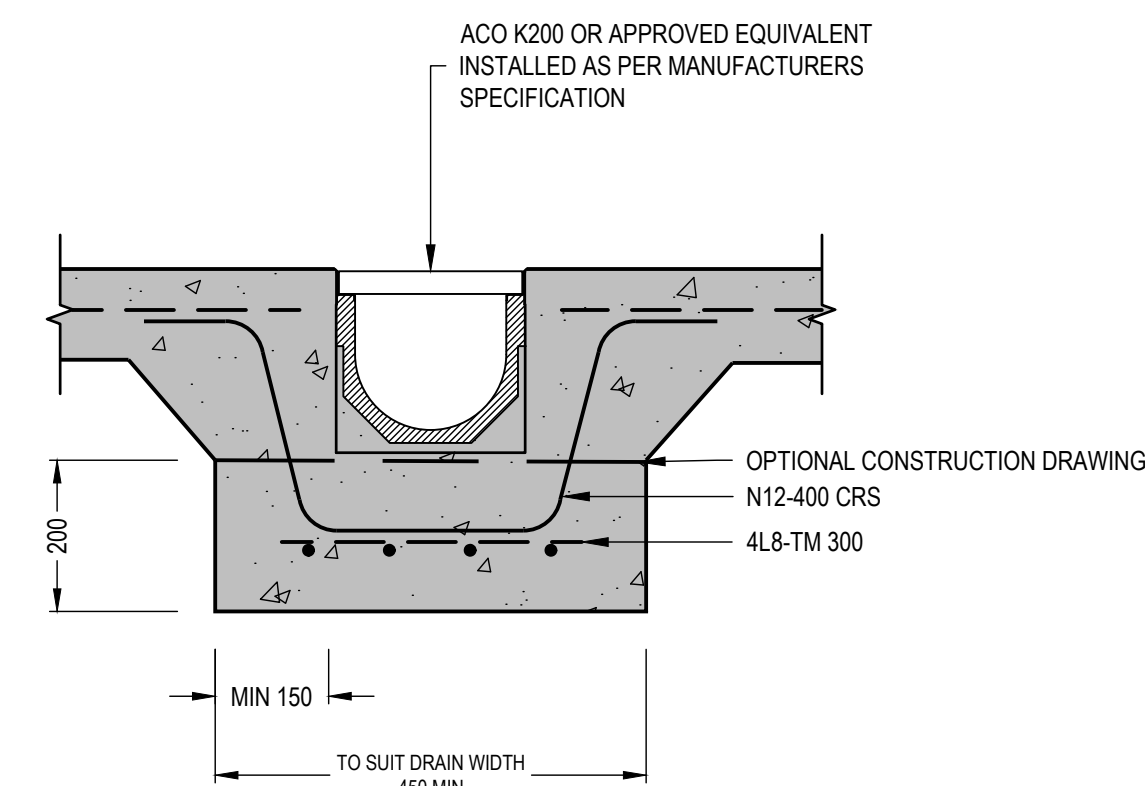
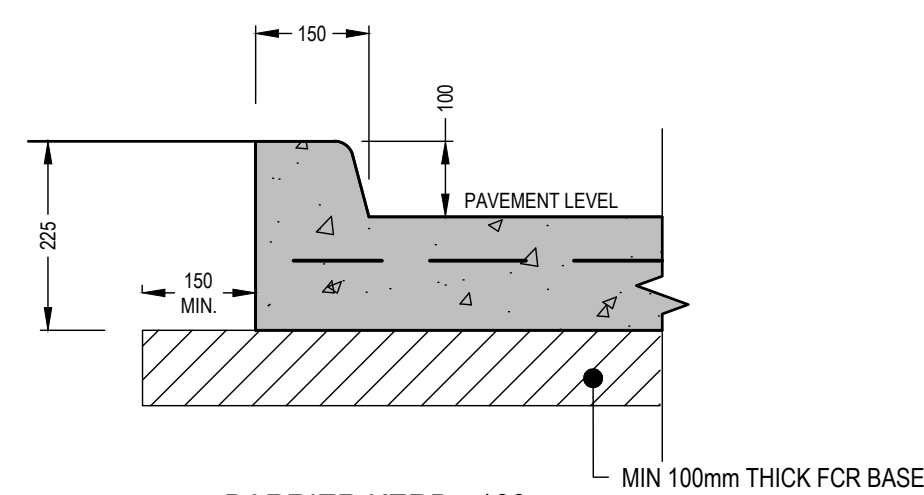
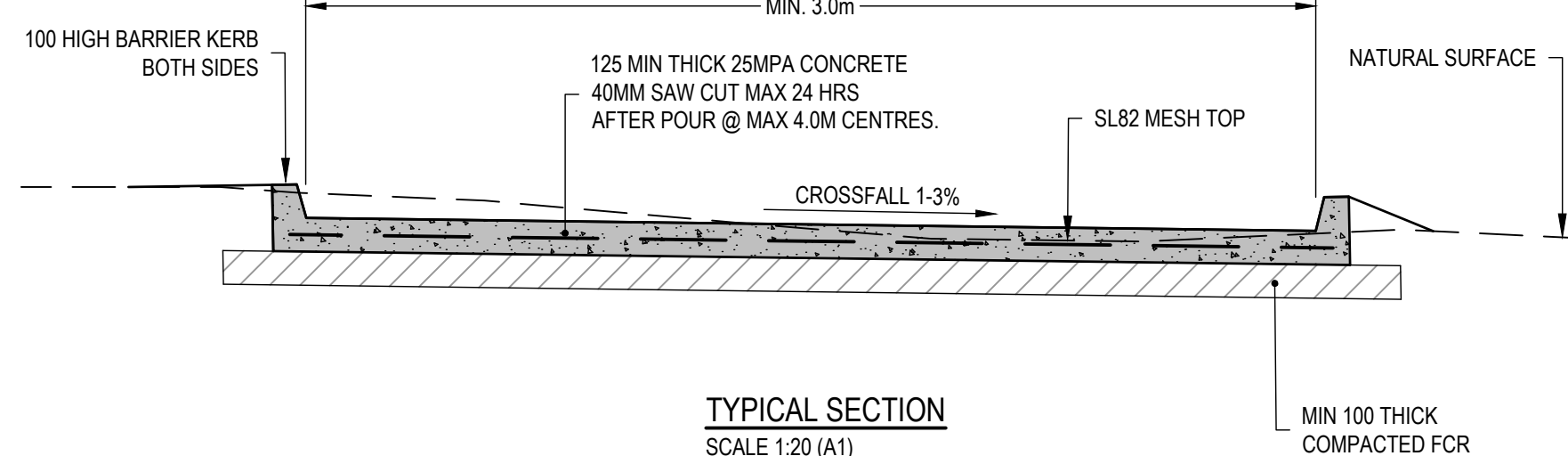


BARRIER KERB - 150mm (if required)
 SCALE 1:10 (A1)



NOTE: CONCRETE PAVEMENT NOT DESIGNED FOR SPECIAL SURFACE FINISHES SUCH AS EXPOSED AGGREGATE.

CONCRETE PAVEMENT DETAIL



CONSTRUCTION DETAILS
 AS INDICATED

			DRAWN:	DHJ
			CHECKED:	MG
			DESIGN:	DHJ
B	DEVELOPMENT APPROVAL	16/07/2024	CHECKED:	MG
A	DEVELOPMENT APPROVAL	21/07/2023	VERIFIED:	MG
REV	ISSUE	DATE	APPROVAL	



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ADDRESS:	16 BELGRAVE STREET CLAREMONT
CLIENT:	CHRIS SPILLANE

SHEET:	CONSTRUCTION DETAILS
SCALE:	AS INDICATED
PROJECT No:	23 E 99 - 30

TOTAL SHEETS:	7	SIZE:	A1
SHEET:	C401	REV:	B