

DEVELOPMENT APPLICATION

APPLICATION NUMBER:	PLN-23-355
PROPOSED DEVELOPMENT:	Single dwelling and Outbuilding (Residential)
LOCATION:	47 Wallcrest Road Berriedale
APPLICANT:	Tassie Homes Pty Ltd
ADVERTISING START DATE:	28/08/2024
ADVERTISING EXPIRY DATE:	10/09/2024

Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and the plans are available on Glenorchy City Council's website (www.gcc.tas.gov.au) until **10/09/2024**.

During this time, any person may make representations relating to the applications by letter addressed to the General Manager, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to gccmail@gcc.tas.gov.au.

Representations must be received by no later than 11.59 pm on **10/09/2024**, or for postal and hand delivered representations, by 5.00 pm on **10/09/2024**.

H1309 - Proposed Dwelling, SORMAN & JOHNS AT 47 WALLCREST ROAD, BERRIEDALE

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No. : PLN-23-355

DATE RECEIVED: 20/07/2024



TASSIE HOMES

Unit 4/37 Ascot Drive, Huntingfield, Tasmania. 7055
Ph. (03) 62 833 273 www.tassiehomes.com.au

<i>Architectural Drawing No.</i>	<i>Description</i>
01	Location Plan
01a	Site Plan
02	Drainage Plan
02a	Shed Floor Plan
02b	Shed Elevations
03	Floor Plan
04	Elevations
05	Section
06	Roof Plan
07	Electrical Plan
08	Flooring Layout Plan
09	Lighting Calculations, Insulation & Window Schedule
10	Compliance Notes
11	Wet Area Specifications
11a	Stair Notes
11b	Balustrade Notes
12	Vegetation Overlay
13	BAL Construction Requirements

Climate Zone - 7
C.T. No. 182104/100
Wind Speed - N3
Corrosion Environment - MODERATE
Soil Classification - S
Floor Area = 279.6m²
= 30.1 sq

PROTECTIVE COATINGS FOR STEELWORK

ENVIRONMENT	LOCATION	MINIMUM PROTECTIVE COATING	
		General structural steel members	Lintels in masonry
MODERATE <small>More than 1km from breaking surf or more than 100m from salt water not subject to breaking surf or non-heavy industrial areas</small>	INTERNAL	No protection required	
	EXTERNAL	Option 1 2 coats alkyd primer; or Option 2 2 coats alkyd gloss Option 3 Hot dip galvanise 300 g/m ² min. Option 4 Hot dip galvanise 100 g/m ² min. plus - (a) 1 coat solvent based vinyl primer; or (b) 1 coat vinyl gloss or alkyd	

- NOTES:
- Heavy industrial areas means industrial environments around major industrial complexes. There are only a few such regions in Australia, examples of which occur around Port Pirie and Newcastle.
 - The outer leaf and cavity of an external masonry wall of a building, including walls under open carports are considered to be external environments. A part of an internal leaf of an external masonry wall which is located in the roof space is considered to be in an internal environment.
 - Where a paint finish is applied the surface of the steel work must be hand or power tool cleaned to remove any rust immediately prior to painting.
 - All zinc coatings (including Inorganic zinc) require a barrier coat to stop conventional domestic enamels from peeling.
 - Refer to the paint manufacturer where decorative finishes are required on top of the minimum coating specified in the table for protection of the steel against corrosion.
 - Internal locations subject to moisture, such as in close proximity to kitchen or bathroom exhaust fans are not considered to be in a permanently dry location and protection as specified for external locations is required.
 - For applications outside the scope of this table, seek specialist advice.

REVISION	DATE	SHEETS	DESCRIPTION
A	12 December 2023	00, 01, 01a, 02 & 02a, 02b, 03 - 09	Changes to architectural plans including Change cut to show bench between shed and house. Change driveway and re-work firefighting requirements as necessary. Change garage plans as requested and show bathroom in garage. Update garage elevations to reflect changes. Show 2 x 23000 litre water tanks and notes relating to TasWater supply and connections. Re-do drainage plan to reflect cut and drainage changes. Show sky light in pantry, change shelving size, fridge size, sliding door direction off rumpus. Change laundry layout. Make numerous electrical plan changes. Update all changed floor plans and elevations. Re-do lighting calculations to reflect changes.
B	19 December 2023	00, 03, 04 & 07 - 09	Change sliding door style, update all floor plans and elevations.
C	5 April 2024	00, 01a, 02b & 04	Provide exterior colours and finishes. Include Light Reflectance Values for all exterior surfaces.
D	21 June 2024	00, 01, 01a, new 01b, 02, 02b, 04, 05, 10, new 11b & 12	Provide multiple HMA plans, location and site plan changes including changing residence and shed locations. Update drainage plan, shed elevations, residence elevations and residence section. Amend cut levels and finished floor levels. Provide balustrade notes in case FSL to FGL exceeds 1000mm. Amend notes where affected.
E	28 June 2024	All architectural sheets	Change BAL rating to BAL-29. Make pane/ft door 5600 wide and change living window to sliding door. Update all sheets to reflect changes.

THIS PLAN IS ACCEPTED BY:

.....
PLEASE NOTE: no variations will be permitted after plans are signed by the client (with exception of Council requirements / approvals).
SIGNATURE:

.....
DATE:

.....

BAL-29

See sheet 13 for Bushfire Attack Level construction requirements

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Drafted by Phil Chamberlain, Accreditation CC5652Y

DRAWING: COVER SHEET
DATE: 28/06/24
FILE NAME: H1309 DA 210923.dgn
DRAWN BY: PC

DWG No: **COVER SHEET**

7 NOVEMBER 2023

● Preliminary drawings

○ Preliminary construction drawings
Engineer not to sign this copy, only provide notes, additions & amendments

○ Approved by Engineer

28 JUNE 2024

● Development application drawings (DA)

○ Final construction drawings (BA)

○ Approved by Building Surveyor

THIS PLAN IS ACCEPTED BY:

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IMPORTANT NOTES:

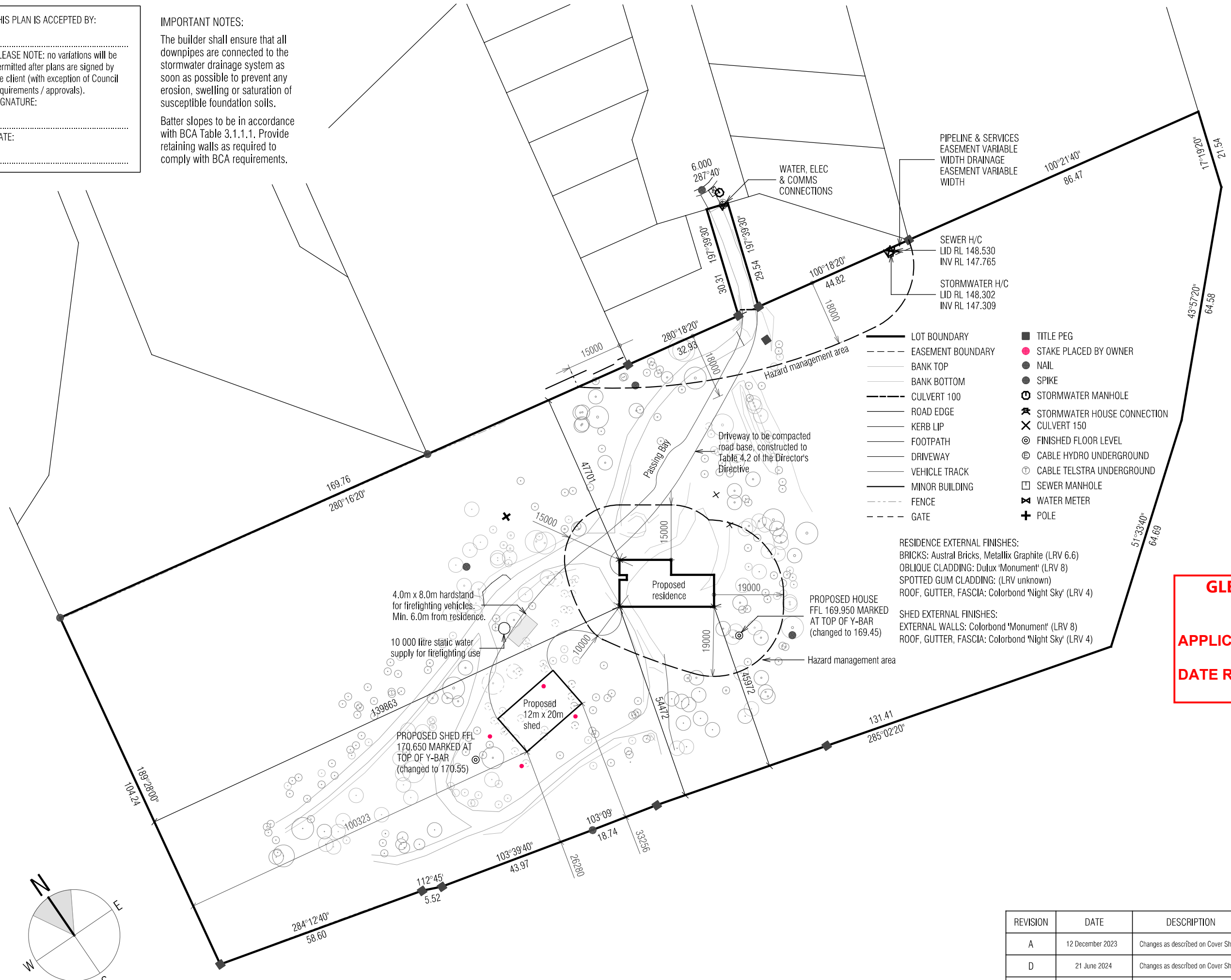
The builder shall ensure that all downpipes are connected to the stormwater drainage system as soon as possible to prevent any erosion, swelling or saturation of susceptible foundation soils.

Batter slopes to be in accordance with BCA Table 3.1.1.1. Provide retaining walls as required to comply with BCA requirements.



TASSIE HOMES

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- LOT BOUNDARY
- EASEMENT BOUNDARY
- BANK TOP
- BANK BOTTOM
- CULVERT 100
- ROAD EDGE
- KERB LIP
- FOOTPATH
- DRIVEWAY
- VEHICLE TRACK
- MINOR BUILDING
- FENCE
- GATE
- TITLE PEG
- STAKE PLACED BY OWNER
- NAIL
- SPIKE
- STORMWATER MANHOLE
- STORMWATER HOUSE CONNECTION
- CULVERT 150
- FINISHED FLOOR LEVEL
- CABLE HYDRO UNDERGROUND
- CABLE TELSTRA UNDERGROUND
- SEWER MANHOLE
- WATER METER
- POLE

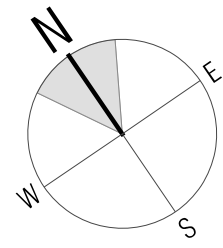
RESIDENCE EXTERNAL FINISHES:
 BRICKS: Austral Bricks, Metallix Graphite (LRV 6.6)
 OBLIQUE CLADDING: Dulux 'Monument' (LRV 8)
 SPOTTED GUM CLADDING: (LRV unknown)
 ROOF, GUTTER, FASCIA: Colorbond 'Night Sky' (LRV 4)

SHED EXTERNAL FINISHES:
 EXTERNAL WALLS: Colorbond 'Monument' (LRV 8)
 ROOF, GUTTER, FASCIA: Colorbond 'Night Sky' (LRV 4)

C.T. No. 182104/100
3.6ha

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No. : PLN-23-355
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Scale 1:1000

**PROPOSED DWELLING FOR SORMAN & JOHNS
AT 47 WALLCREST ROAD, BERRIEDALE**

REVISION	DATE	DESCRIPTION
A	12 December 2023	Changes as described on Cover Sheet
D	21 June 2024	Changes as described on Cover Sheet

BAL-29
See sheet 13 for
Bushfire Attack Level
construction requirements

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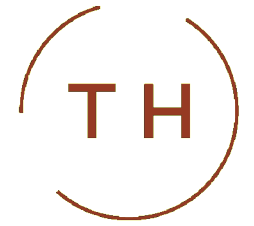
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DATE: 28/06/24
FILE NAME: H1309 DA 210823.dgn
DRAWN BY: PC

DWG No:

THIS PLAN IS ACCEPTED BY:

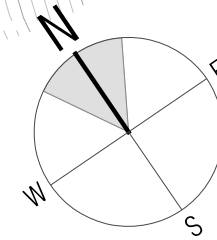
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Scale 1:500

C.T. No. 182104/100
3.6ha

IMPORTANT NOTES:

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Batter slopes to be in accordance with BCA Table 3.1.1.1. Provide retaining walls as required to comply with BCA requirements.

Turning and manoeuvring for firefighting vehicles

4.0m x 8.0m hardstand for firefighting vehicles. Min. 6.0m from residence.

10 000 litre static water supply for firefighting use

Driveway to be compacted road base, constructed to Table 4.2 of the Director's Directive

Driveway to be compacted road base, constructed to Table 4.2 of the Director's Directive

FFL 169.45

Cut @ 169.30

PROPOSED HOUSE
FFL 169.950 MARKED AT TOP OF Y-BAR (changed to 169.45)

Blend shed and residence cuts

Firefighting vehicle turning & manoeuvring

2 x 23000L water tanks

PROPOSED 12m x 20m SHED
FFL 170.35

PROPOSED SHED FFL 170.650 MARKED AT TOP OF Y-BAR (changed to 170.35)

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DRAWING: SITE PLAN
DATE: 28/06/24
FILE NAME: H1309 DA 210823.dgn
DRAWN BY: PC

REVISION	DATE	DESCRIPTION
A	12 December 2023	Changes as described on Cover Sheet
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PROPOSED DWELLING FOR SORMAN & JOHNS
AT 47 WALLCREST ROAD, BERRIEDALE

DWG No:

01a

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PROPOSED DWELLING FOR SORMAN & JOHNS
AT 47 WALLCREST ROAD, BERRIEDALE

REVISION	DATE	DESCRIPTION
D	21 June 2024	Changes as described on Cover Sheet

BAL-29

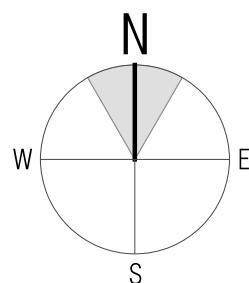
See sheet 13 for
Bushfire Attack Level
construction requirements

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DRAWING: REVISED HAZARD
DATE: MANAGEMENT AREA
FILE NAME: 28/06/24
DRAWN BY: H1309 DA 210823.dgn
PC

DWG No:

01b



Scale 1:1000

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PLANNING SERVICES**

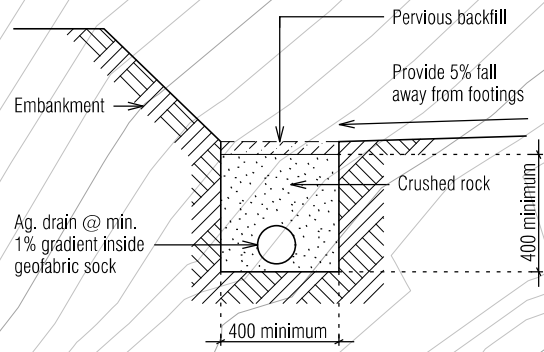
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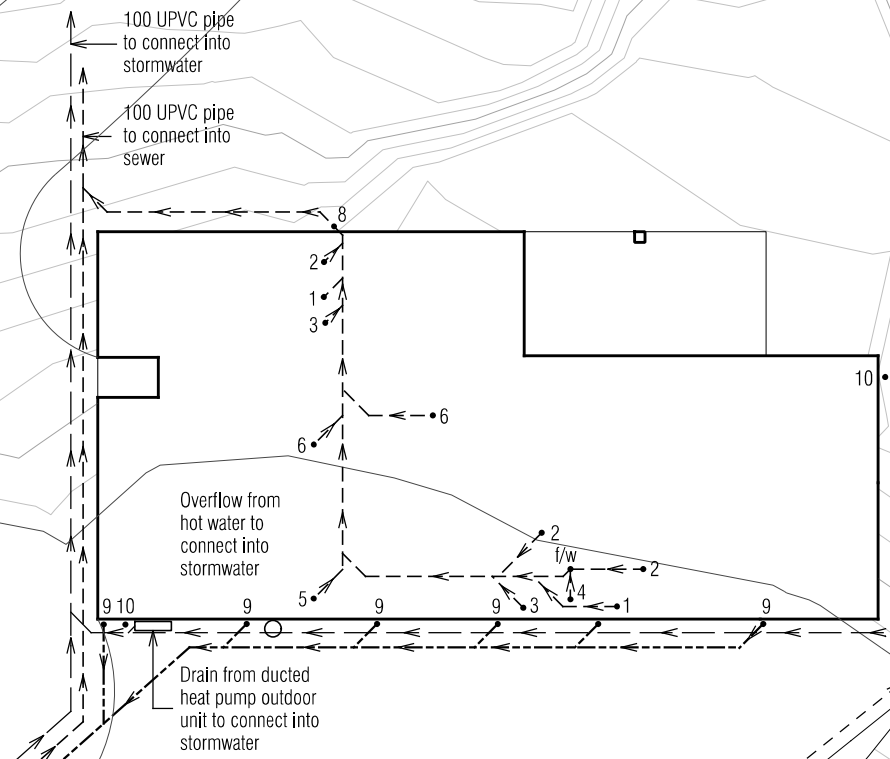
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All materials and construction to comply with AS/NZS3500, 2015 and to be inspected and approved by a qualified engineer.

10 000 litre static water supply for firefighting use



450 square graded pit to connect into stormwater

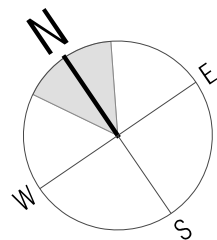
Ag. drain to base of cut. Fall to graded pits. Pits to connect into stormwater.

NOTE:
Downpipes to connect into water tanks. Overflow from tanks to connect into stormwater. TasWater supply to connect to water tanks and water level in tanks to be maintained via float valve. Tanks to supply water to house and shed.

IMPORTANT NOTE:
Designer takes no responsibility for downpipe calculations, quantity or locations. Refer to shed design and specifications provided by shed manufacturer.

DRAINAGE LEGEND

- 1 WC 100 dia
- 2 HANDBASIN 40 dia
- 3 SHOWER 50 dia
- 4 BATH 40 dia
- 5 LAUNDRY TROUGH 50 dia
- 6 KITCHEN SINK 50 dia
- 7 VENT 50 dia
- 8 TAP CHARGED ORG min. 150mm below FFL
- 9 DOWNPIPE 90 dia
- 10 TAP
- 11 INSPECTION OPENING TO GROUND LEVEL
- f/w FLOOR WASTE



Scale 1:250

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DRAWING: DRAINAGE PLAN
DATE: 28/06/24
FILE NAME: H1309 DA 210823.dgn
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DWG No:

02

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DATE:

Floor Area = 240.0m²

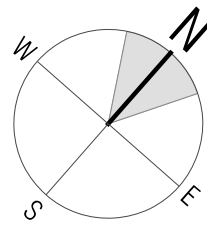
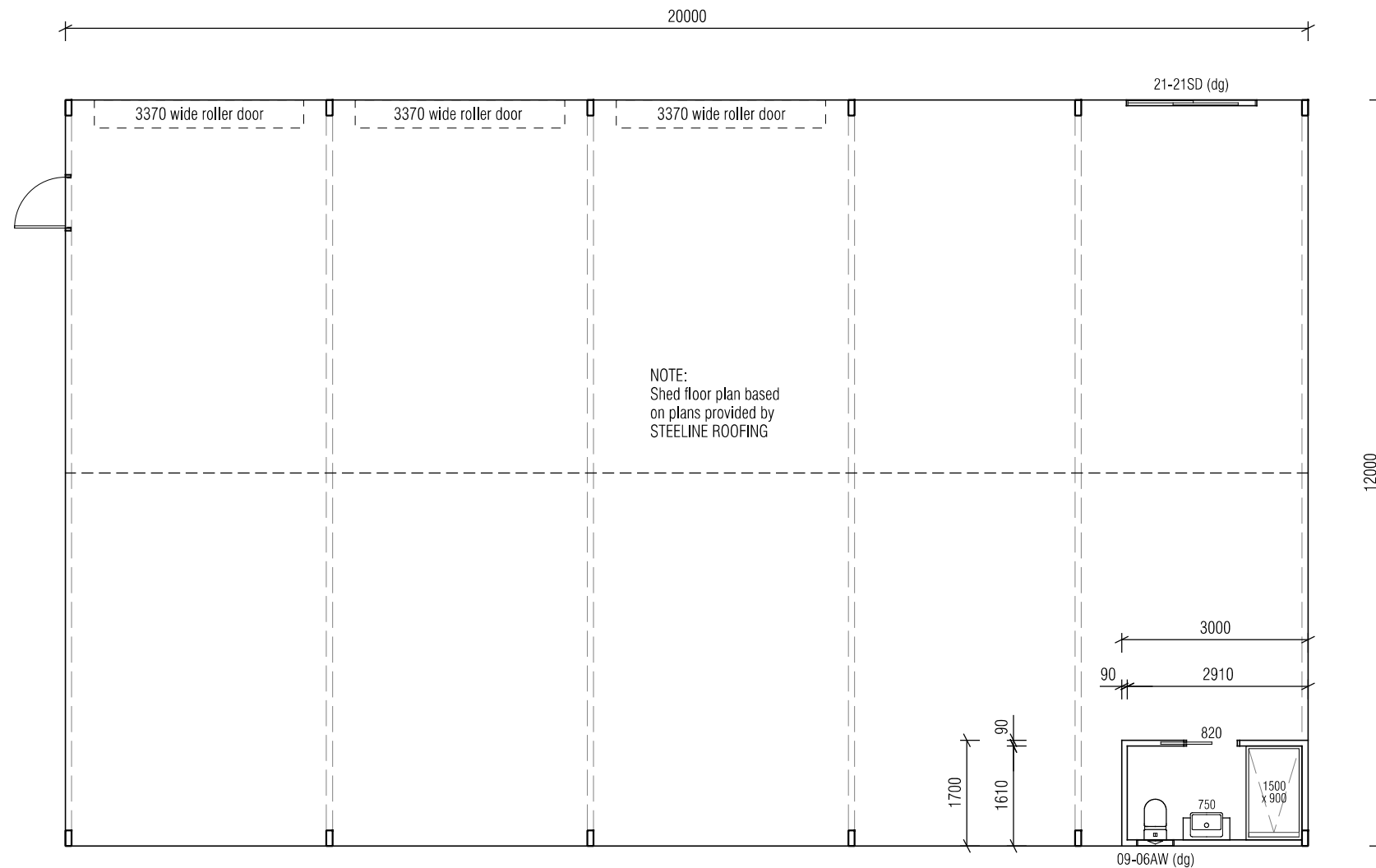
**GLENORCHY CITY COUNCIL
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Scale 1:100

PROPOSED DWELLING FOR SORMAN & JOHNS
AT 47 WALLCREST ROAD, BERRIEDALE

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DRAWING: SHED FLOOR PLAN
DATE: 28/06/24
FILE NAME: H1309 DA 210823.dgn
DRAWN BY: PC

DWG No:

02a

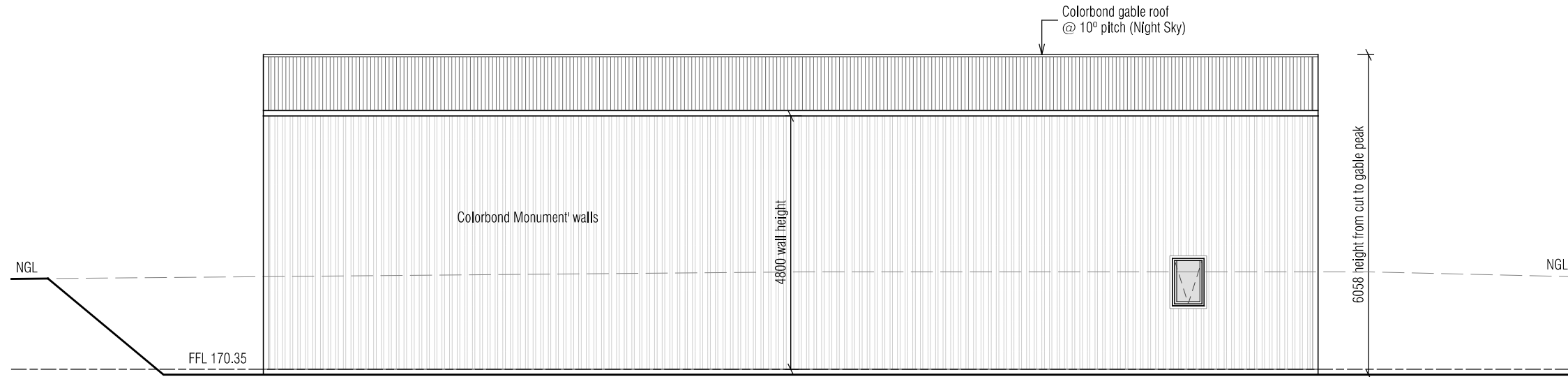
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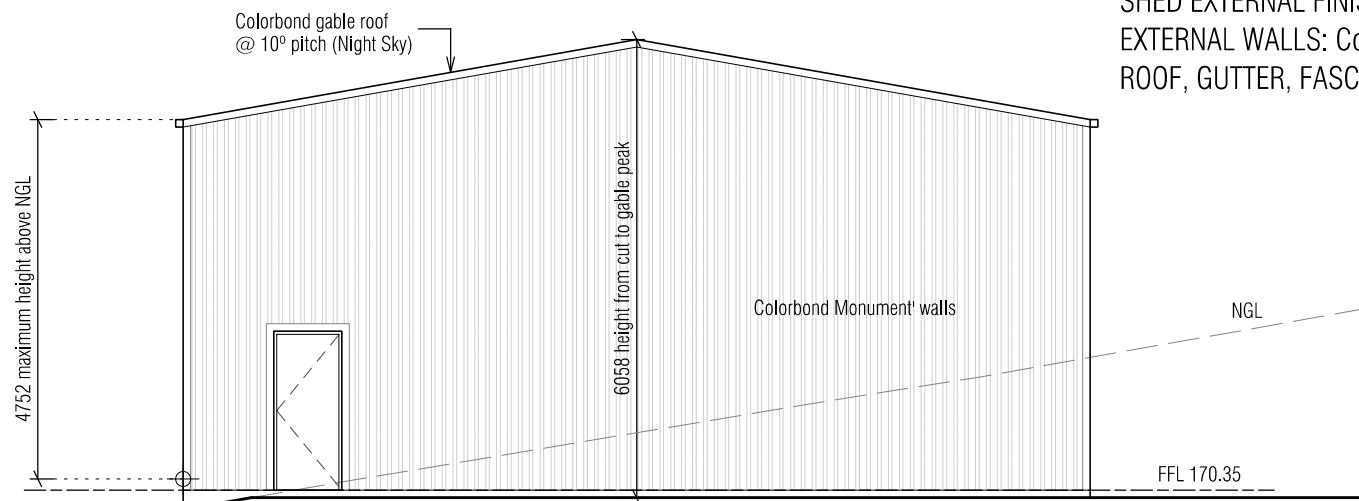


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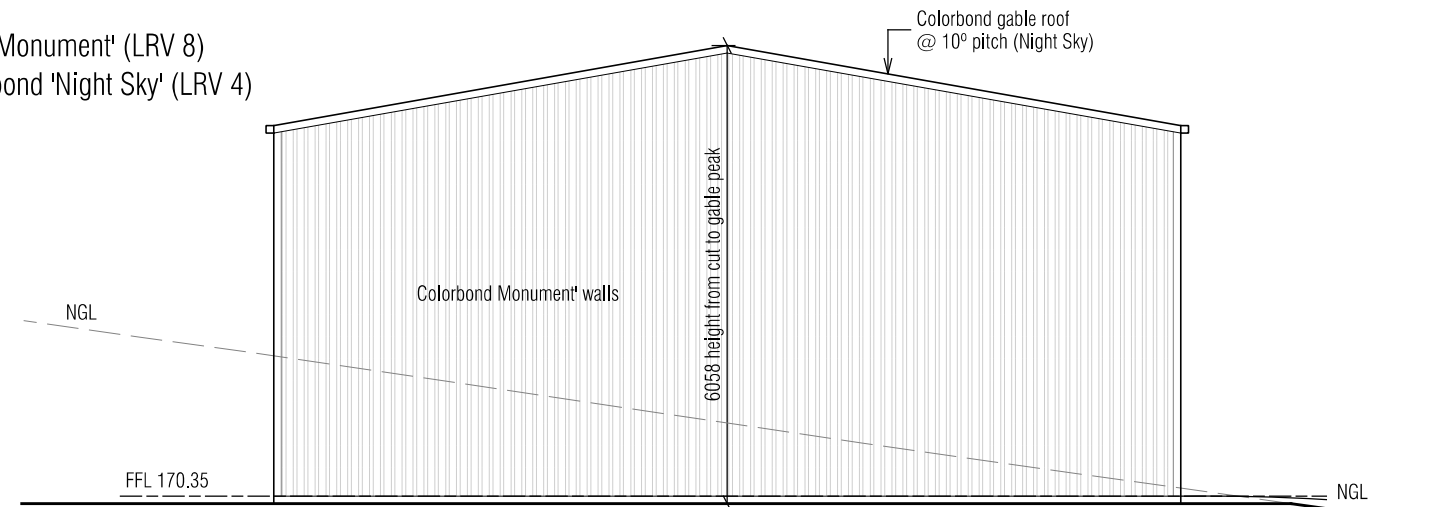


SOUTH EAST ELEVATION

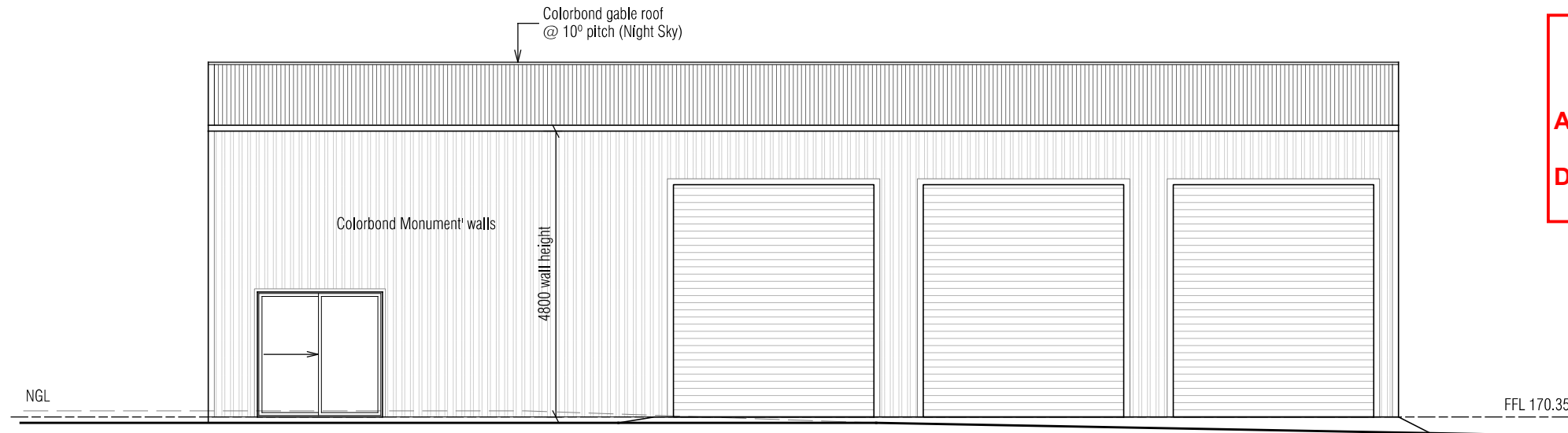
SHED EXTERNAL FINISHES:
EXTERNAL WALLS: Colorbond 'Monument' (LRV 8)
ROOF, GUTTER, FASCIA: Colorbond 'Night Sky' (LRV 4)



SOUTH WEST ELEVATION



NORTH EAST ELEVATION



NORTH WEST ELEVATION

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BAL-29
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Bushfire Attack Level
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DATE: 28/06/24
FILE NAME: H1309 DA 210823.dgn
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DWG No:

PROPOSED DWELLING FOR SORMAN & JOHNS
AT 47 WALLCREST ROAD, BERRIEDALE

Scale 1:100

02b

THIS PLAN IS ACCEPTED BY:

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SIGNATURE:

DATE:

Articulation joint

Floor Area = 279.6m²
Porch Area = 2.6m²
Alfresco & Deck Area = 32.8m²

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

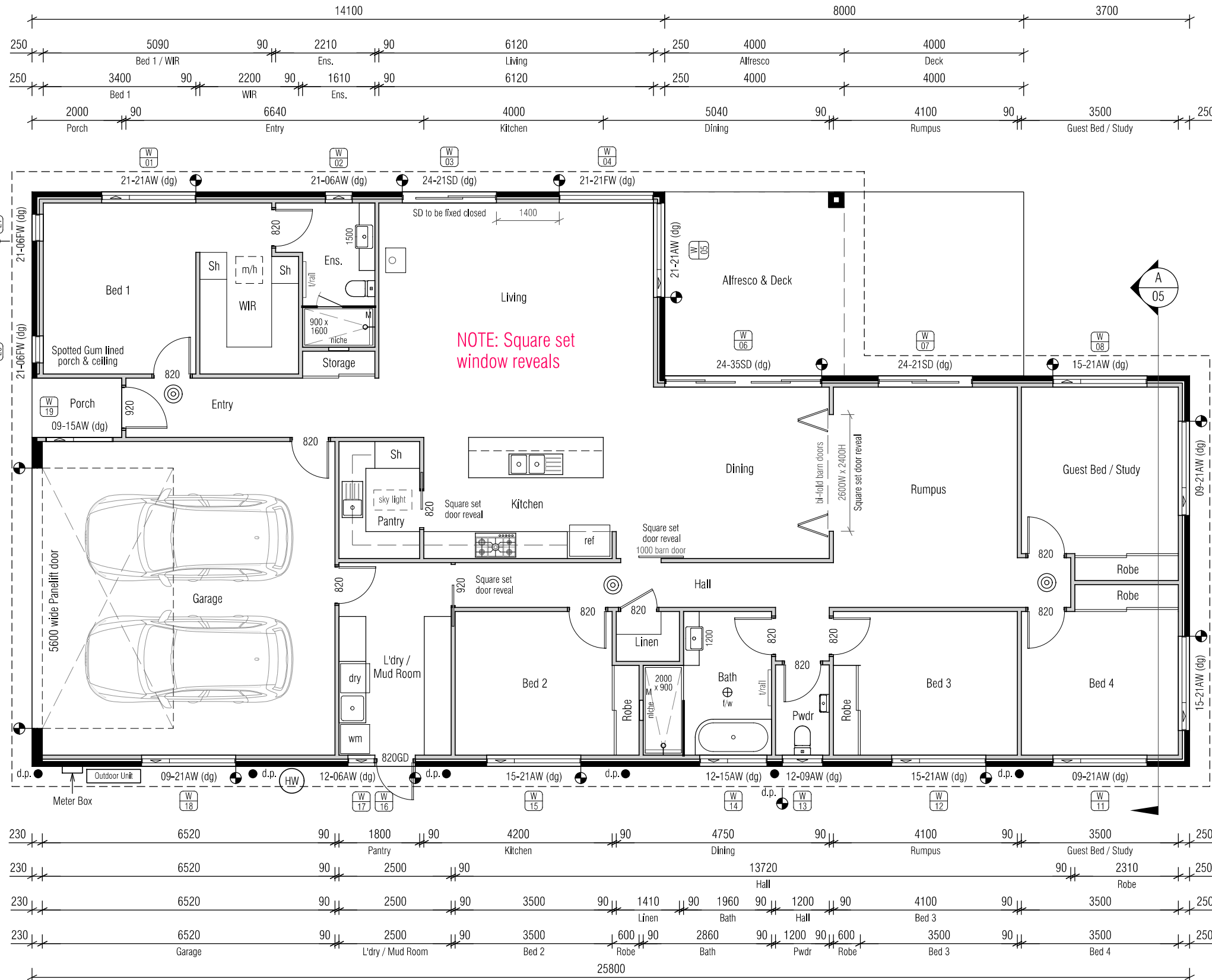
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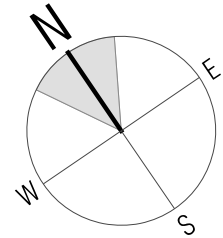
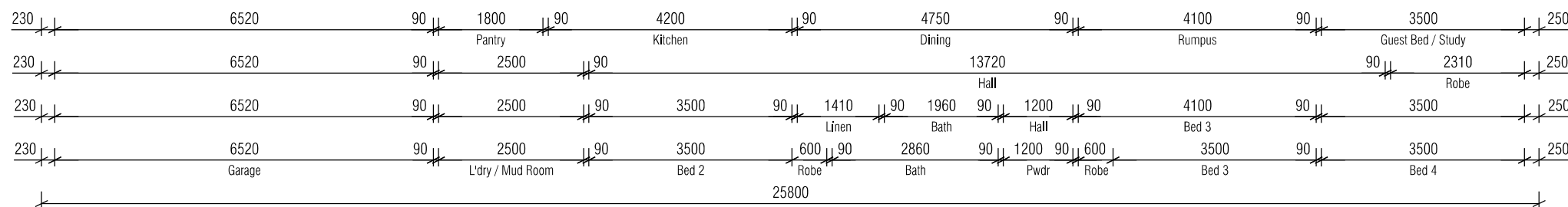
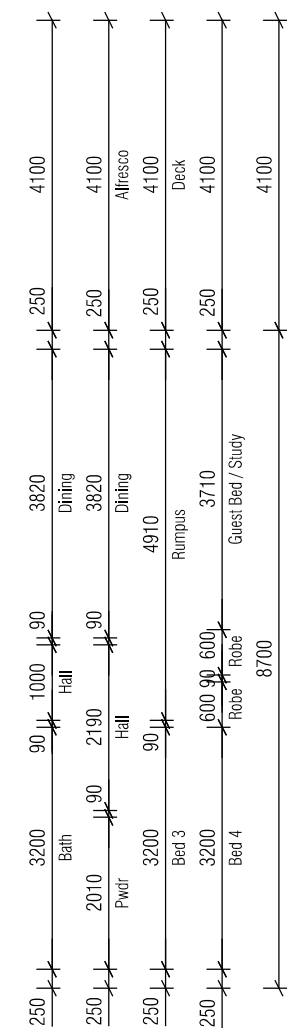
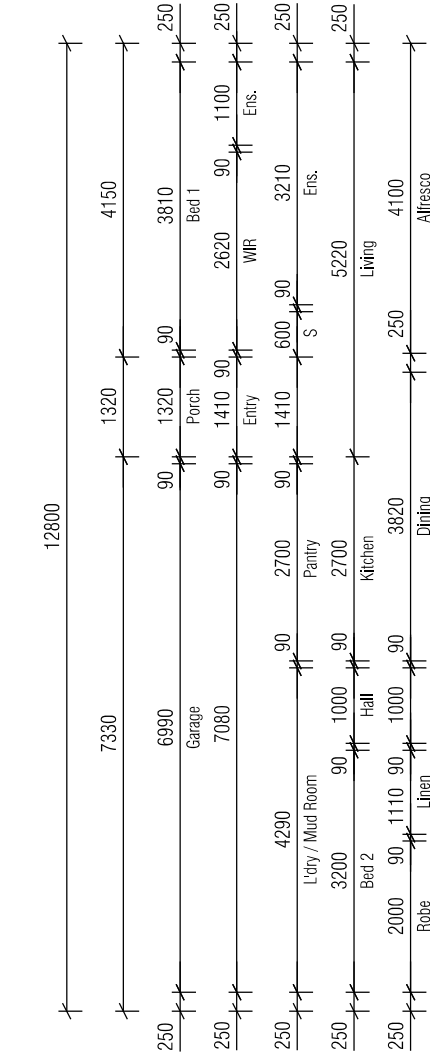


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NOTE: Square set window reveals



Scale 1:100

**PROPOSED DWELLING FOR SORMAN & JOHNS
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DRAWING: FLOOR PLAN
DATE: 28/06/24
FILE NAME: H1309 DA 210823.dgn
DRAWN BY: PC

DWG No:

03

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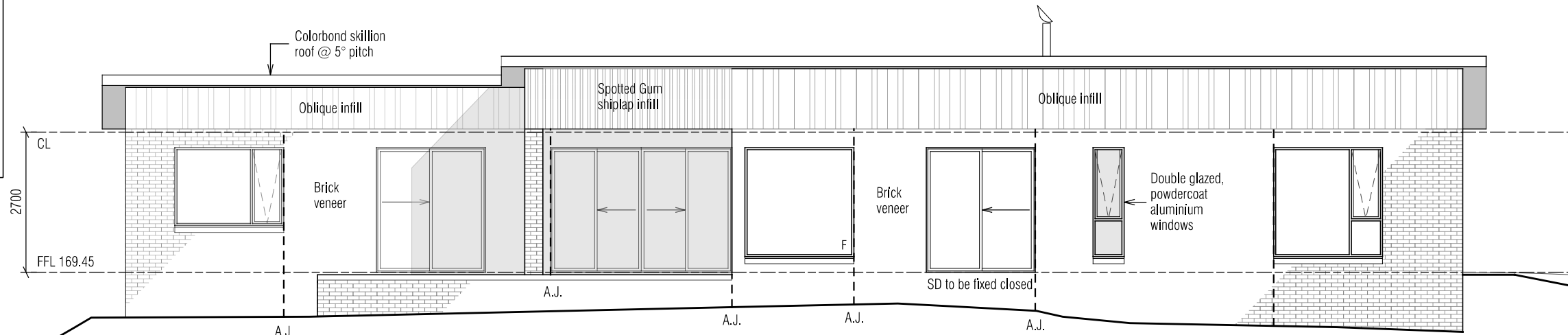
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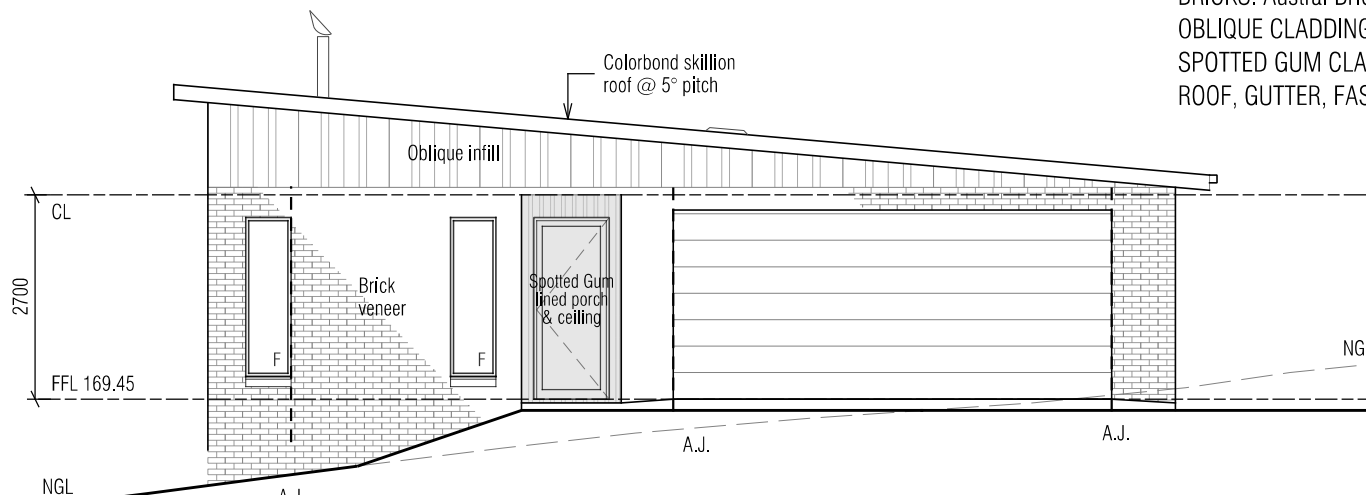
Unit 4/37 Ascot Drive, Huntingfield, Tasmania, 7055
Ph. (03) 62 833 273 www.tassiehomes.com.au

IMPORTANT NOTE:
Cladding to be installed over min. 10mm battens to provide airflow between cladding and vapour permeable membrane.

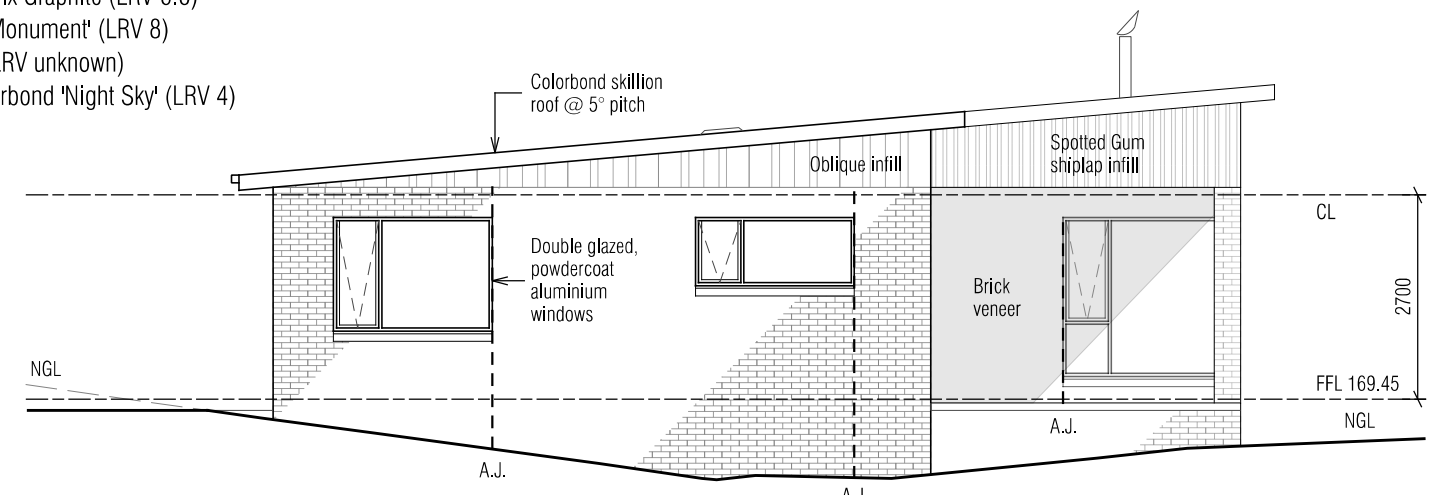


NORTH EAST ELEVATION

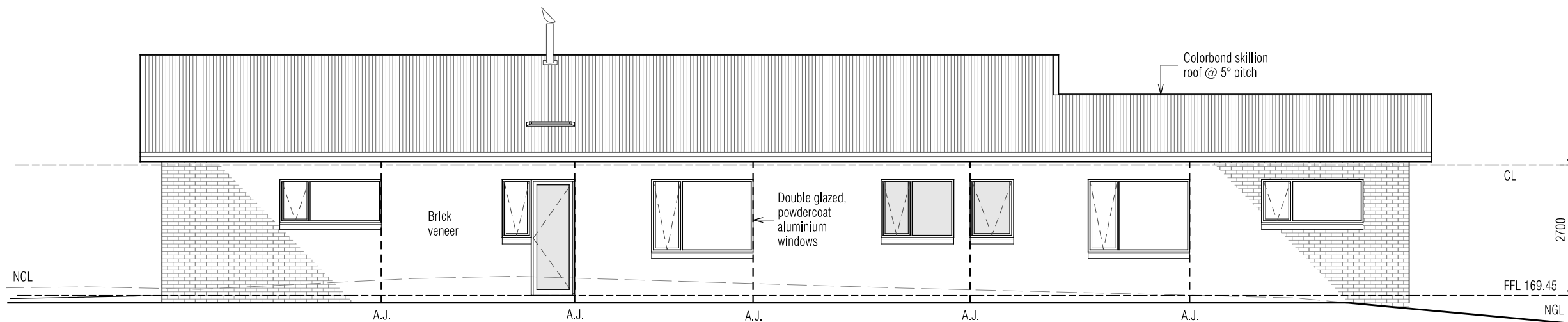
RESIDENCE EXTERNAL FINISHES:
BRICKS: Austral Bricks, Metallix Graphite (LRV 6.6)
OBLIQUE CLADDING: Dulux 'Monument' (LRV 8)
SPOTTED GUM CLADDING: (LRV unknown)
ROOF, GUTTER, FASCIA: Colorbond 'Night Sky' (LRV 4)



NORTH WEST ELEVATION



SOUTH EAST ELEVATION



SOUTH WEST ELEVATION

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DATE: 28/06/24
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DWG No:

Scale 1:100

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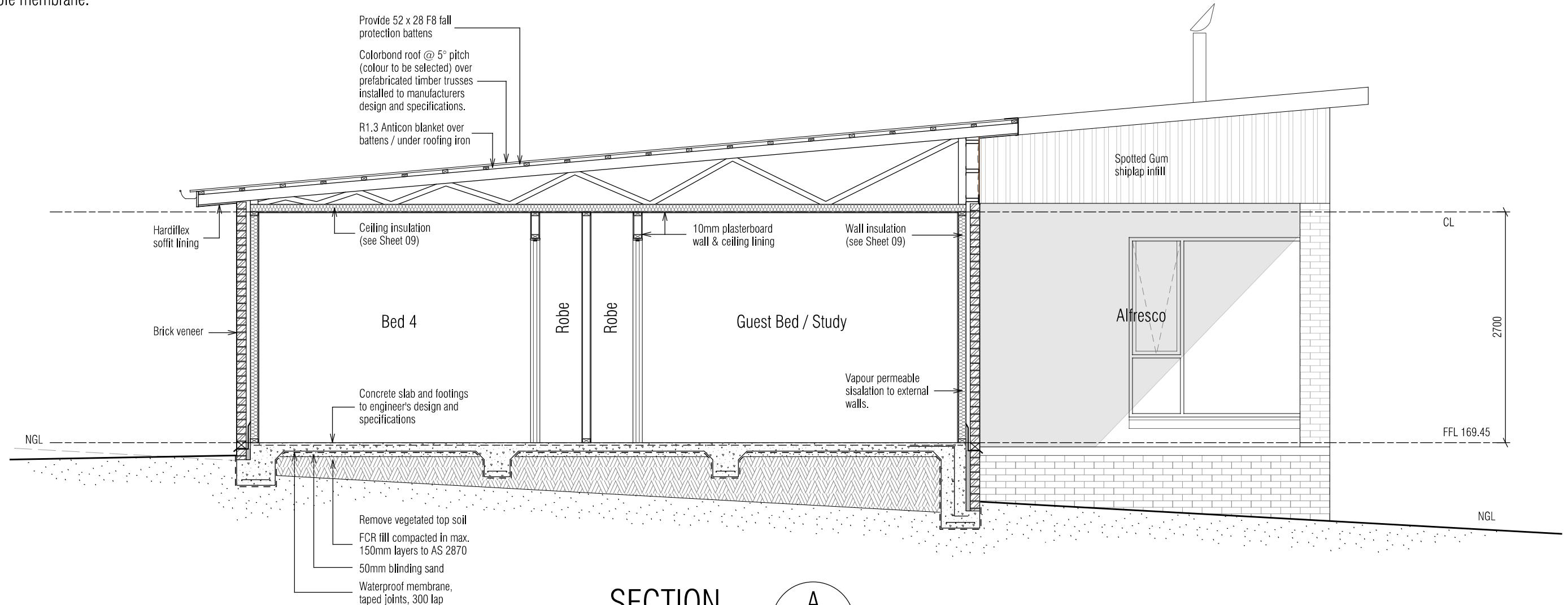
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IMPORTANT NOTE:
Cladding to be installed over min. 10mm battens to provide airflow between cladding and vapour permeable membrane.



SECTION A
03
Scale 1:50

Scale 1:50

PROPOSED DWELLING FOR SORMAN & JOHNS
AT 47 WALLCREST ROAD, BERRIEDALE

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DRAWING: SECTION
DATE: 28/06/24
FILE NAME: H1309 DA 210823.dgn
DRAWN BY: PC

DWG No:

05

THIS PLAN IS ACCEPTED BY:

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**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No. : PLN-23-355

DATE RECEIVED: 20/07/2024

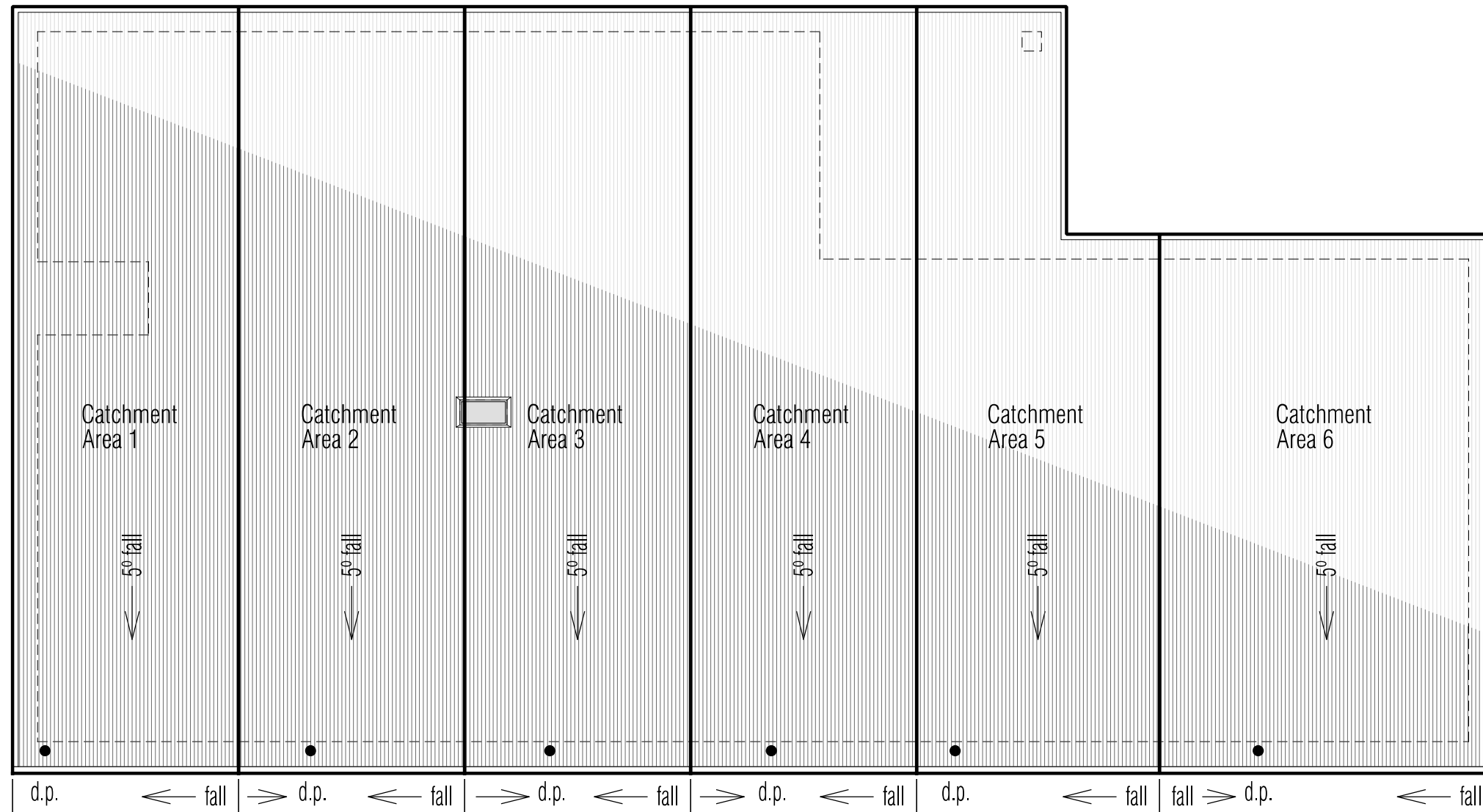


TASSIE HOMES

Unit 4/37 Ascot Drive, Huntingfield, Tasmania, 7055
Ph. (03) 62 833 273 www.tassiehomes.com.au

Scale 1:100

- CATCHMENT AREA NOTES:
Colorbond skillion roof @ 5° pitch
CATCHMENT AREA 1 = 58.6m²
CATCHMENT AREA 2 = 58.6m²
CATCHMENT AREA 3 = 58.6m²
CATCHMENT AREA 4 = 58.6m²
CATCHMENT AREA 5 = 55.7m²
CATCHMENT AREA 6 = 60.9m²



- denotes roof area
- d.p. ● denotes downpipe
- ← denotes direction of fall
- r.h. ☺ denotes rain head
- denotes 200 x 400 ridge vent
- denotes 200 x 400 eaves vent

IMPORTANT NOTES:

The position and quantity of downpipes are not to be altered without consulting with designer. Areas shown are surface / catchment areas NOT plan areas. Where downpipes are further than 1.2m away from valley, refer to NCC 3.5.2.5 (b) All roof areas shown are indicative only and not to be used for any other purpose.

DOWNPIPE & ROOF CATCHMENT AREA CALCULATIONS (as per NCC Part 3.5.2)

Ah	337.4	Area of roof (including 115mm Quad Gutter) (m ²)
Ac	350.1	Ah x slope factor (determined from Table 3.2 from AS/NZS 3500.3) (m ²)
Gutter type	A	Cross sectional area 6500mm ² (determined from NCC Table 3.5.2.2)
DRI	85	Design Rainfall Intensity Hobart (determined from NCC Table 3.5.2.1)
Ac _{dp}	70	Catchment area per 90mm downpipe (determined from NCC Table 3.5.2.2)
Downpipes Required	6	$\frac{Ac}{Ac_{dp}}$
Downpipes Provided	6	

**PROPOSED DWELLING FOR SORMAN & JOHNS
AT 47 WALLCREST ROAD, BERRIEDALE**

REVISION	DATE	DESCRIPTION
A	12 December 2023	Changes as described on Cover Sheet

BAL-29

See sheet 13 for Bushfire Attack Level construction requirements

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DRAWING: ROOF PLAN
DATE: 28/06/24
FILE NAME: PC H1309 DA 210823.dgn
DRAWN BY: PC

DWG No:

06

THIS PLAN IS ACCEPTED BY:

PLEASE NOTE: no variations will be permitted after plans are signed by the client (with exception of Council requirements / approvals).
SIGNATURE:

DATE:

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

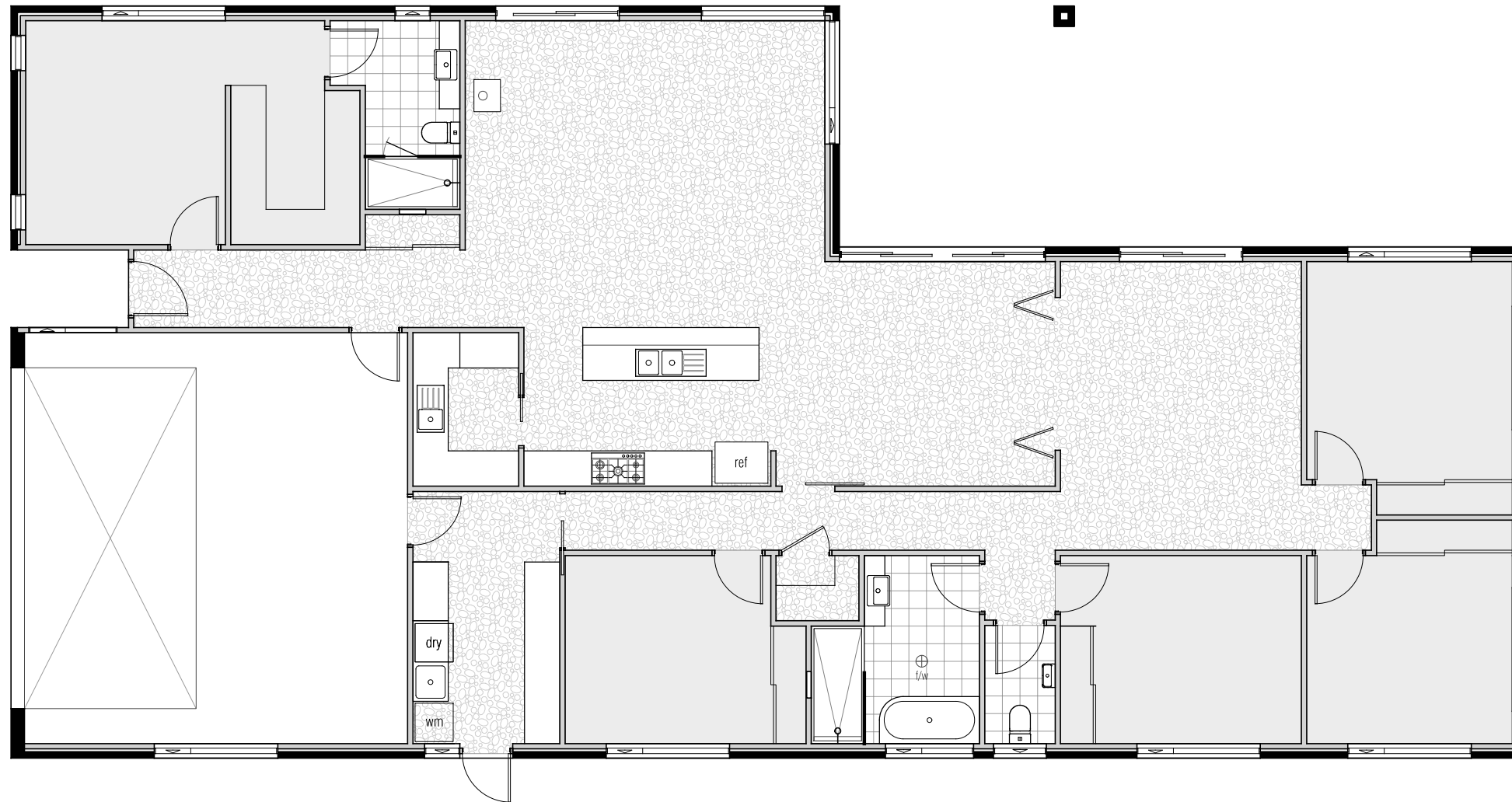
APPLICATION No. : PLN-23-355

DATE RECEIVED: 20/07/2024



TASSIE HOMES

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FLOORING LEGEND

- Polished concrete
- Carpet
- Tiles

BAL-29

See sheet 13 for
Bushfire Attack Level
construction requirements

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DRAWING: FLOORING LAYOUT PLAN
DATE: 28/06/24
FILE NAME: H1309 DA 210823.dgn
DRAWN BY: PC

DWG No:

08

**PROPOSED DWELLING FOR SORMAN & JOHNS
AT 47 WALLCREST ROAD, BERRIEDALE**

REVISION	DATE	DESCRIPTION
A	12 December 2023	Changes as described on Cover Sheet
B	19 December 2023	Changes as described on Cover Sheet

Scale 1:100

CIVIL DRAWINGS
 SORMAN & JOHNS
 47 WALLCREST ROAD
 BERRIEDALE

**GLENORCHY CITY COUNCIL
 PLANNING SERVICES**
 APPLICATION No. : PLN-23-355
 DATE RECEIVED: 20/08/2024

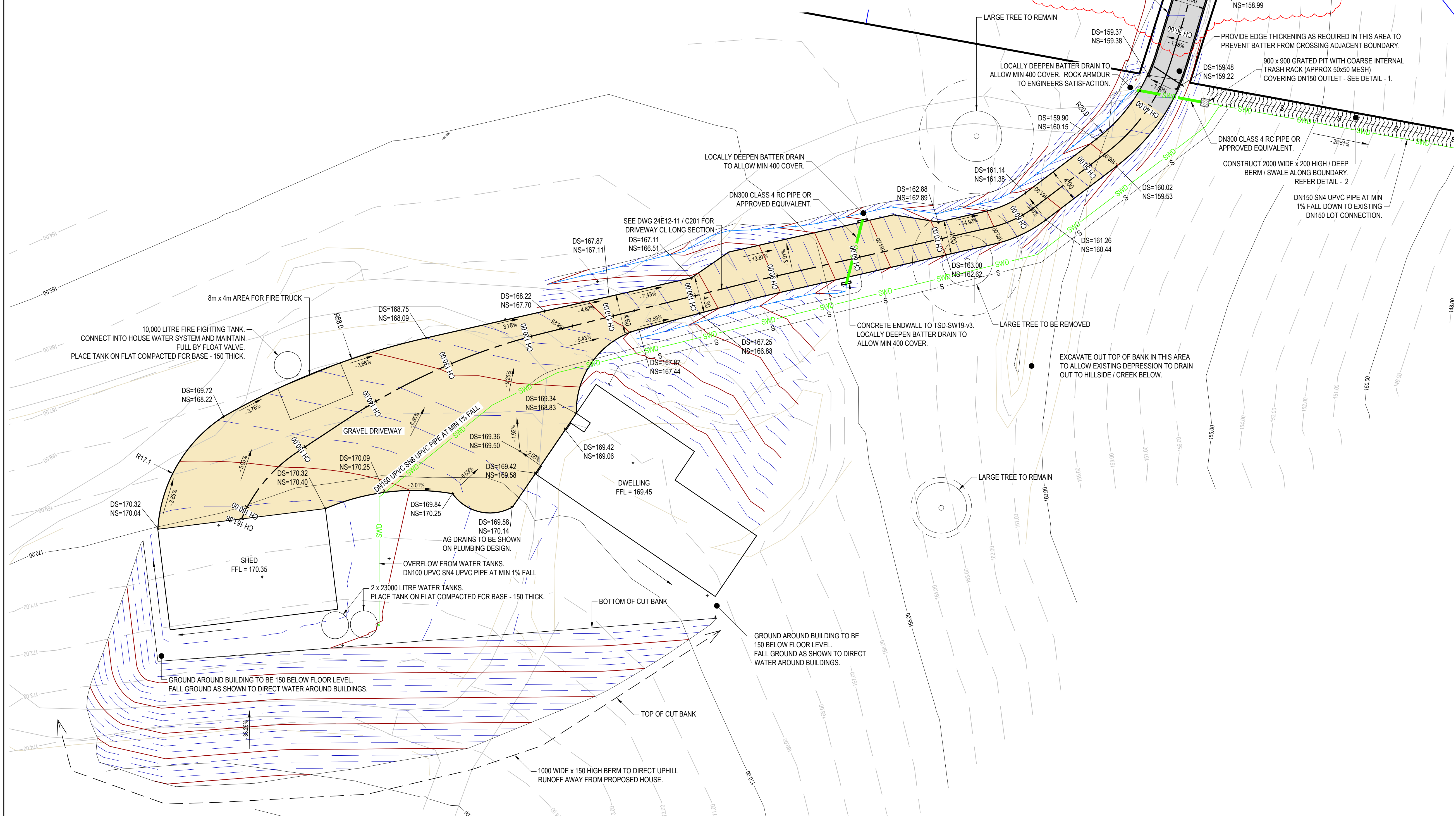
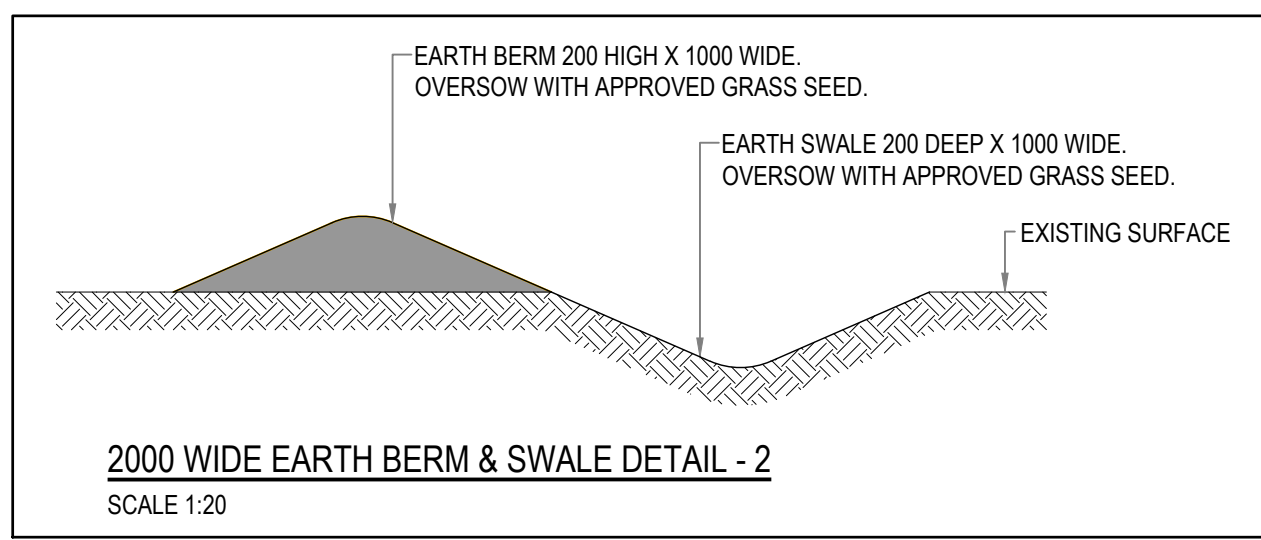
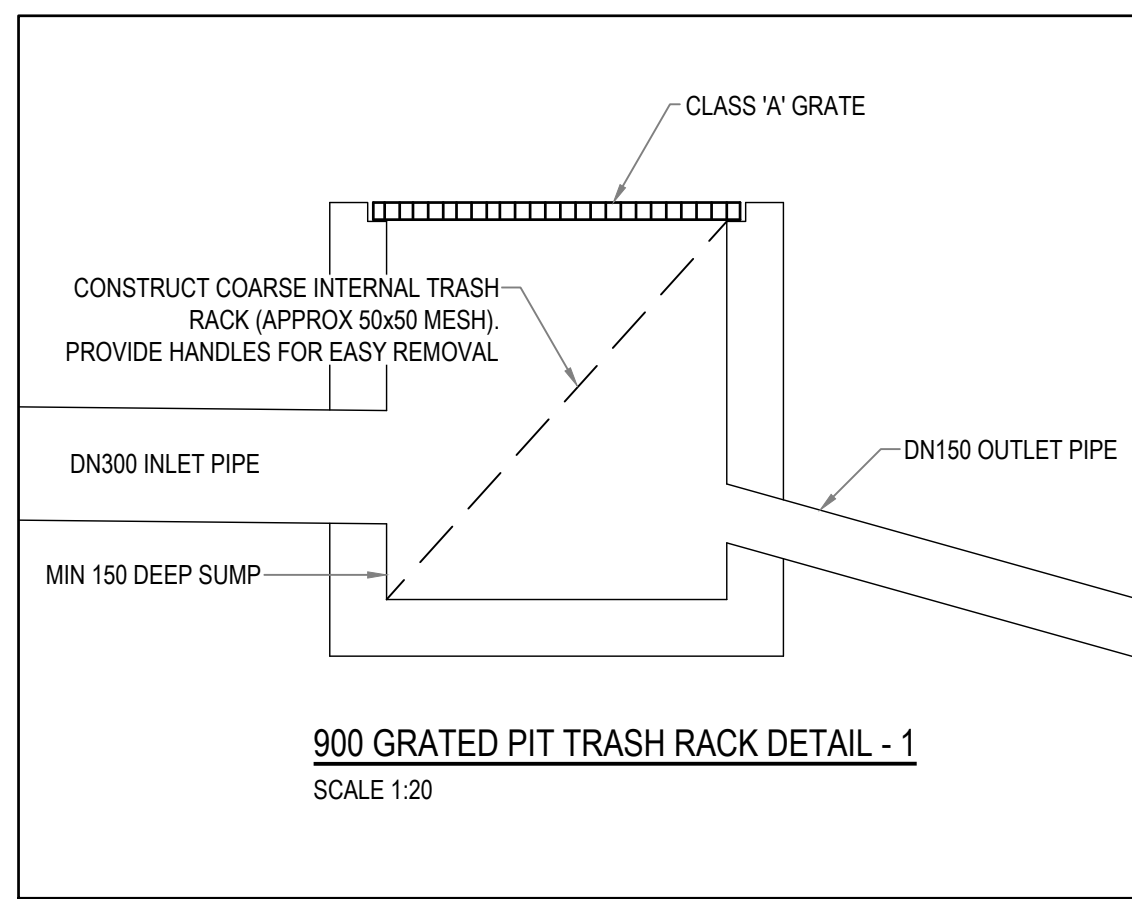
C001	COVER	D	20/08/2024
C002	ENGINEERING NOTES	A	15/07/2024
C101	DRIVEWAY & STORMWATER PLAN - SHEET 1	D	20/08/2024
C102	DRIVEWAY & STORMWATER PLAN - SHEET 2	B	20/08/2024
C201	LONG SECTIONS - SHEET 1	C	18/07/2024
C401	DETAILS	A	15/07/2024

REV	ISSUE	DATE	APPROVAL
D	DEVELOPMENT APPLICATION	20/08/2024	CHECKED: DE
C	DEVELOPMENT APPLICATION	18/07/2024	DESIGN: DHJ
B	DEVELOPMENT APPLICATION	17/07/2024	CHECKED: RP
A	DEVELOPMENT APPLICATION	15/07/2024	VERIFIED: DG



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 mail@aldanmark.com.au
 www.aldanmark.com.au

PROJECT: SORMAN & JOHNS	ADDRESS: 47 WALLCREST ROAD BERRIEDALE	SHEET: COVER		
CLIENT: TASSIE HOMES	SCALE: AS INDICATED	TOTAL SHEETS: 6	SIZE: A1	
PROJECT No: 24 E 12 - 11	SHEET: C001	REV: D		



CAUTION!
UNDERGROUND ELECTRICAL & COMMUNICATIONS CABLES IN THIS VICINITY. LOCATE ALL SERVICES PRIOR TO ANY EXCAVATIONS.

STORMWATER LEGEND	
	SWD PVC STORMWATER DN150 SN8 U.N.O.
	SSD SLOTTED PVC AG DRAIN
	TABLE DRAIN
	EX SWD EXISTING STORMWATER
	STORMWATER MANHOLE
	SIDE ENTRY PIT TYPE 3, AS PER TSD-SW09-v3
	SIDE ENTRY PIT TYPE 5, AS PER TSD-SW12-v3
	SIDE ENTRY PIT TYPE 6, AS PER TSD-SW16-v3
	INSPECTION OPENING
	GRATED PIT
	GRATED TRENCH WITH PIT
SEWER LEGEND	
	UPVC SEWER DN100 SN6 U.N.O.
	EX S EXISTING SEWER
	SEWER MAINTENANCE HOLE 10500 AS PER MRWA-S-307
	MAINTENANCE SHAFT
	SEWER FIXTURE
	INSPECTION OPENING
	INSPECTION OPENING TO SURFACE
	OVERFLOW RELIEF GULLY (DN100) WITH TAP OVER
SITE & EXISTING SERVICES LEGEND	
	DESIGN SURFACE CONTOUR (MAJIMIN)
	EXISTING SURFACE CONTOUR (MAJIMIN)
	BOUNDARY
	EASEMENT
	EXISTING FENCE
	EXISTING OVERHEAD POWER
	EXISTING UNDERGROUND POWER
	EXISTING TELSTRA
	EXISTING NBN
	EXISTING GAS
PAVEMENT LEGEND	
	ASPHALT
	CONCRETE DRIVEWAY
	CONCRETE FOOTPATH
	GRAVEL
NOTES	
THESE DRAWINGS SHALL BE APPROVED BY RELEVANT AUTHORITIES (INCL. COUNCIL & TASWATER) PRIOR TO CONSTRUCTION.	
THIS DRAWING MUST ONLY BE DISTRIBUTED IN FULL COLOUR. ALDANMARK CONSULTING ENGINEERS ACCEPTS NO LIABILITY ARISING FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.	
BEWARE OF UNDERGROUND SERVICES: THE LOCATION OF UNDERGROUND SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT LOCATION SHOULD BE PROVEN ON SITE BY THE RELEVANT AUTHORITIES. NO GUARANTEE IS GIVEN THAT ALL SERVICES ARE SHOWN.	

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
APPLICATION No. : PLN-23-355
DATE RECEIVED: 20/08/2024

DRIVEWAY & STORMWATER SHEET - 1
SCALE 1:250 (A1)

REV	ISSUE	DATE	APPROVAL
D	DEVELOPMENT APPLICATION	20/08/2024	CHECKED: DE
C	DEVELOPMENT APPLICATION	18/07/2024	DESIGN: DHJ
B	DEVELOPMENT APPLICATION	17/07/2024	CHECKED: RP
A	DEVELOPMENT APPLICATION	15/07/2024	VERIFIED: DG

ALDANMARK
CONSULTING ENGINEERS

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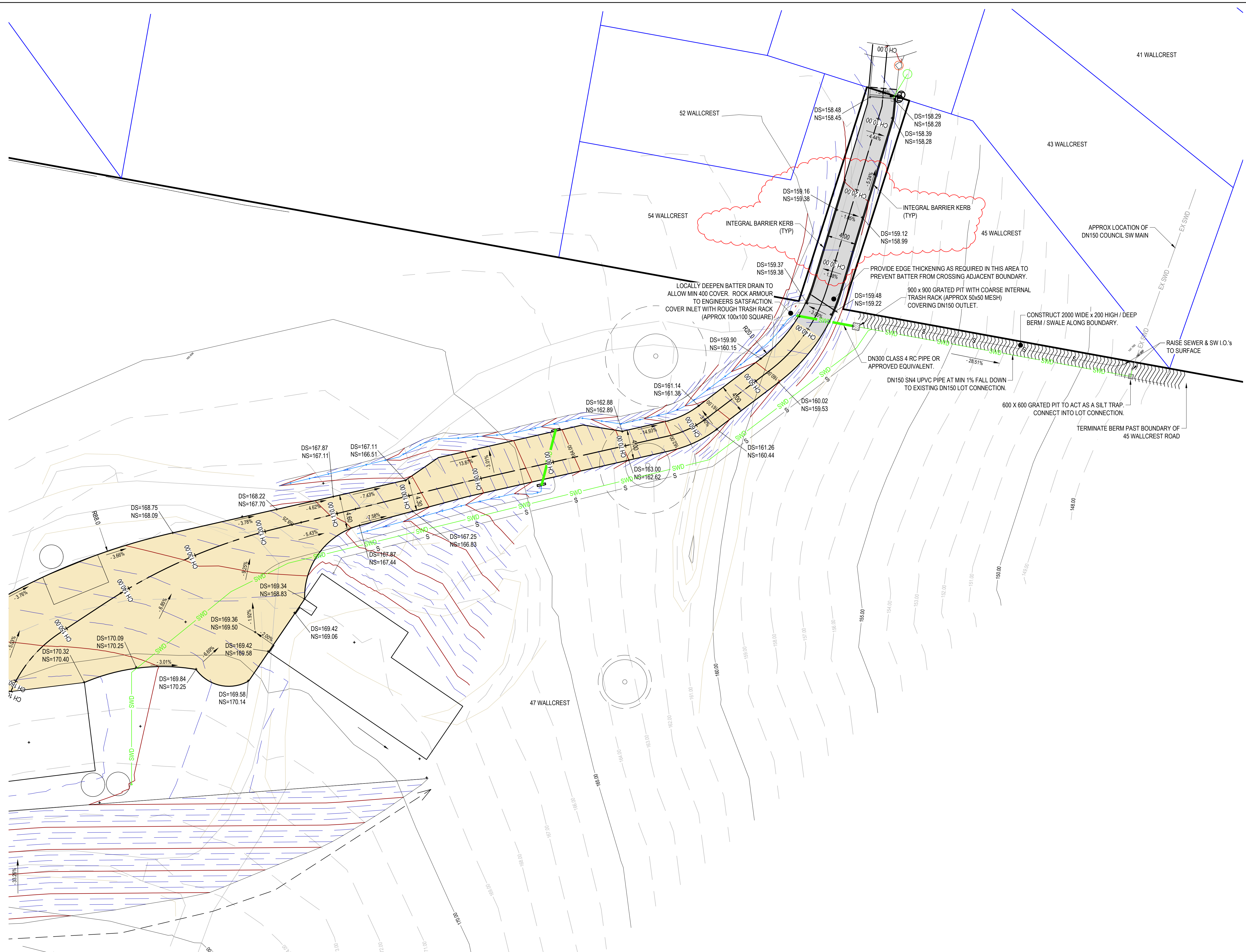
PROJECT: SORMAN & JOHNS

ADDRESS: 47 WALLCREST ROAD
BERRIEDALE

CLIENT: TASSIE HOMES

SHEET: DRIVEWAY & STORMWATER PLAN - SHEET 1	SCALE: 1:250	TOTAL SHEETS: 6	SIZE: A1
PROJECT No: 24 E 12 - 11	SHEET: C101	REV: D	





STORMWATER LEGEND	
	PVC STORMWATER DN150 S/N8 U.N.O.
	SLOTTED PVC AG DRAIN
	TABLE DRAIN
	EXISTING STORMWATER
	STORMWATER MANHOLE
	SIDE ENTRY PIT TYPE 3, AS PER TSD-SW09-v3
	SIDE ENTRY PIT TYPE 5, AS PER TSD-SW12-v3
	SIDE ENTRY PIT TYPE 6, AS PER TSD-SW16-v3
	INSPECTION OPENING
	GRATED PIT
	GRATED TRENCH WITH PIT
SEWER LEGEND	
	UPVC SEWER DN100 S/N6 U.N.O.
	EXISTING SEWER
	SEWER MAINTENANCE HOLE 10500 AS PER MRWA-S-307
	MAINTENANCE SHAFT
	SEWER FIXTURE
	INSPECTION OPENING
	INSPECTION OPENING TO SURFACE
	OVERFLOW RELIEF GULLY (DN100) WITH TAP OVER
SITE & EXISTING SERVICES LEGEND	
	DESIGN SURFACE CONTOUR (MAJIMIN)
	EXISTING SURFACE CONTOUR (MAJIMIN)
	BOUNDARY
	EASEMENT
	EXISTING FENCE
	EXISTING OVERHEAD POWER
	EXISTING UNDERGROUND POWER
	EXISTING TELSTRA
	EXISTING NBN
	EXISTING GAS
PAVEMENT LEGEND	
	ASPHALT
	CONCRETE DRIVEWAY
	CONCRETE FOOTPATH
	GRAVEL

NOTES

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**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No. : PLN-23-355

DATE RECEIVED: 20/08/2024

DRIVEWAY & STORMWATER PLAN - SHEET 2
SCALE 1:250 (A1)

			DRAWN:	DHJ
			CHECKED:	DE
			DESIGN:	DHJ
B	DEVELOPMENT APPLICATION	20/08/2024	CHECKED:	RP
A	DEVELOPMENT APPLICATION	15/07/2024	VERIFIED:	DG
REV	ISSUE	DATE	APPROVAL	



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PROJECT: SORMAN & JOHNS

ADDRESS: 47 WALLCREST ROAD
BERRIEDALE

CLIENT: TASSIE HOMES

SHEET: DRIVEWAY & STORMWATER PLAN - SHEET 2	SCALE: 1:250	TOTAL SHEETS: 6	SIZE: A1
PROJECT No: 24 E 12 - 11	SHEET: C102	REV: B	



NOTES

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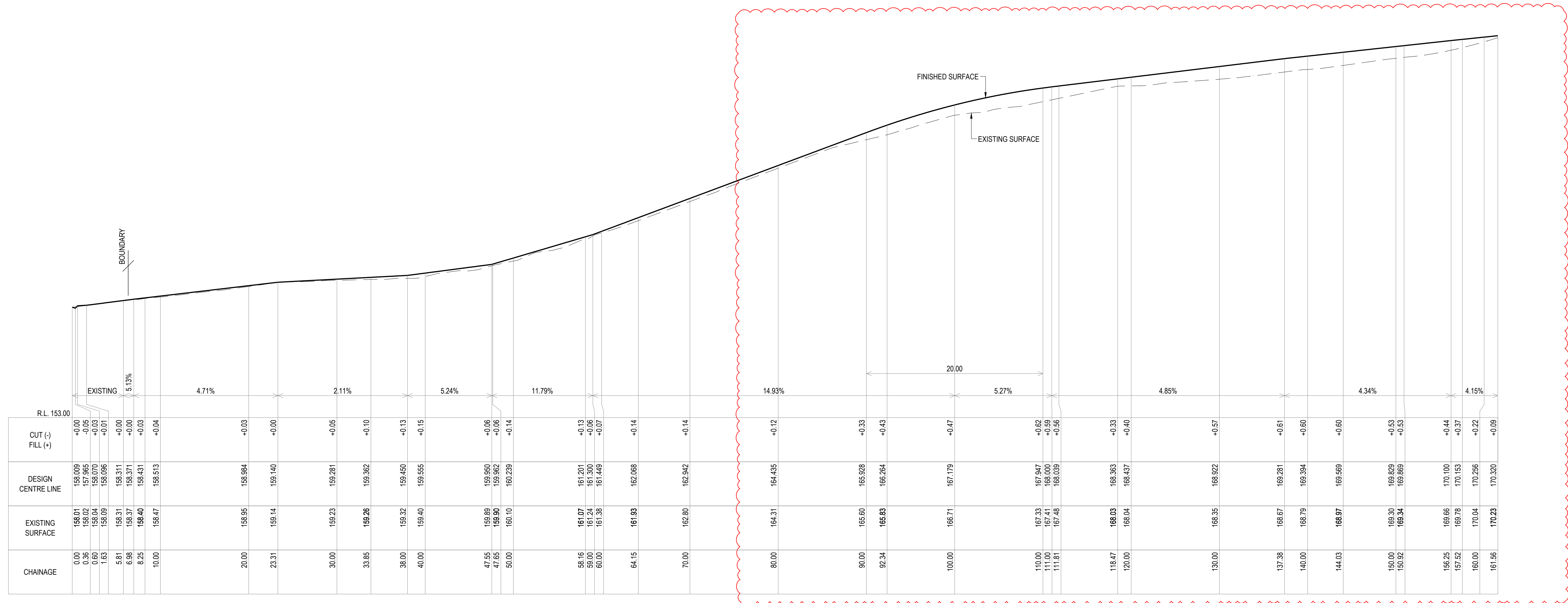
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From 0.000m To 161.560m Scales: H 1:250 V 1:100

DRIVEWAY LONGITUDINAL SECTION
SCALE HORIZ 1:250 VERT 1:100 (A1)

			DRAWN: DHJ
			CHECKED: DE
C	DEVELOPMENT APPLICATION	18/07/2024	DESIGN: DHJ
B	DEVELOPMENT APPLICATION	17/07/2024	CHECKED: RP
A	DEVELOPMENT APPLICATION	15/07/2024	VERIFIED: DG
REV	ISSUE	DATE	APPROVAL



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PROJECT: SORMAN & JOHNS

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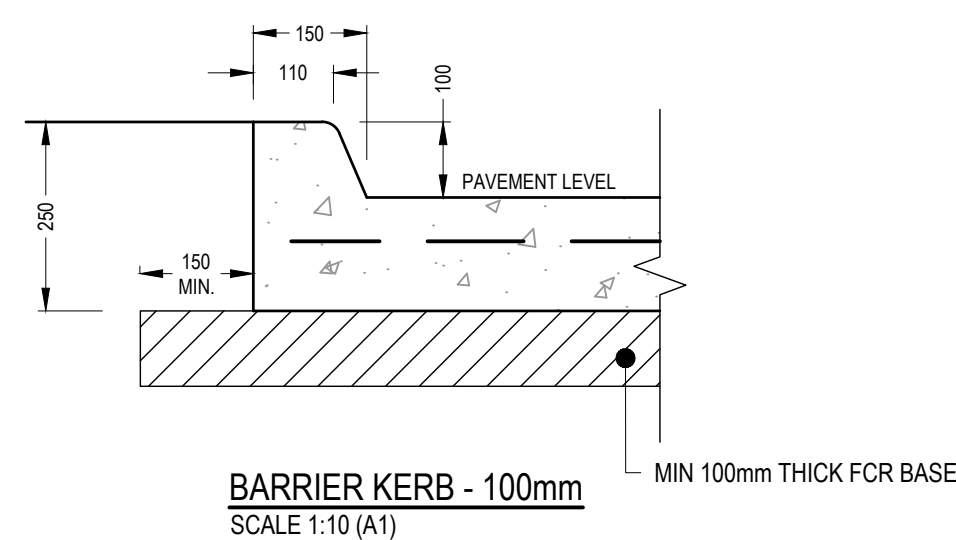
CLIENT: TASSIE HOMES

SHEET: LONG SECTIONS - SHEET 1	SCALE: AS INDICATED	TOTAL SHEETS: 6	SIZE: A1
PROJECT No: 24 E 12 - 11	SHEET: C201	REV: C	

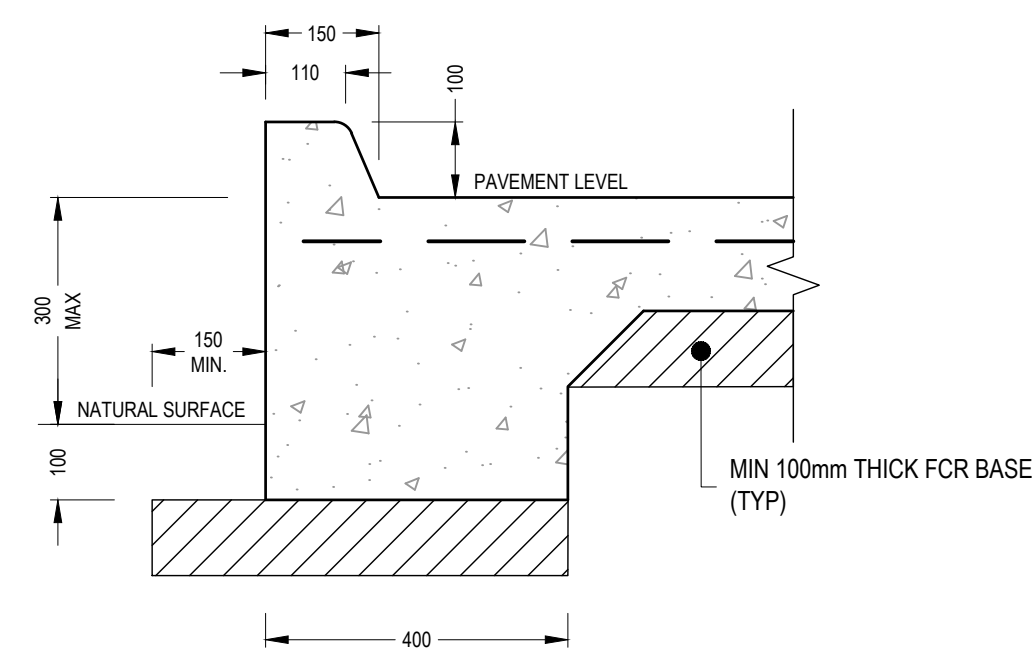
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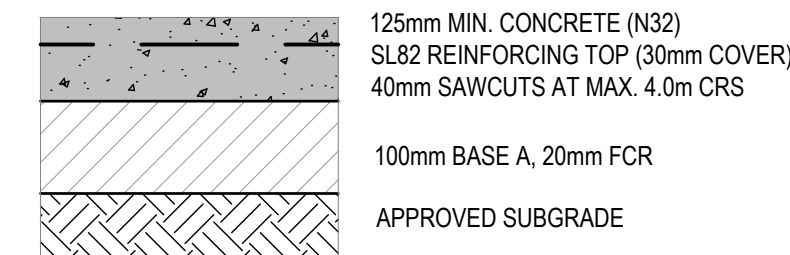
**GLENORCHY CITY COUNCIL
 PLANNING SERVICES**
 APPLICATION No. : PLN-23-355
 DATE RECEIVED: 20/082024



BARRIER KERB - 100mm
 SCALE 1:10 (A1)



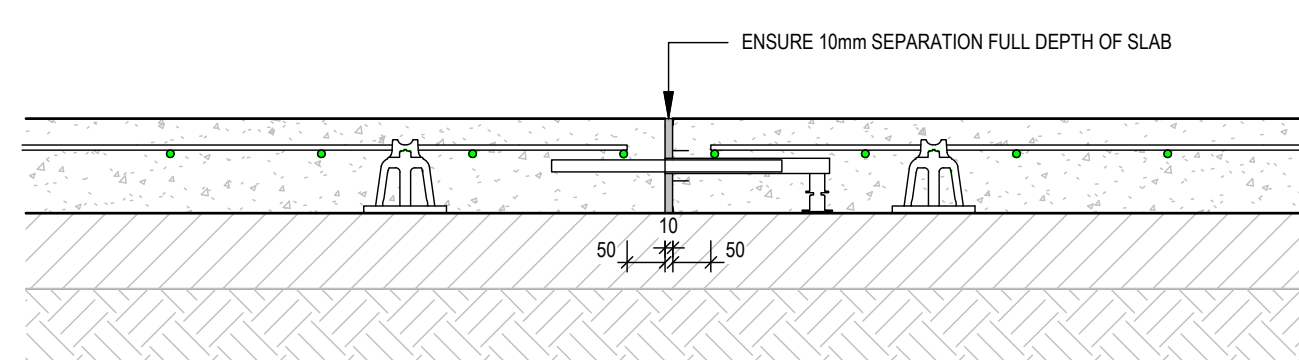
EDGE THICKENING DETAIL
 SCALE 1:10 (A1)



NOTE: CONCRETE PAVEMENT NOT DESIGNED FOR SPECIAL SURFACE FINISHES SUCH AS EXPOSED AGGREGATE.

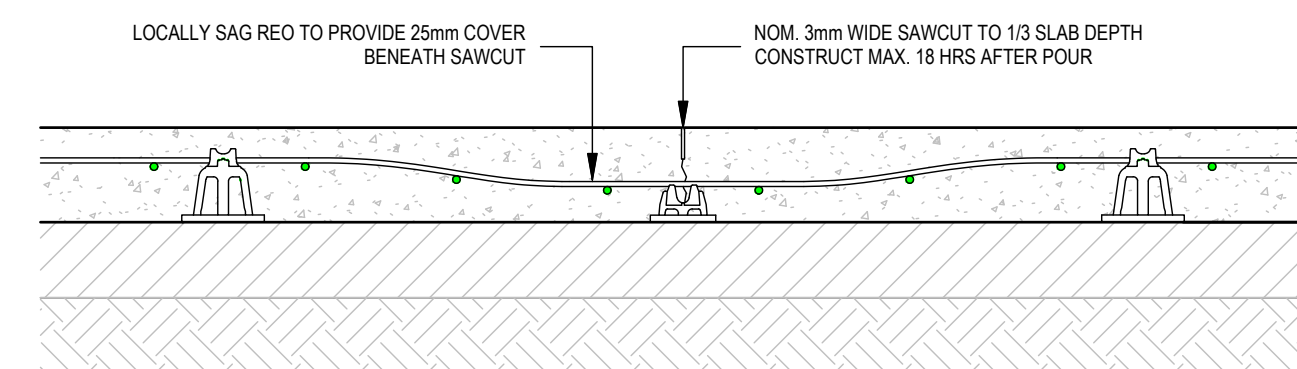
CONCRETE PAVEMENT DETAIL

JOINT SPECIFICATION			
JOINT TYPE	EXPANSION - CONNOLLEY EXJ12330	CONC. GRADE	N32
JOINT SEAL	NONE	DOWEL MATERIAL	HOT DIPPED GALVANISED STEEL
MAX. LOADING		DOWEL LENGTH	450mm
MAX. EXPANSION	10mm	DOWEL DIA.	16mm
SLAB THICKNESS	125mm	DOWEL CENTRES	450mm

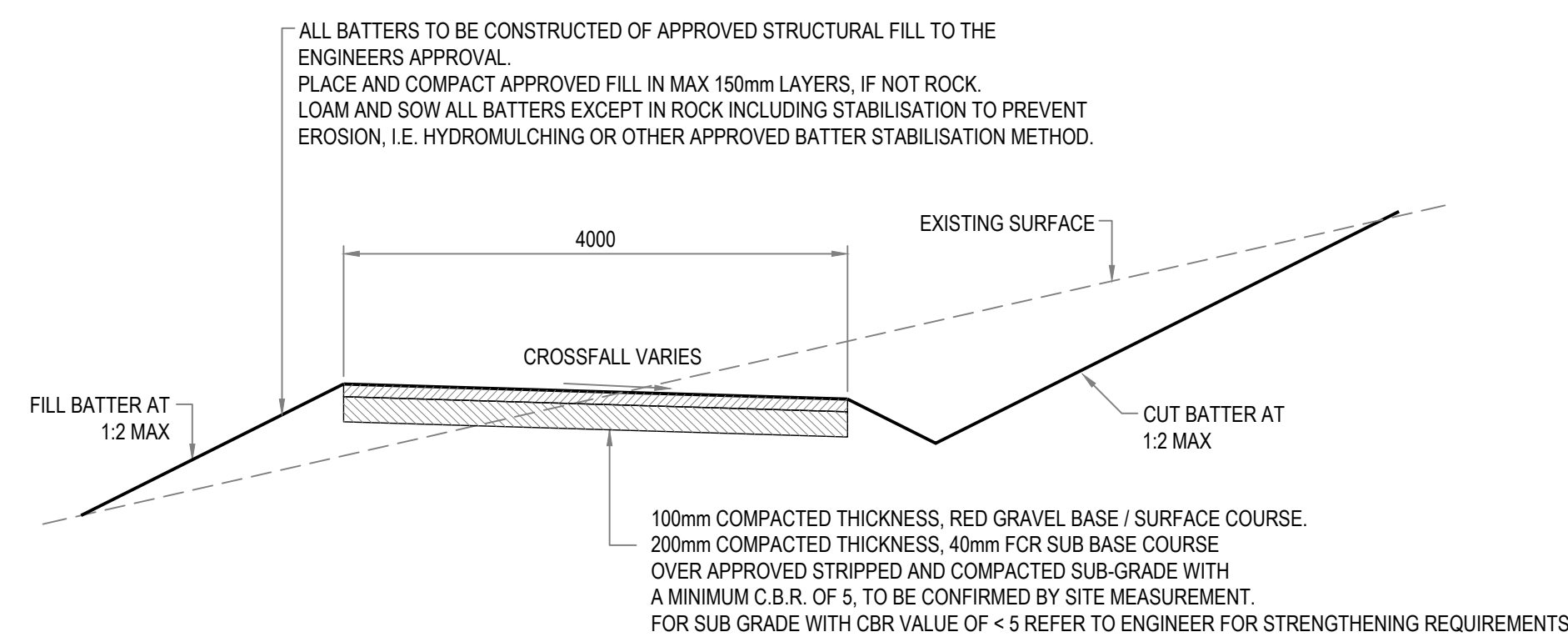


JT-EJ-02-001 - 125 EXPANSION JOINT
 1:10

JOINT SPECIFICATION			
JOINT TYPE	CRACK CONTROL	CONC. GRADE	N32
JOINT SEAL	NONE	DOWEL MATERIAL	N/A
MAX. LOADING		DOWEL TYPE	N/A
REINFORCEMENT	SL82	DOWEL WIDTH	N/A
SLAB THICKNESS	125mm	DOWEL CENTRES	N/A



JT-SJ-01-001 - 125 SAWCUT JOINT
 1:10



TYPICAL SECTION - GRAVEL DRIVEWAY
 SCALE 1: 50 (A1)
 SCALE 1: 100 (A3)

DETAILS
 AS INDICATED

REV	ISSUE	DATE	APPROVAL
A	DEVELOPMENT APPLICATION	15/07/2024	RP
			DG



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CLIENT:	TASSIE HOMES



SHEET:	DETAILS
SCALE:	AS INDICATED
TOTAL SHEETS:	6
SIZE:	A1
PROJECT No:	24 E 12 - 11
SHEET:	C401
REV:	A