

DEVELOPMENT APPLICATION

APPLICATION NUMBER:	PLN-24-208
PROPOSED DEVELOPMENT:	Demolition and proposed Single Dwelling (Residential)
LOCATION:	63 Montrose Road Montrose
APPLICANT:	Cavalier Homes
ADVERTISING START DATE:	25/09/2024
ADVERTISING EXPIRY DATE:	8/10/2024

Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and the plans are available on Glenorchy City Council's website (www.gcc.tas.gov.au) until **8/10/2024**.

During this time, any person may make representations relating to the applications by letter addressed to the General Manager, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to gccmail@gcc.tas.gov.au.

Representations must be received by no later than 11.59 pm on **8/10/2024**, or for postal and hand delivered representations, by 5.00 pm on **8/10/2024**.

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No PLN-24-208

DATE RECEIVED 08/08/2024



ORAMATIS

DEVELOPMENT APPLICATION

63 MONTROSE ROAD, MONTROSE

PROPOSED HOUSE DEMOLITION & REBUILD

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
APPLICATION No **PLN-24-208**
DATE RECEIVED **08/08/2024**

ID	NAME	REV
	COVER PAGE	
DA01	NOTES & SITE LOCATION PLAN	
DA02	EXISTING & DEMOLITION PLAN	
DA03	PROPOSED SITE PLAN	
DA04	LOWER FLOOR PLAN	
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DA06	ELEVATION	
DA07	ELEVATION	



1 LOCATION PLAN/SATELLITE IMAGERY
1:2000

GENERAL NOTES

GENERAL
© REPRODUCTION OF THIS DRAWING IS PROHIBITED WITHOUT THE CONSENT OF ORAMATIS STUDIO

DO NOT SCALE FROM THIS DRAWING

THE CONTRACTOR SHALL CONFIRM ON SITE EXISTING CONDITIONS, LEVELS AND DIMENSIONS PRIOR TO COMMENCEMENT OF WORKS

ALL DISCREPANCIES TO BE REPORTED TO THE ARCHITECT FOR INSTRUCTION

ALL LEVELS INDICATED PERTAIN TO FINISHED LEVELS AND NOT STRUCTURAL LEVELS UNLESS OTHERWISE INDICATED

MATERIALS AND WORK PRACTICES SHALL COMPLY WITH THE NATIONAL CONSTRUCTION CODE (NCC) AND OTHER RELEVANT CODES REFERRED TO IN THE NCC

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER CONTRACT DOCUMENTS, SPECIFICATIONS AND DRAWINGS

PROPRIETARY ITEMS, SYSTEMS AND ASSEMBLIES ARE TO BE ASSEMBLED, INSTALLED OR FIXED IN CONFORMANCE WITH THE CURRENT WRITTEN RECOMMENDATIONS AND INSTRUCTIONS OF THE MANUFACTURER OR SUPPLIER

WORKPLACE HEALTH AND SAFETY
ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE PROJECT SAFE DESIGN REPORT

ALL CONTRACTORS MUST CARRY OUT WORKS IN ACCORDANCE WITH CURRENT HEALTH AND SAFETY LEGISLATION AND BEST PRACTICE INCLUDING PREPARATION OF A CONSTRUCTION SAFETY MANAGEMENT PLAN

LAND TITLE REFERENCE
VOLUME (PLAN): 68/16364

DESIGN WIND SPEED
WIND LOADING TO AS 4055: N3

SOIL CLASSIFICATION
SOIL CLASSIFICATION TO AS 2870: S

CLIMATE ZONE FOR THERMAL DESIGN
CLIMATE ZONE TO BCA FIGURE 1.1.4: 7

BUSHFIRE PRONE AREA BAL RATING
BUSHFIRE ATTACK LEVEL (BAL) TO AS 3959: N/A

CORROSION ENVIRONMENT
CORROSION ENVIRONMENT TO AS/NZS 2312: N/A

KNOWN SITE HAZARDS: n/a

AREA SCHEDULE	
ID	m²
DECK	12.58
GARAGE	66.70
HOUSE	142.93



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Version: 1, Version Date: 08/08/2024

GENERAL NOTES

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REVISIONS

REV ID	DESCRIPTION	DATE

PROJECT

PROPOSED HOUSE
63 MONTROSE ROAD, MONTROSE
CLIENT
Mark & Mary-Ellen Alexander

REVISION

DATE
1/08/2024
PROJECT ID
2451
CHECKED BY
A.HILL

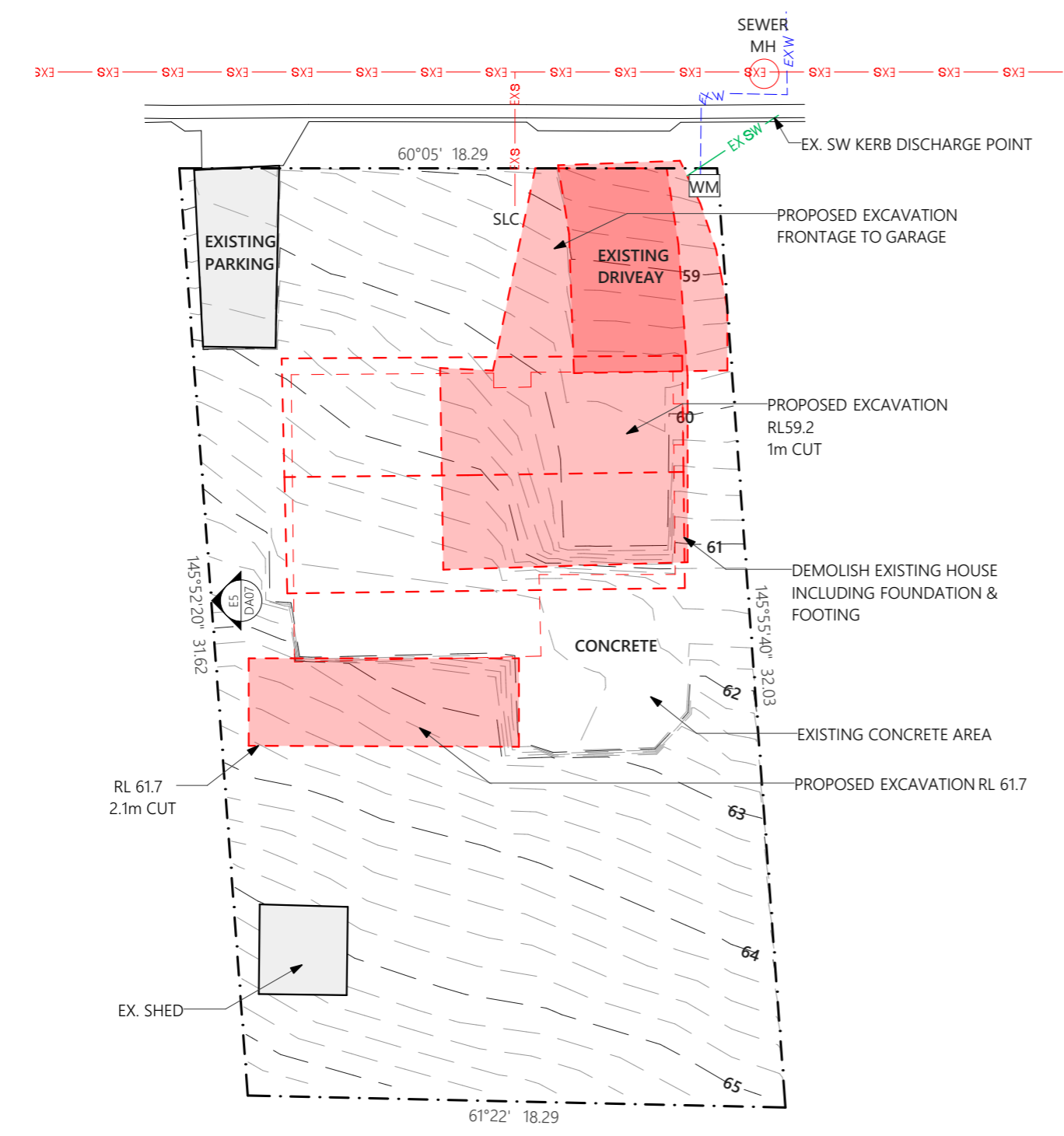
SCALE

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C.LI

PAGE

DA01
DRAWING
NOTES & SITE LOCATION PLAN
NORTH

- LEGEND**
- WM** EXISTING WATER METER
 - SLC** SEWER LOT CONNECTION
 - SWLC** STORMWATER LOT CONNECTION
 - - - - - EASEMENT SETBACK
 - S** PROPOSED Ø100 UPVC SEWER LINE
 - SW** PROPOSED Ø100 UPVC STORMWATER LINE
 - W** PROPOSED Ø100 UPVC WATER LINE
 - EXS** EXISTING SEWER LINE
 - EXSW** EXISTING STORMWATER LINE
 - EXW** EXISTING WATER LINE



1
-
EXISTING & DEMOLITION GROUND FLOOR PLAN
1:200

GENERAL NOTES

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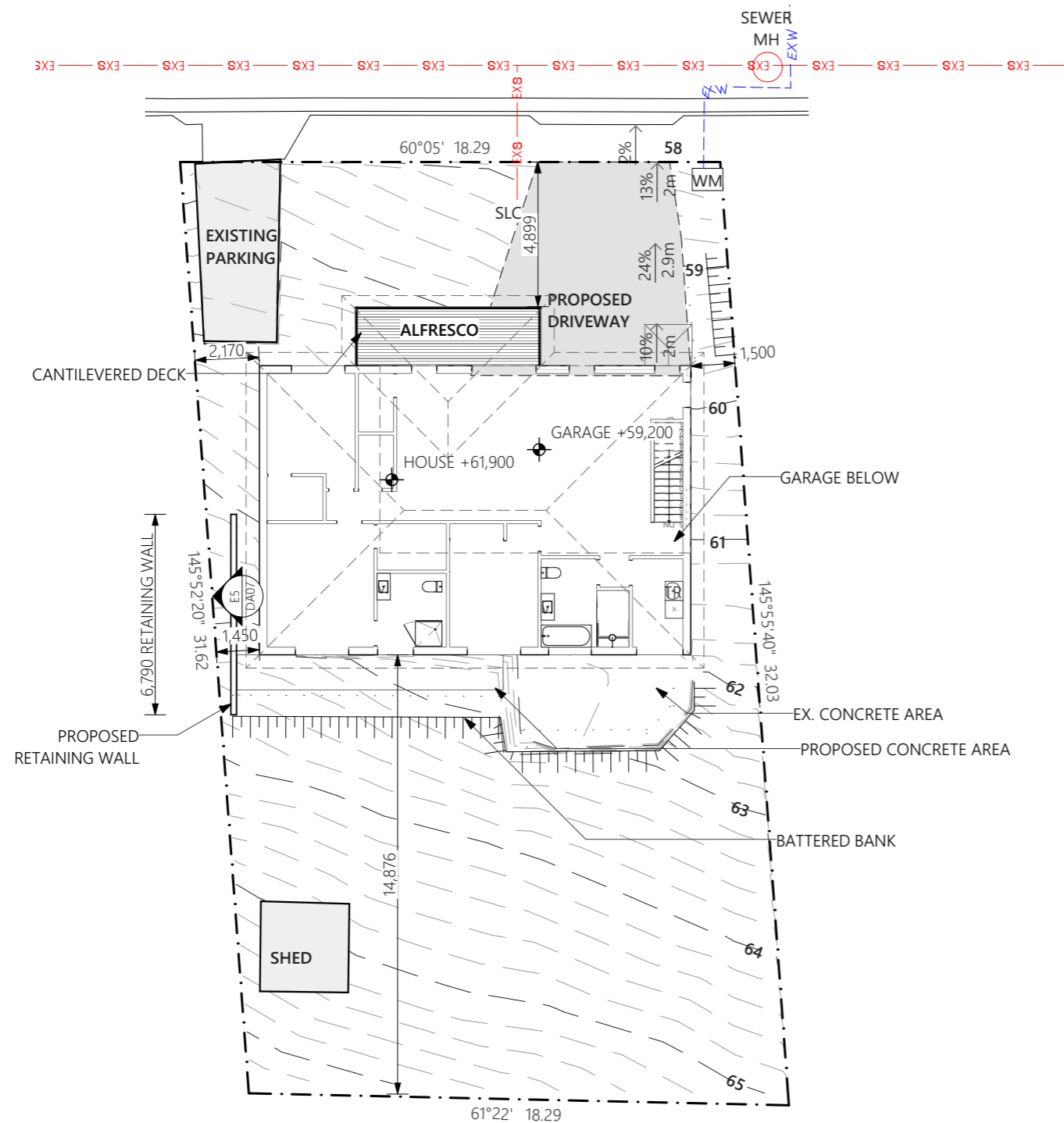
PROJECT	REVISION	DATE	SCALE
PROPOSED HOUSE 63 MONTROSE ROAD, MONTROSE		1/08/2024	AS SHOWN @ A3
CLIENT	PROJECT ID	CHECKED BY	DRAWN BY
Mark & Mary-ellen Alexander	2451	A.HILL	C.LI

PAGE	NORTH
DA02	
DRAWING	
EXISTING & DEMOLITION PLAN	

LEGEND

- WM** EXISTING WATER METER
- SLC** SEWER LOT CONNECTION
- SWLC** STORMWATER LOT CONNECTION
- EASEMENT SETBACK
- S** PROPOSED Ø100 UPVC SEWER LINE
- SW** PROPOSED Ø100 UPVC STORMWATER LINE
- W** PROPOSED Ø100 UPVC WATER LINE
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- EXSW** EXISTING STORMWATER LINE
- EXW** EXISTING WATER LINE

AREA SCHEDULE	
ID	m ²
DECK	12.58
GARAGE	66.70
HOUSE	142.93



1
-
PROPOSED SITE PLAN
1:200

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REV ID DESCRIPTION DATE

REV ID	DESCRIPTION	DATE

PROJECT

PROPOSED HOUSE
 63 MONTROSE ROAD, MONTROSE

REVISION DATE

1/08/2024

SCALE

AS SHOWN @ A3

PAGE NORTH

DA03
 DRAWING
 PROPOSED SITE PLAN

CLIENT

Mark & Mary-ellen Alexander

PROJECT ID

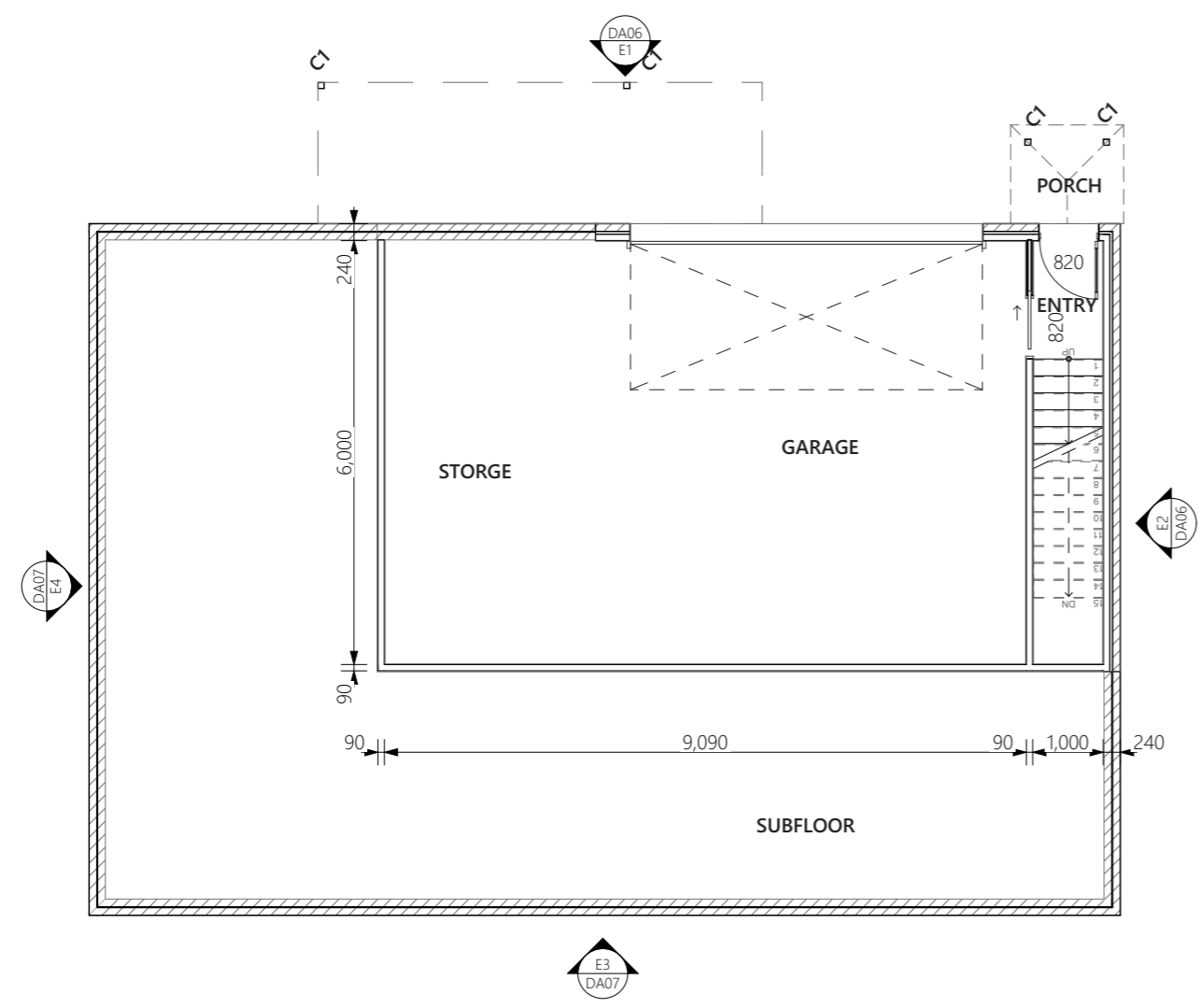
2451

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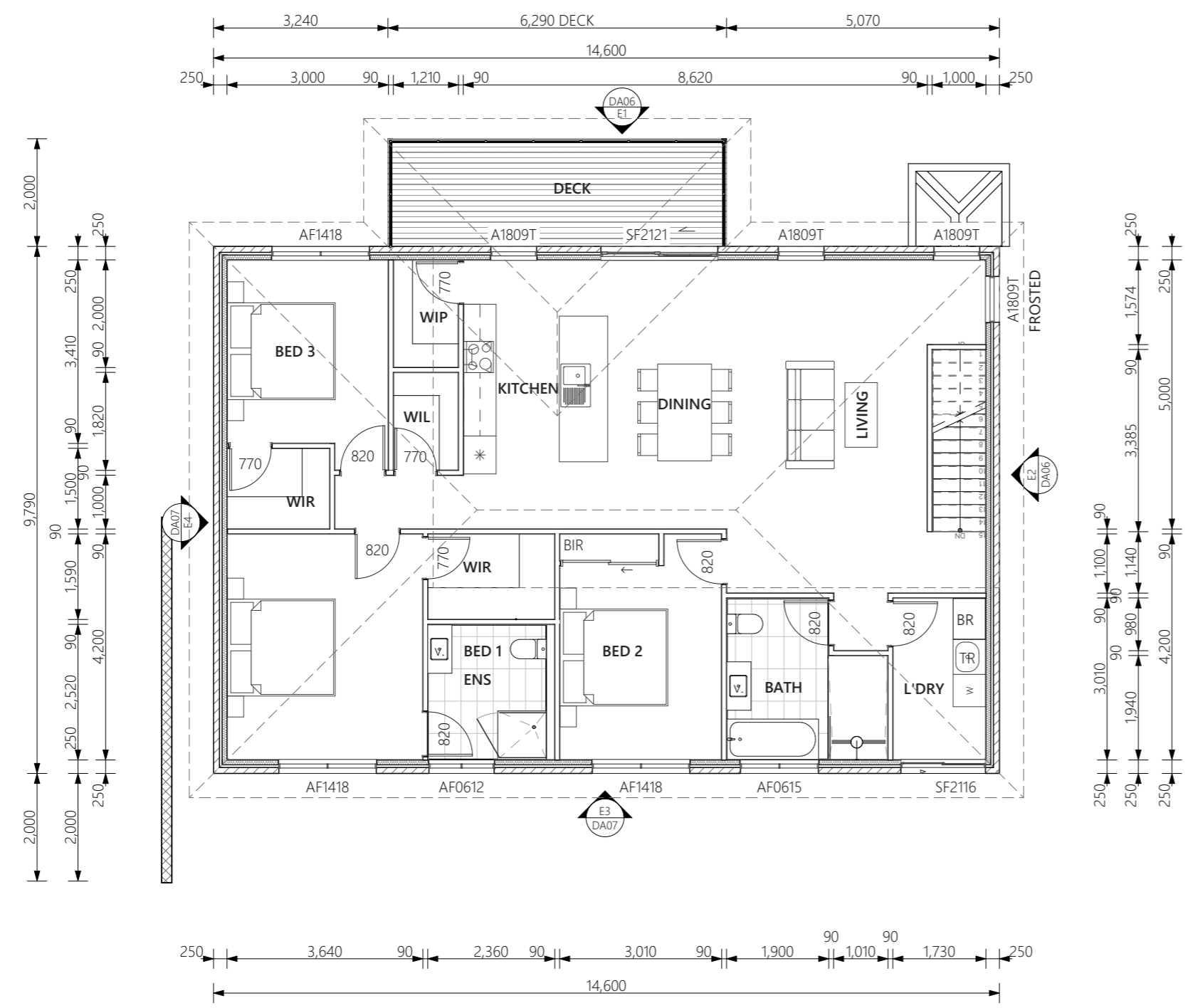
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-
LOWER FLOOR PLAN
1:100

NOTE
ALL DIMENSIONS ARE TO THE WALL FRAME

AJ MAX. SPACING @ 4000-6000mm
NOTE: SOIL CLASS S

FLOOR PLAN LEGEND

- BR** BROOM CLOSET
- BT** BATH TUB
- CT** COOKTOP
- DW** DISHWASHER
- DR** DRYER
- F** FRIDGE
- OC** OVERHEAD CABINETS
- P** PANTRY
- RH** RANGEHOOD
- S** SINK
- SH** SHOWER CABIN
- ST** STORAGE
- TR** LAUNDRY TROUGH
- V** VANITY
- W** WASHING MACHINE



① ————— GROUND FLOOR PLAN
1:100

REV ID	DESCRIPTION	DATE

PROJECT	REVISION	DATE	SCALE
PROPOSED HOUSE 63 MONTROSE ROAD, MONTROSE		1/08/2024	AS SHOWN @ A3

CLIENT	PROJECT ID	CHECKED BY	DRAWN BY
Mark & Mary-ellen Alexander	2451	A.HILL	C.LI

PAGE	NORTH
DA05	

DRAWING	GROUND FLOOR PLAN

MATERIAL & FINISHES

ROOF

CO CUSTOM ORB ROOF SHEET
 COLOUR: *MONUMENT TBC*

WALL

BR BRICK VENEER WALL
 COLOUR: *BRICK SELECTION TBC*

COLUMN

C1 STEEL COLUMN
 PAINT FINISH



1
-
NORTH ELEVATION
1:100



2
-
EAST ELEVATION
1:100



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PROJECT
 PROPOSED HOUSE
 63 MONTROSE ROAD, MONTROSE

CLIENT
 Mark & Mary-ellen Alexander

REVISION

DATE
 1/08/2024

PROJECT ID
 2451

CHECKED BY
 A.HILL

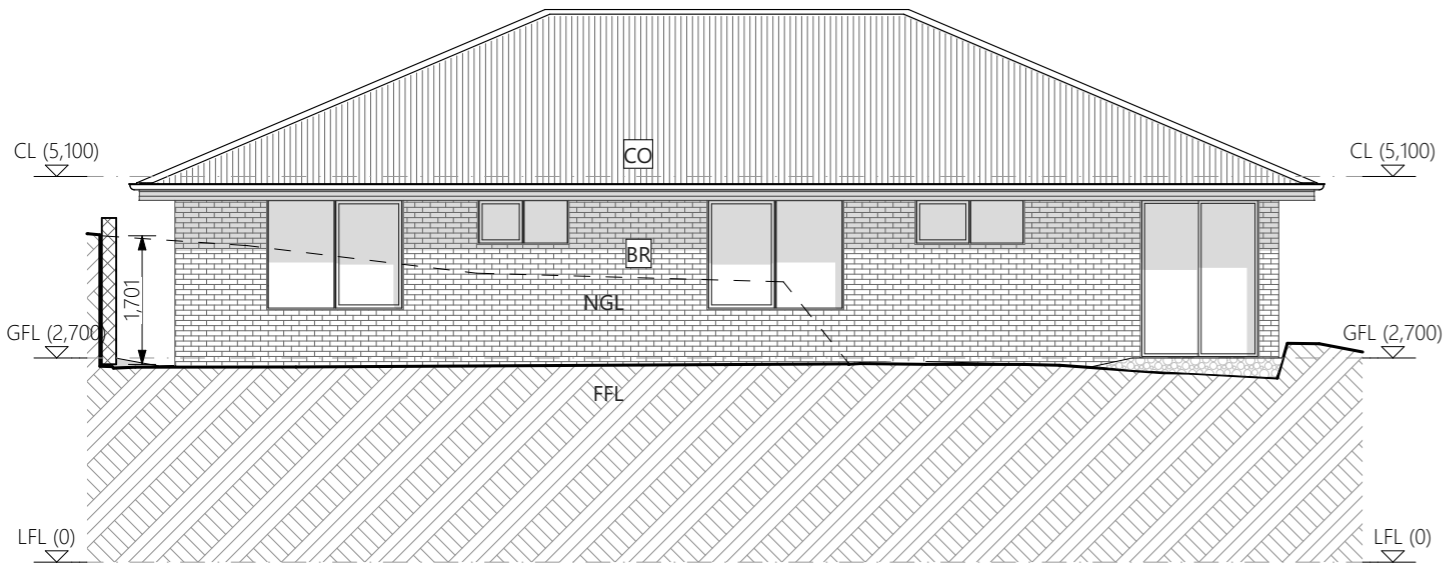
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 DA06

DRAWING
 ELEVATION

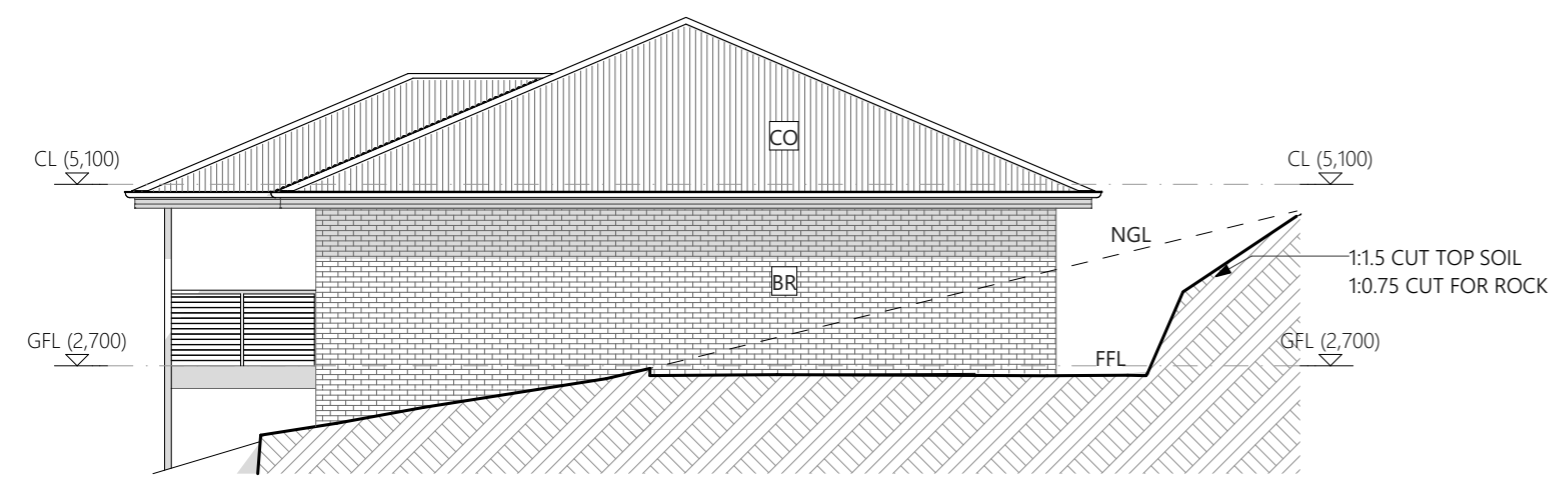
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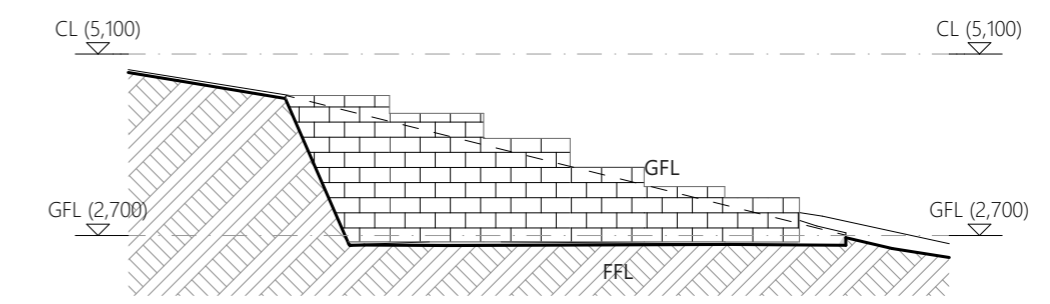
1 - SOUTH ELEVATION
1:100

MATERIAL & FINISHES

- ROOF**
- CO CUSTOM ORB ROOF SHEET
COLOUR: MONUMENT *TBC*
- WALL**
- BR BRICK VENEER WALL
COLOUR: BRICK SELECTION *TBC*
- COLUMN**
- C1 STEEL COLUMN
PAINT FINISH



2 - WEST ELEVATION
1:100



3 - RETAINING WALL ELEVATION
1:100

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 63 MONTROSE ROAD, MONTROSE

CLIENT
 Mark & Mary-Ellen Alexander

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PROJECT ID
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PAGE
 DA07

DRAWING
 ELEVATION

NORTH