

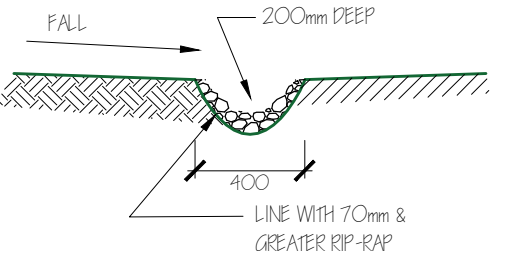
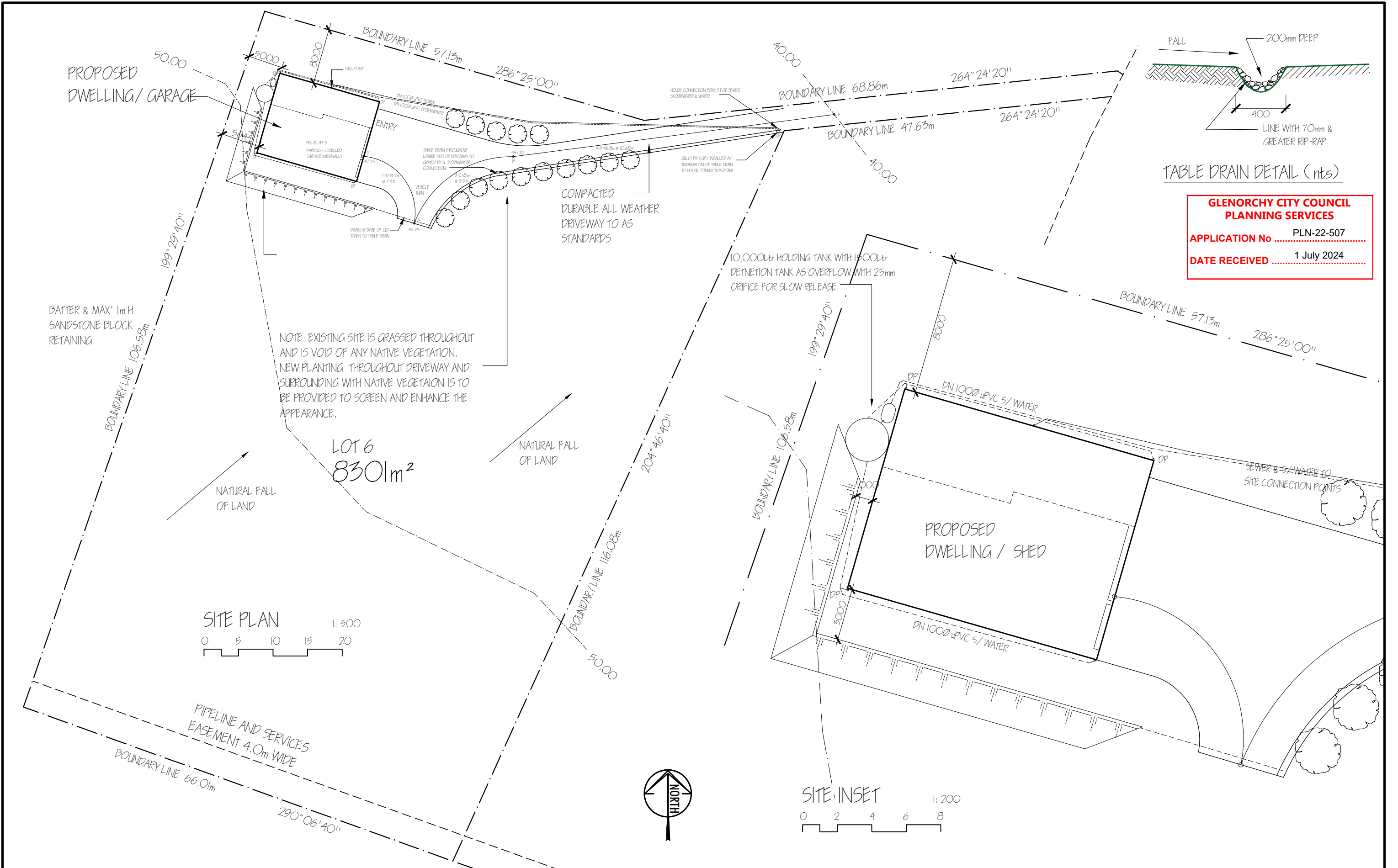
## DEVELOPMENT APPLICATION

<b>APPLICATION NUMBER:</b>	PLN-22-507
<b>PROPOSED DEVELOPMENT:</b>	Single dwelling and outbuilding (Residential)
<b>LOCATION:</b>	104 Black Snake Road Granton
<b>APPLICANT:</b>	G Hills & Partners Architects
<b>ADVERTISING START DATE:</b>	10/07/2024
<b>ADVERTISING EXPIRY DATE:</b>	23/07/2024

Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and the plans are available on Glenorchy City Council's website ([www.gcc.tas.gov.au](http://www.gcc.tas.gov.au)) until **23/07/2024**.

During this time, any person may make representations relating to the applications by letter addressed to the General Manager, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to [gccmail@gcc.tas.gov.au](mailto:gccmail@gcc.tas.gov.au).

Representations must be received by no later than 11.59 pm on **23/07/2024**, or for postal and hand delivered representations, by 5.00 pm on **23/07/2024**.

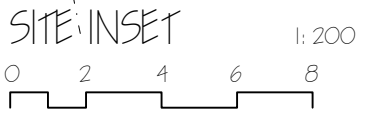


**GLENORCHY CITY COUNCIL  
PLANNING SERVICES**

APPLICATION No ..... PLN-22-507

DATE RECEIVED ..... 1 July 2024

NOTE: EXISTING SITE IS GRASSED THROUGHOUT AND IS VOID OF ANY NATIVE VEGETATION. NEW PLANTING THROUGHOUT DRIVEWAY AND SURROUNDING WITH NATIVE VEGETATION IS TO BE PROVIDED TO SCREEN AND ENHANCE THE APPEARANCE.



**NOTES:**  
 Do not scale the drawings.  
 Verify levels / dimensions on site prior to commencement, report any discrepancies / variations to designer.  
 Materials / workmanship to comply with AS codes, BCA & relevant regulations.

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REVISION NOTES		
No.	Revision/Issue	Date
B	Revised Notations	Apr 24
C	Revised Notations	Jun 24

**G.Hills&Partners ARCHITECTS**

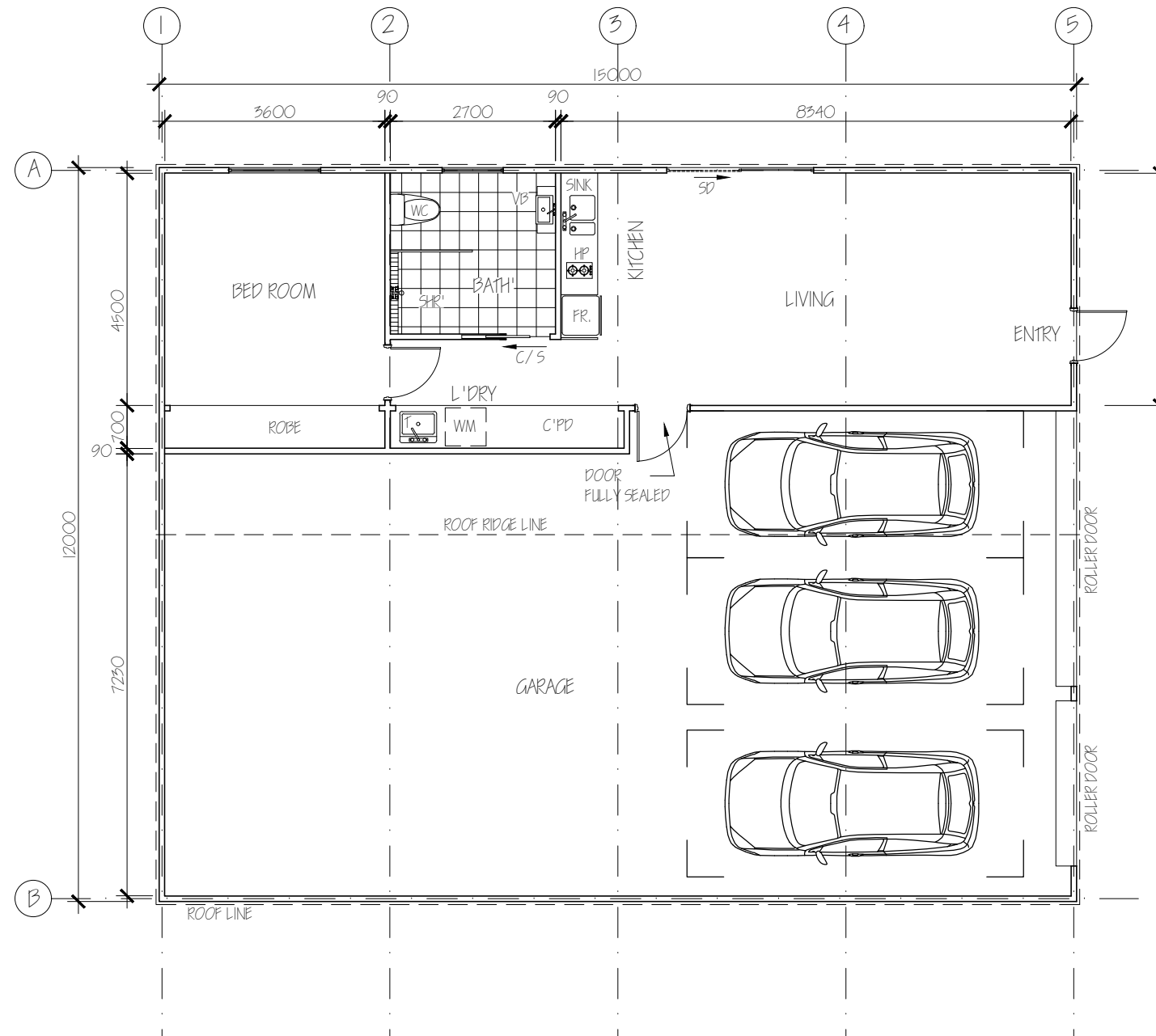
PO Box 910, KINGSTON, TAS 7051  
 P 03 6229 1799 E graham.hills@bigpond.com  
 Building Designer Accreditation No. CC2367B

Project Name and Address  
**PROPOSED NEW DWELLING & GARAGE**  
 104 Black Snake Rd, GRANTON

Drawing Title  
**SITE PLAN**

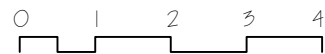
Client  
**S. & G. Moles**

DRAWING TYPE Design Dev' Drawings	PROJECT No. <b>22279</b>
Date <b>1-Jul-24</b>	SHEET <b>DD01</b>
Scale SHOWN	Size <b>A3</b>
CHECKED G. HILLS	DRAWN M. Kamankesh



**PROPOSED FLOOR PLAN**

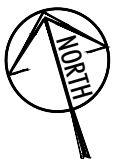
1:100



**AREA:**

Habitable Area	= 65.0m <sup>2</sup>
Shed/ Garage	= 115.0m <sup>2</sup>
Total	= 180.0m <sup>2</sup>

**NOTE:**  
SHED CONSTRUCTION DETAILS BY OTHERS.  
EXTERNAL COLOURS - "MANGROVE - LRV 17%"



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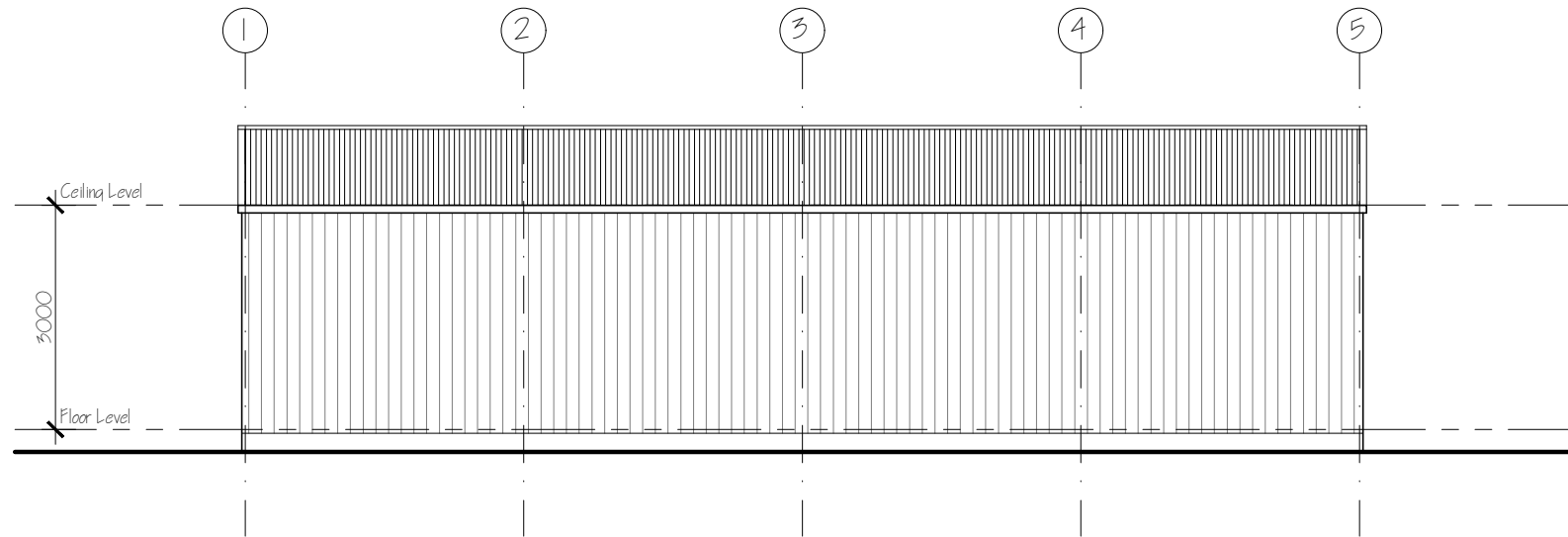
PO Box 910, KINGSTON, TAS 7051  
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Project Name and Address  
**PROPOSED NEW DWELLING & GARAGE**  
104 Black Snake Rd, GRANTON

Drawing Title  
**PROPOSED FLOOR PLAN**  
Client  
**S. & G. Moles**

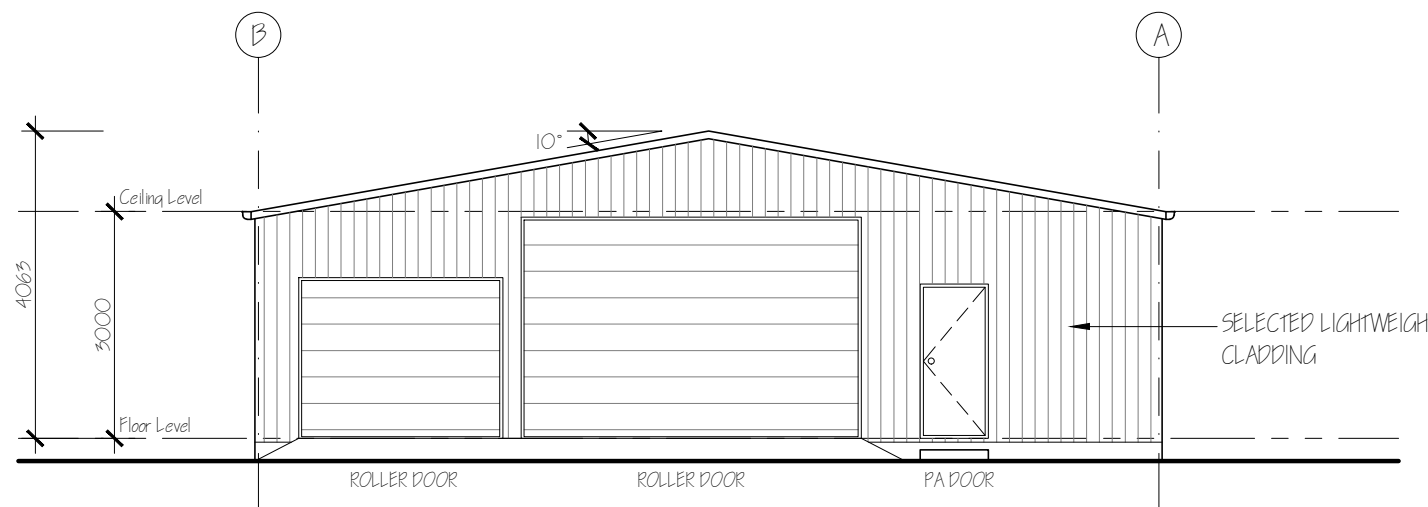
DRAWING TYPE Design Dev' Drawings	PROJECT No. <b>22279</b>
Date <b>1-Jul-24</b>	SHEET <b>DD02</b>
Scale <b>1:100</b>	CHECKED G. HILLS
Size <b>A3</b>	DESIGN G. HILLS
	DRAWN M. Kamankesh

**SOUTH ELEVATION** 1:100



**NOTE:**  
SHED CONSTRUCTION DETAILS BY OTHERS.  
  
EXTERNAL COLOURS - "MANGROVE" LRV - 17%

**EAST ELEVATION** 1:100



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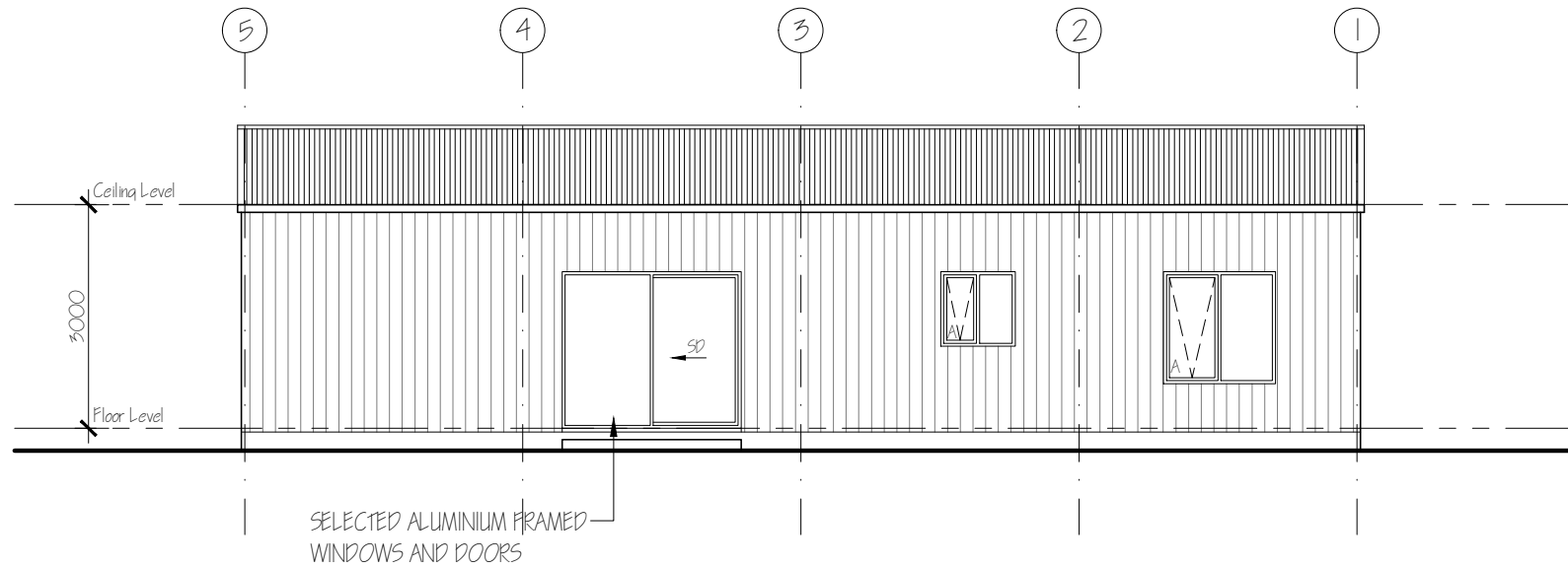
**G.Hills&Partners ARCHITECTS**

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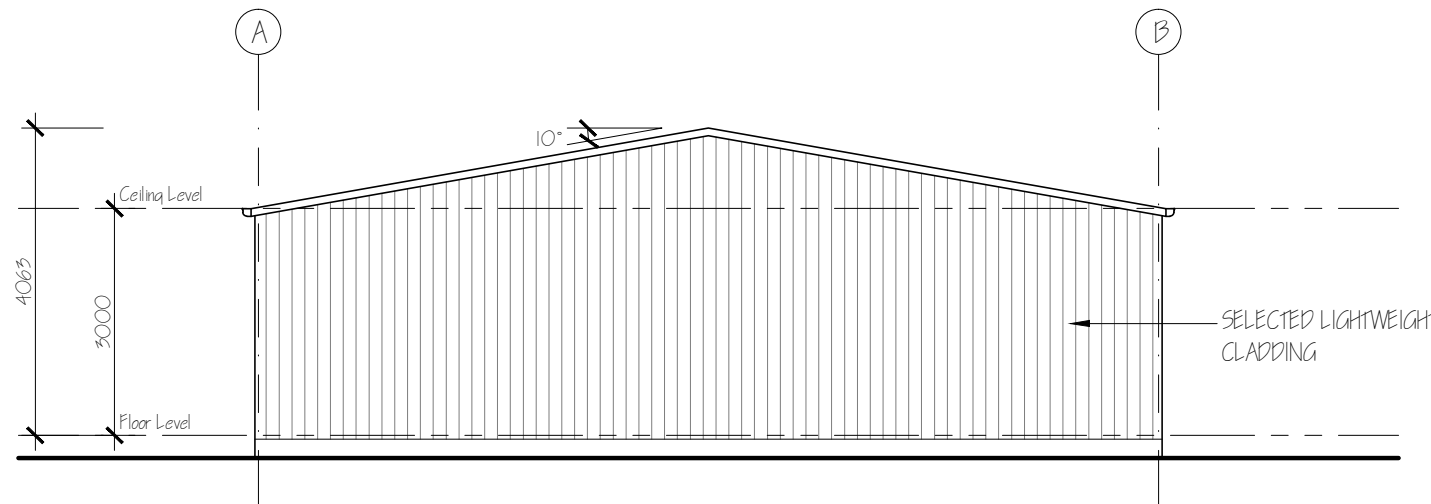
Project Name and Address  
**PROPOSED NEW DWELLING & GARAGE**  
  
104 Black Snake Rd, GRANTON

Drawing Title  
**PROPOSED ELEVATIONS 1**  
  
Client  
**S. & G. Moles**

DRAWING TYPE Design Dev' Drawings	PROJECT No. <b>22279</b>
Date <b>1-Jul-24</b>	SHEET <b>DD03</b>
Scale <b>1:100</b>	CHECKED G. HILLS
Size <b>A3</b>	DESIGN G. HILLS
	DRAWN M. Kamankesh



**NORTH ELEVATION** 1:100  
 0 1 2 3 4



**NOTE:**  
 SHED CONSTRUCTION DETAILS BY OTHERS.  
 EXTERNAL COLOURS - "MANGROVE" LRV - 17%

**WEST ELEVATION** 1:100  
 0 1 2 3 4

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 P 03 6229 1799 E graham.hills@bigpond.com  
 Building Designer Accreditation No. CC2367B

Project Name and Address  
**PROPOSED NEW DWELLING & GARAGE**  
 104 Black Snake Rd, GRANTON

Drawing Title  
**PROPOSED ELEVATIONS 2**  
 Client  
**S. & G. Moles**

DRAWING TYPE Design Dev' Drawings	PROJECT No. <b>22279</b>
Date <b>1-Jul-24</b>	SHEET <b>DD04</b>
Scale <b>1:100</b>	CHECKED G. HILLS
Size <b>A3</b>	DESIGN G. HILLS
	DRAWN M. Kamankesh