

## DEVELOPMENT APPLICATION

<b>APPLICATION NUMBER:</b>	PLN-24-090
<b>PROPOSED DEVELOPMENT:</b>	Single Dwelling (Residential)
<b>LOCATION:</b>	385 Brooker Highway Lutana
<b>APPLICANT:</b>	Wilson Homes Tasmania Pty Ltd
<b>ADVERTISING START DATE:</b>	24/07/2024
<b>ADVERTISING EXPIRY DATE:</b>	06/08/2024

Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and the plans are available on Glenorchy City Council's website ([www.gcc.tas.gov.au](http://www.gcc.tas.gov.au)) until **06/08/2024**.

During this time, any person may make representations relating to the applications by letter addressed to the General Manager, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to [gccmail@gcc.tas.gov.au](mailto:gccmail@gcc.tas.gov.au).

Representations must be received by no later than 11.59 pm on **06/08/2024**, or for postal and hand delivered representations, by 5.00 pm on **06/08/2024**.

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**BUILDING INFORMATION**

GROUND FLOOR TOP OF WALL HEIGHT(S): 2595mm  
 (CEILING HEIGHT 45mm LOWER THAN TOP OF WALL)  
 ROOF PITCH (U.N.O.): 23.0°  
 ELECTRICITY SUPPLY: SINGLE PHASE  
 GAS SUPPLY: NONE

ROOF MATERIAL: SHEET METAL  
 ROOF COLOUR: N/A

WALL MATERIAL: BRICK VENEER, CLADDING

**INSULATION**

INSULATION TO BE INSTALLED IN ACCORDANCE WITH N.C.C. AND RELEVANT AUSTRALIAN STANDARDS

SARKING UNDER ROOFING  
 CEILING: R4.1 BATTS (EXCL. GARAGE, ALFRESCO & PATIO)

EXTERIOR WALLS: R2.0 BATTS (EXCL. GARAGE)  
 WALL WRAP TO ENTIRE HOUSE  
 INTERIOR WALLS: R2.0 BATTS WHERE SHOWN ON PLANS AND WHERE ADJACENT TO GARAGE / SUBFLOOR / ROOF SPACES / SKYLIGHTS

BIAX SLAB  
 FLOOR INSULATION: R2.0 BATTS TO FLOOR SPACES ABOVE PORCH / ALFRESCO / GARAGE AREAS, IF APPLICABLE

**SITE & ENGINEERING INFORMATION**

DESIGN WIND CLASSIFICATION: N2  
 CLIMATE ZONE: ZONE 7 - COOL TEMPERATE  
 WIND REGION: A  
 TERRAIN CATEGORY: TC2.5  
 SHIELDING FACTOR: PS - PARTIAL SHIELDING  
 TOPOGRAPHIC CLASSIFICATION: T1  
 DESIGN WIND SPEED: 40 m/sec

SITE CLASSIFICATION: M  
 SLAB CLASSIFICATION: TBC

SLAB TO BE IN ACCORDANCE WITH AS 2870. REFER TO ENGINEER'S DRAWINGS FOR ALL SLAB DETAILS.

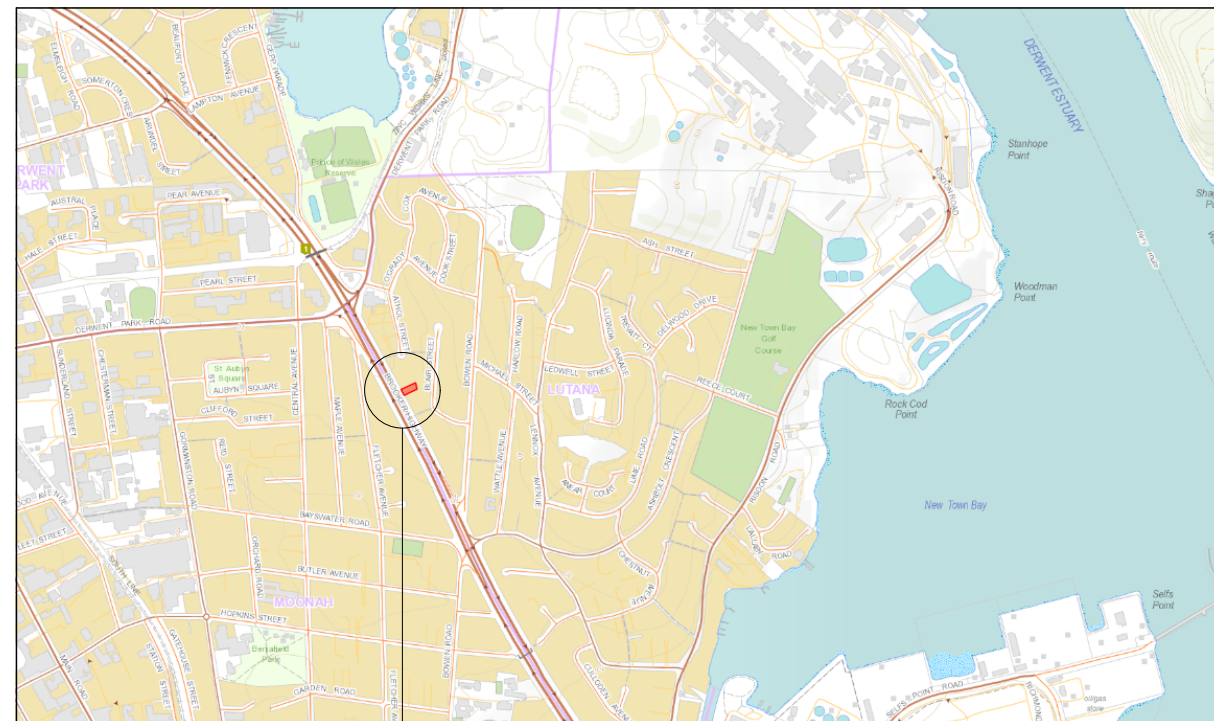
PROVIDE BRICK CONTROL JOINTS IN ACCORDANCE WITH N.C.C.

ALL TIMBER FRAMING TO BE DESIGNED TO AS1684-2010

**GLENORCHY CITY COUNCIL  
PLANNING SERVICES**

APPLICATION No. **PLN-24-090**

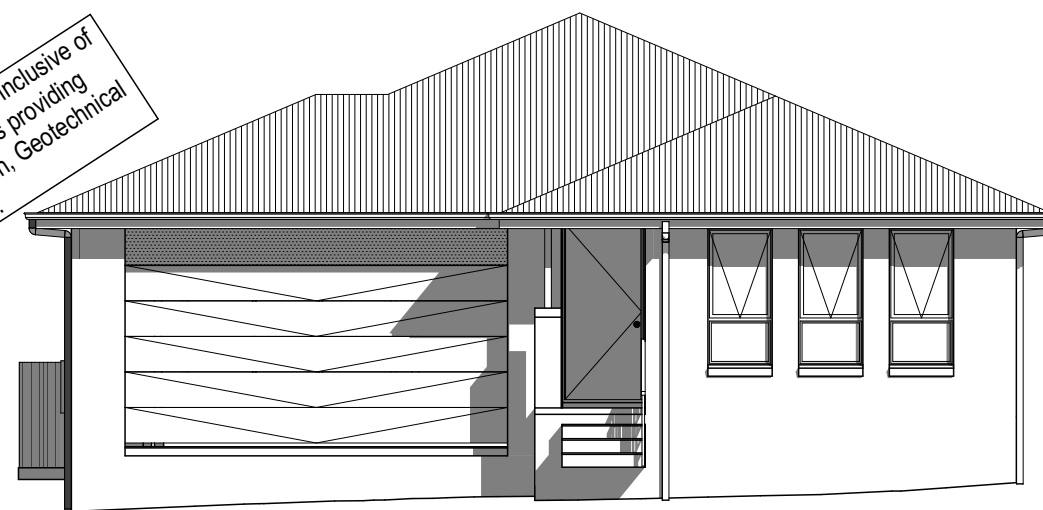
DATE RECEIVED **16/07/2024**



LOCATION MAP

SITE LOCATION

This Plan has been prepared prior to the receipt of one or more of the following documents: Certificate of Title inclusive of lot specific zoning, easement and covenant documents, BAL report and rating, approved subdivision plans providing crossover locations and service connection points, power and communications connection point information, Geotechnical Site Investigation, Contour Survey, Dial Before You Dig Information, Planning Approval.



**PRELIMINARY PLAN SET**

No.	AMENDMENT	SHEET	DATE	DRAWN	CHECK
4	PRELIMINARY PLAN SET - PLANNING RFI 09.07.2024	2,3	2024.07.15	RT2	-
3	PRELIMINARY PLAN SET - PLANNING RFI 23.04.2024	ALL	2024.06.28	RT2	-
2	PRELIMINARY PLAN SET - INITIAL ISSUE	ALL	2024.04.04	HMI	RCS

THE OWNERS ACKNOWLEDGE THAT THESE CONTRACT PLANS MAY NOT REFLECT ALL THE SELECTIONS THAT HAVE BEEN MADE OR CHANGES REQUESTED. THE OWNERS AGREE THAT FOLLOWING THE COLOUR SELECTIONS VARIATION OR UPDATING OF PLANS, THEY WILL BE PROVIDED WITH CONSTRUCTION PLANS FOR SIGNATURE PRIOR TO COMMENCEMENT OF CONSTRUCTION.

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

THIS PLAN ACCEPTED BY:

-----

PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE: \_\_\_\_\_

DATE: \_\_\_\_\_

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REVISION	DRAWN
1 DRAFT SALES PLAN - CT1	JOL 2024.01.29
2 PRELIM PLANS - INITIAL ISSUE	HMI 2024.04.04
3 PRELIM PLANS - PLANNING RFI 23.04.2024	RT2 2024.06.28
4 PRELIM PLANS - PLANNING RFI 09.07.2024	RT2 2024.07.15

CLIENT: ANUSHA & TEJINDER SINGH VIRDI  
 ADDRESS: 385 BROOKER HIGHWAY, LUTANA TAS 7009  
 LOT / SECTION / CT: 75 / - / 55230  
 COUNCIL: GLENORCHY COUNCIL

HOUSE DESIGN: HAVANA  
 FACADE DESIGN: CLASSIC  
 SHEET TITLE: COVER SHEET  
 SHEET No.: 1 / 13

HOUSE CODE: H-WATHAV10SA  
 FACADE CODE: F-WATHAV10CLASB  
 SCALES:

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713925

ZONE: 8.0 GENERAL RESIDENTIAL  
16km DISTANCE FROM BREAKING SALT WATER

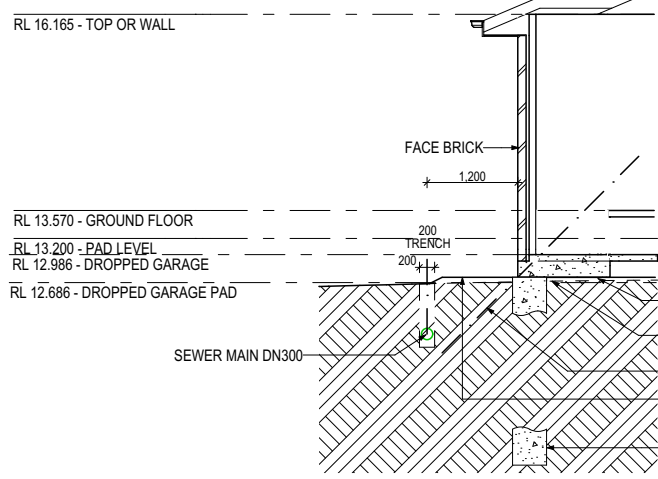
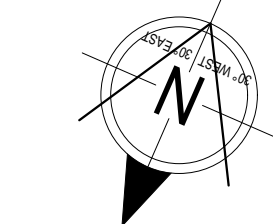
REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:  
- SUSTAINABILITY REQUIREMENTS  
- SITE CLASSIFICATION  
- GENERAL BUILDING INFORMATION

WIND CLASSIFICATION	N2
WITHIN 1 KM. OF BREAKING SALT WATER	NO
WITHIN 100 M. OF SALT WATER	NO
MINIMUM AHD FLOOR LEVEL APPLICABLE	NO
SURVEY AREA	NEW
LATITUDE	0° 00' 00" S
LONGITUDE	0° 00' 00" E

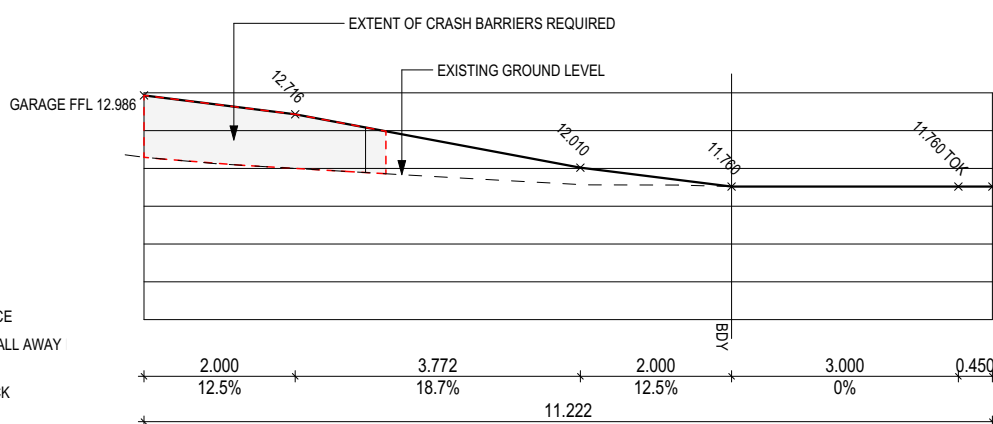
APPROX. IMPORT/EXPORT FILL	
CUT VOLUME	91.14m³
FILL VOLUME	56.21m³
DIFFERENCE	34.93m³
TONNAGE: 34.93m³ x 2.25 = 78.59t 79 TONNES OF EXPORT FILL	

**LOT SIZE:** 635m²  
**HOUSE (COVERED AREA):** 241.67m²  
**SITE COVERAGE:** 38.05%

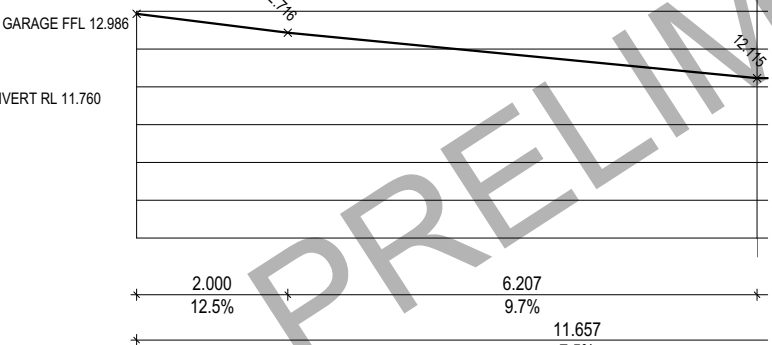
DEB AREA	
DROPPED EDGE BEAM AREA	
AREA (m²)	14.53



**SECTION B-B**  
Scale: 1:100



**DRIVEWAY DETAILS**  
Scale: 1:100



**DRIVEWAY DETAILS**  
Scale: 1:100

**GLENORCHY CITY COUNCIL  
PLANNING SERVICES**  
APPLICATION No PLN-24-090  
DATE RECEIVED 16/07/2024

**NOTE:** SW alignment is per DBYD (assumed redundant or removed) approximate only. (As per contour report dated 03/06/2024)

**NOTE:** SW alignment is per DBYD information only, and should be considered approximate only. (As per contour report dated 14/06/2024)

24m² PRIVATE OPEN SPACE @ MAX 10% GRADIENT. COMPLIANT WITH 8.4.3 (A2)

**NOTE:** SW alignment is per Services Locations by UDM 14-06-2024  
Sewer Inv: 13.43

**NOTE:** Sewer main alignment is per Services Locations by UDM 14-06-2024

**NOTE:** UDM advised that there appears to be a buried SW pit at the this change of direction 14-06-2024

**NOTE:** Sewer main alignment is per Services Locations by UDM 14-06-2024

**NOTE:** SW alignment is per Services Locations by UDM 14-06-2024

THIS PLAN ACCEPTED BY:  
-----  
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CLIENT:  
**ANUSHA & TEJINDER SINGH VIRDI**  
ADDRESS:  
**385 BROOKER HIGHWAY, LUTANA TAS 7009**  
LOT / SECTION / CT:  
**75 / - / 55230**  
COUNCIL:  
**GLENORCHY COUNCIL**

HOUSE DESIGN:  
**HAVANA**  
FACADE DESIGN:  
**CLASSIC**  
SHEET TITLE:  
**SITE PLAN**

HOUSE CODE:  
**H-WATHAV10SA**  
FACADE CODE:  
**F-WATHAV10CLASB**  
SHEET No.:  
**2 / 13**  
SCALES:  
**1:200, 1:100**

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**713925**

**BROOKER HIGHWAY**

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File Location: P:\8. Drafting\Job Files\713925 - Virdi\Plans\713925 - Virdi\Plans\713925 - Virdi - AC21 - 2024.07.12.dwg  
Template Version: 2.1.040

ALL VEGETATION OUTSIDE THE BUILDING ZONE WILL BE MAINTAINED.

OWNER TO STABILISE THE SITE ON COMPLETION OF THE BUILD WITH TURF LAWNS, GRASS SEEDS, NATIVE GROUND COVERS AND/ OR MULCH SPREAD TO A DEPTH OF 75-100mm

THE FOLLOWING IS A STANDARD APPROACH. SEDIMENT AND EROSION CONTROL MEASURES WILL BE REVIEWED PRIOR TO COMMENCING WORK AND INSTALLED BASED ON THE OUTCOME OF THAT REVIEW.

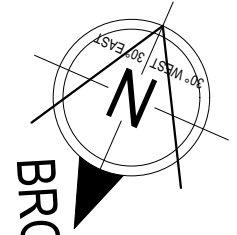
**NOTES:**

1. ALL EROSION AND SEDIMENT CONTROL STRUCTURES TO BE INSPECTED EACH WORKING DAY AND MAINTAINED IN GOOD WORKING ORDER.
2. ALL GROUND COVER VEGETATION OUTSIDE THE IMMEDIATE BUILDING AREA TO BE PRESERVED DURING THE BUILDING PHASE.
3. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSTALLED PRIOR TO COMMENCEMENT OF MAJOR EARTHWORKS.
4. STOCKPILES OF CLAYEY MATERIAL TO BE COVERED WITH AN IMPERVIOUS SHEET.
5. ROOF WATER DOWNPIPES TO BE CONNECTED TO THE PERMANENT UNDERGROUND STORMWATER DRAINAGE SYSTEM AS SOON AS PRACTICAL AFTER THE ROOF IS LAID.
6. DIVERSION DRAINS ARE TO BE CONNECTED TO A LEGAL DISCHARGE POINT (COUNCIL STORMWATER SYSTEM, WATERCOURSE OR ROAD DRAIN).
7. SEDIMENT RETENTION TRAPS INSTALLED AROUND THE INLETS TO THE STORMWATER SYSTEM TO PREVENT SEDIMENT & OTHER DEBRIS BLOCKING THE DRAINS.

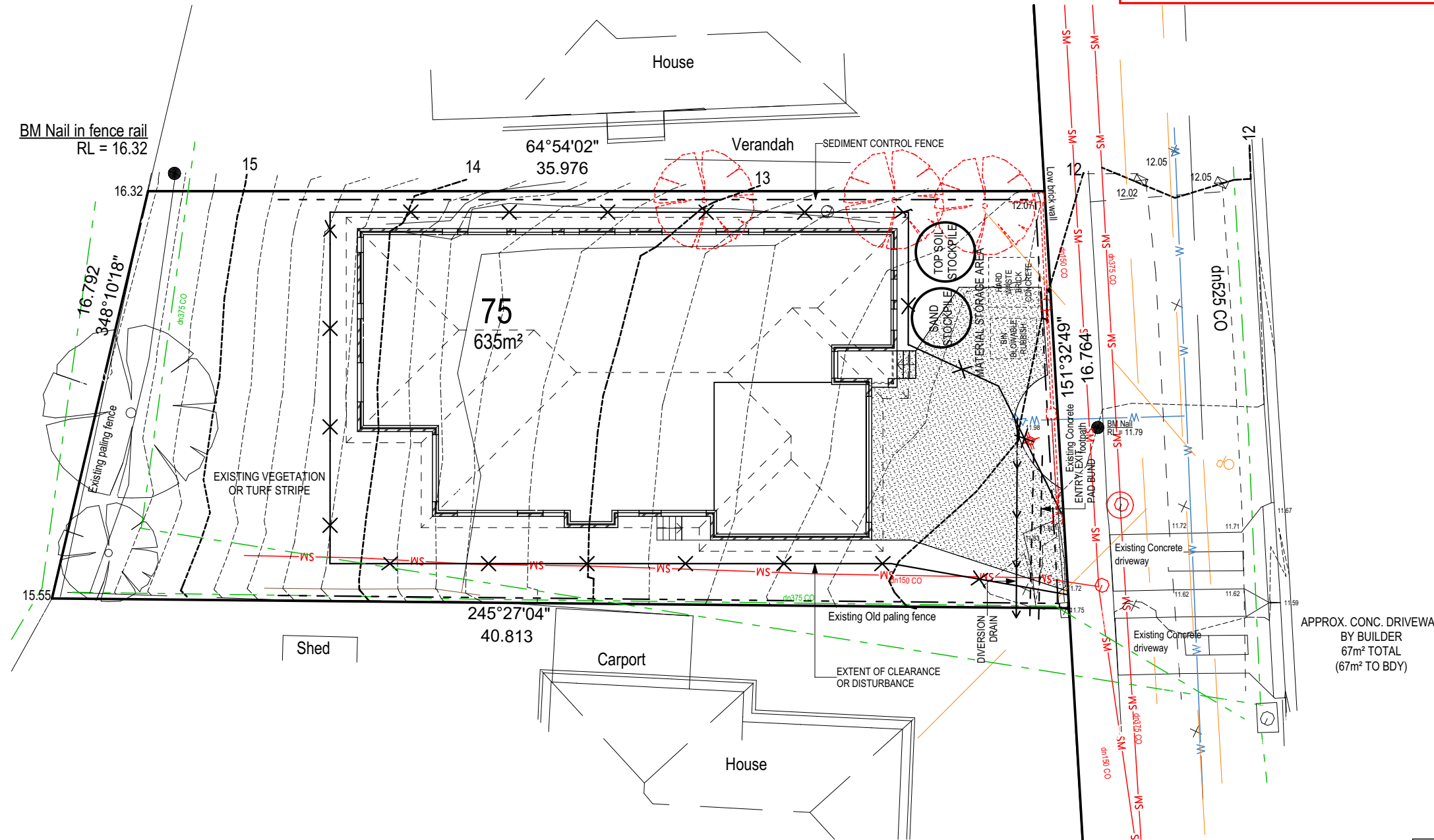
ALL RUNOFF AND SEDIMENT CONTROL STRUCTURES WILL BE INSPECTED EACH WORKING DAY AND MAINTAINED IN A FUNCTIONAL CONDITION.

ALL VEGETATION OUTSIDE THE BUILDING ZONE WILL BE MAINTAINED.

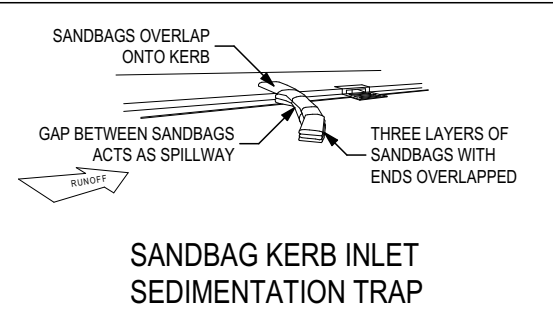
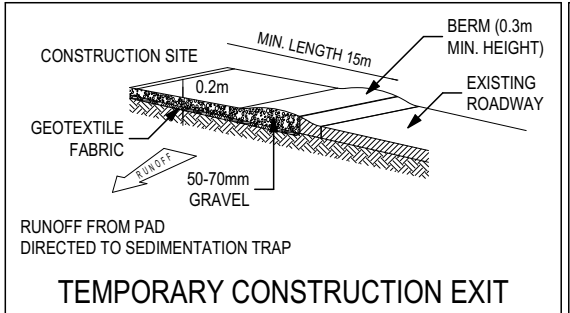
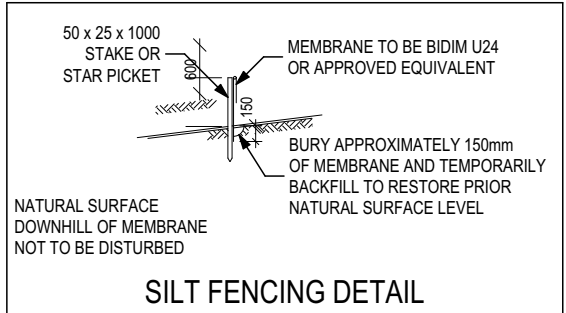
**GLENORCHY CITY COUNCIL  
PLANNING SERVICES**  
APPLICATION No. PLN-24-090  
DATE RECEIVED 16/07/2024



**BROOKER HIGHWAY**



APPROX. CONC. DRIVEWAY BY BUILDER 67m² TOTAL (67m² TO BDY)



THIS PLAN ACCEPTED BY: \_\_\_\_\_  
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DATE: \_\_\_\_\_

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ADDRESS:	385 BROOKER HIGHWAY, LUTANA TAS 7009
LOT / SECTION / CT:	75 / - / 55230
COUNCIL:	GLENORCHY COUNCIL

HOUSE DESIGN:	HAVANA
FACADE DESIGN:	CLASSIC
SHEET TITLE:	SOIL & WATER MANAGEMENT PLAN
SHEET No.:	3 / 13

HOUSE CODE:	H-WATHAV10SA
FACADE CODE:	F-WATHAV10CLASB
SCALES:	1:200

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**713925**

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:  
 - SUSTAINABILITY REQUIREMENTS  
 - SITE CLASSIFICATION  
 - GENERAL BUILDING INFORMATION

**TOTAL FLOOR AREAS**

CDP CHARGED DOWNPIPE DIRECTED TO TANK 39.43  
 SDP STANDARD DOWNPIPE DIRECTED TO STORMWATER DISCHARGE 199.24  
 PORCH 3.00  
**241.67 m<sup>2</sup>**

REFER 'BRICK COURSING AND WINDOW FLASHING DETAIL' AND 'W-BRIC-001 FOR BRICK COURSING & WINDOW FLASHING DETAILS.'

ALL GROUND FLOOR BULKHEAD AND SQUARE SET OPENING FRAMES TO BE 2155 ABOVE FFL UNLESS NOTED OTHERWISE

REFER TO WINDOW & DOOR SCHEDULES FOR FULL DETAILS OF ALL WINDOWS AND DOORS

FINAL WINDOW AND EXTERIOR DOOR LOCATIONS MAY BE ADJUSTED ON SITE TO SUIT BRICKWORK GAUGE

ALL STAIR TRENDS TO PROVIDE A MINIMUM SLIP RESISTANCE TO MEET NCC REQUIREMENTS

UNLESS NOTED OTHERWISE ALL ROOMS ARE REFERENCED AS FOLLOWS:



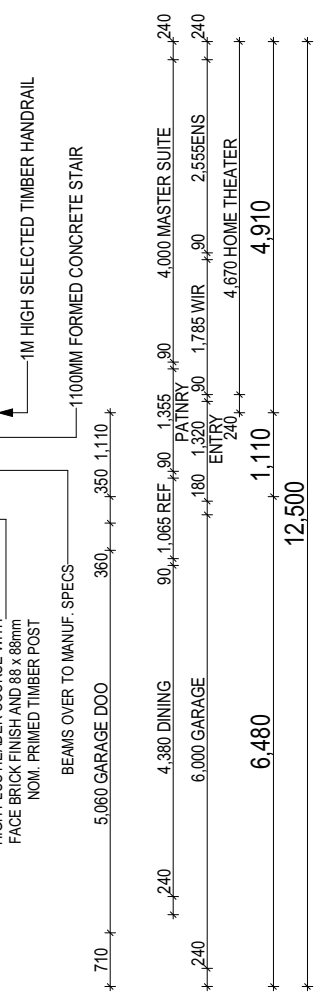
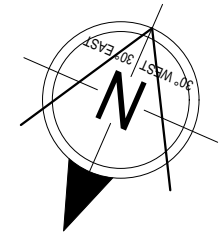
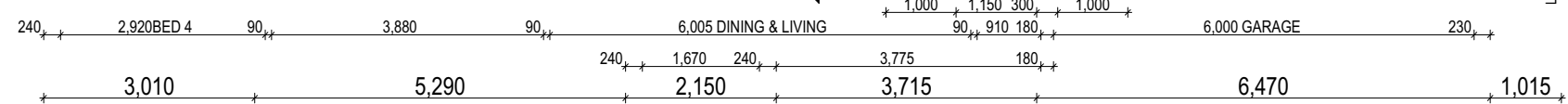
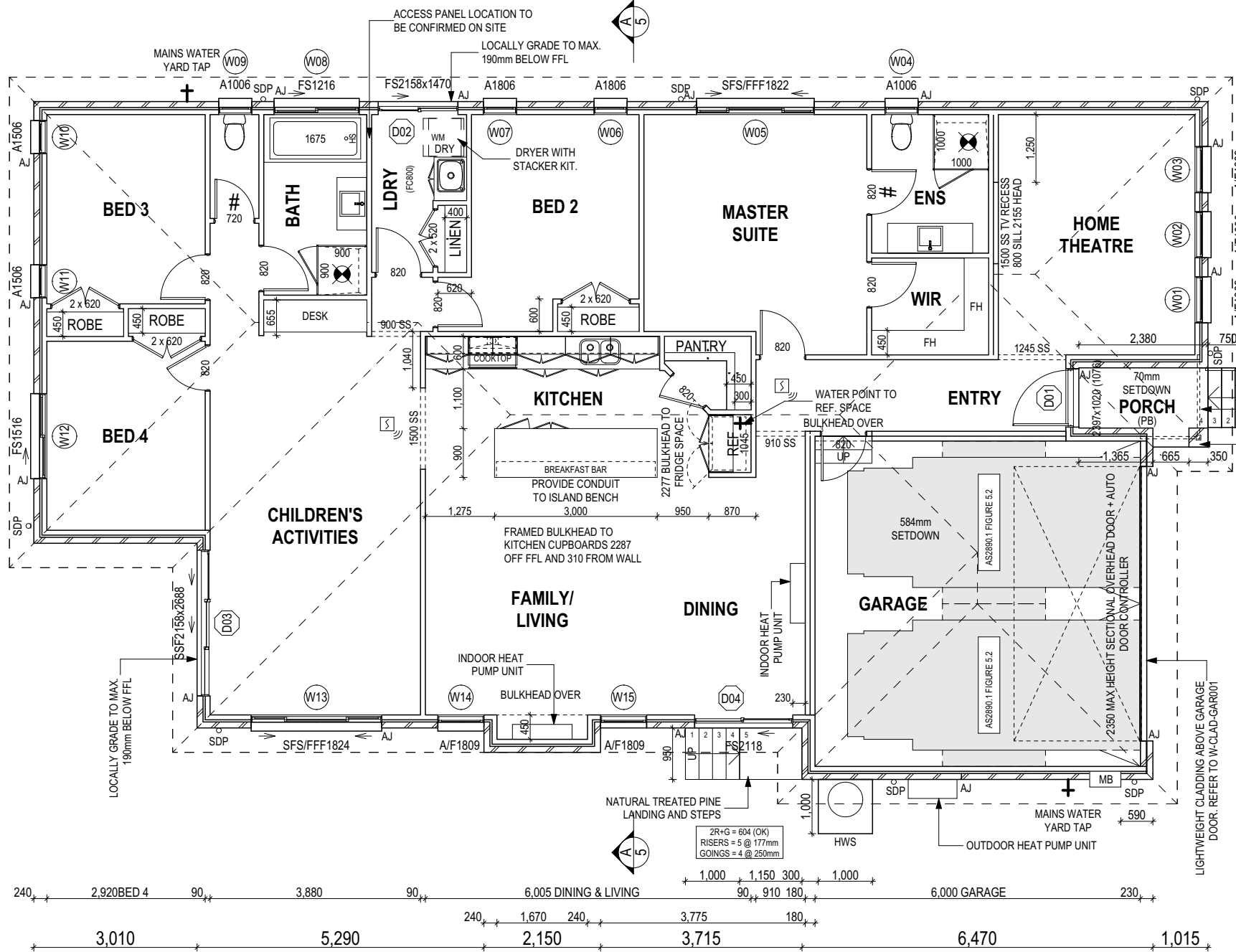
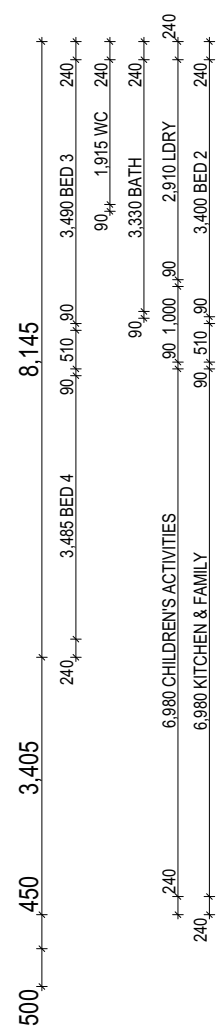
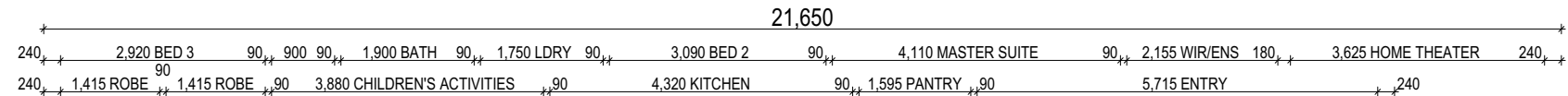
**GLENORCHY CITY COUNCIL PLANNING SERVICES**

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**FLOOR PLAN LEGEND**

- HS / WS HOB SPOUT / WALL SPOUT
- [Symbol] FACE BRICK / COMMON BRICK
- [Symbol] RENDER
- [Symbol] SOUND INSULATION
- AJ BRICK ARTICULATION JOINT
- 3D DENOTES DRAWER SIDE
- [Symbol] MECHANICAL VENTILATION
- L.B.W LOAD BEARING WALL
- PB PLASTERBOARD
- FC FIBRE CEMENT
- [Symbol] THIS DOOR OPENS FIRST
- [Symbol] SMOKE ALARM
- # LIFT OFF HINGE
- † WATER POINT
- [Symbol] FLOOR WASTE
- [Symbol] CLEAN OUT POINT
- [Symbol] GAS BAYONET



SHAMPOO RECESS SIZE	WIDTH	HEIGHT
"SMALL"	470 x 380mm	548mm
"MEDIUM"	800 x 380mm	878mm
"LARGE"	1500 x 380mm	1578mm

REFER WILSON HOMES' DETAIL G-WETA-TILE01 FOR FURTHER DETAIL PRIOR TO INSTALLATION.

THIS PLAN ACCEPTED BY:

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SIGNATURE:

DATE:

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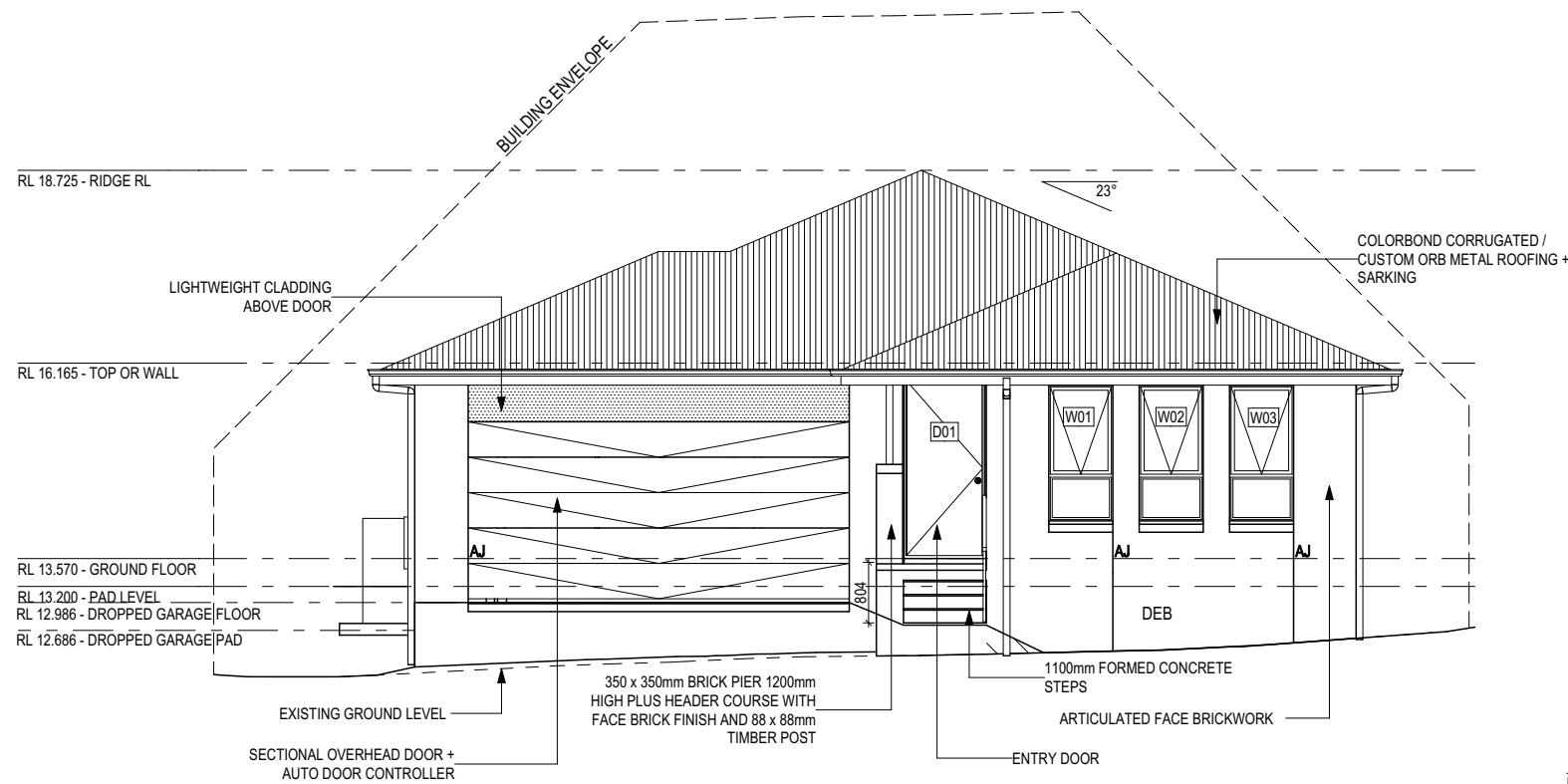
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HOUSE DESIGN:	HAVANA
FACADE DESIGN:	CLASSIC
SHEET TITLE:	GROUND FLOOR PLAN
SHEET No.:	4 / 13

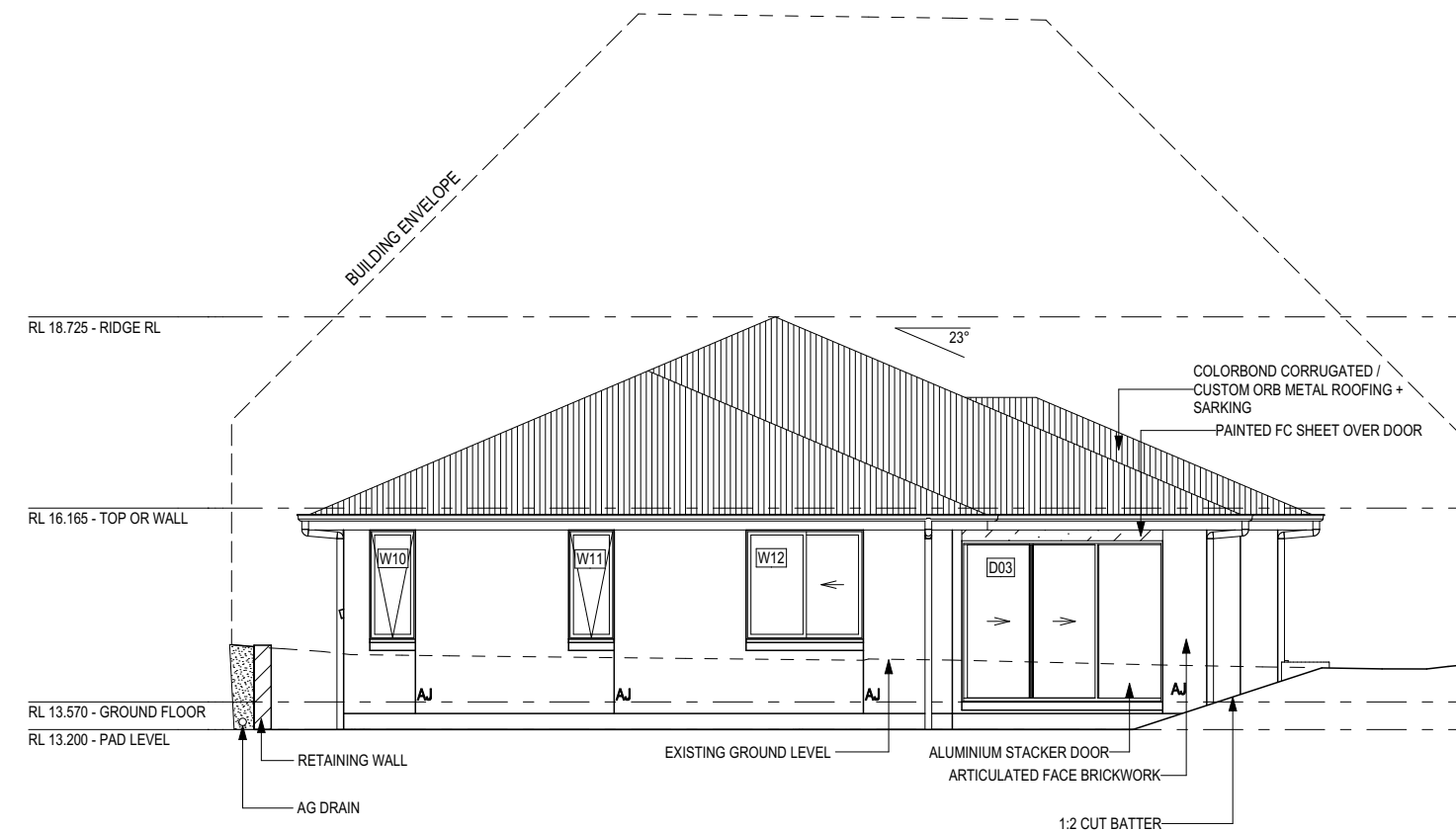
HOUSE CODE:	H-WATHAV10SA
FACADE CODE:	F-WATHAV10CLASB
SCALES:	1:100

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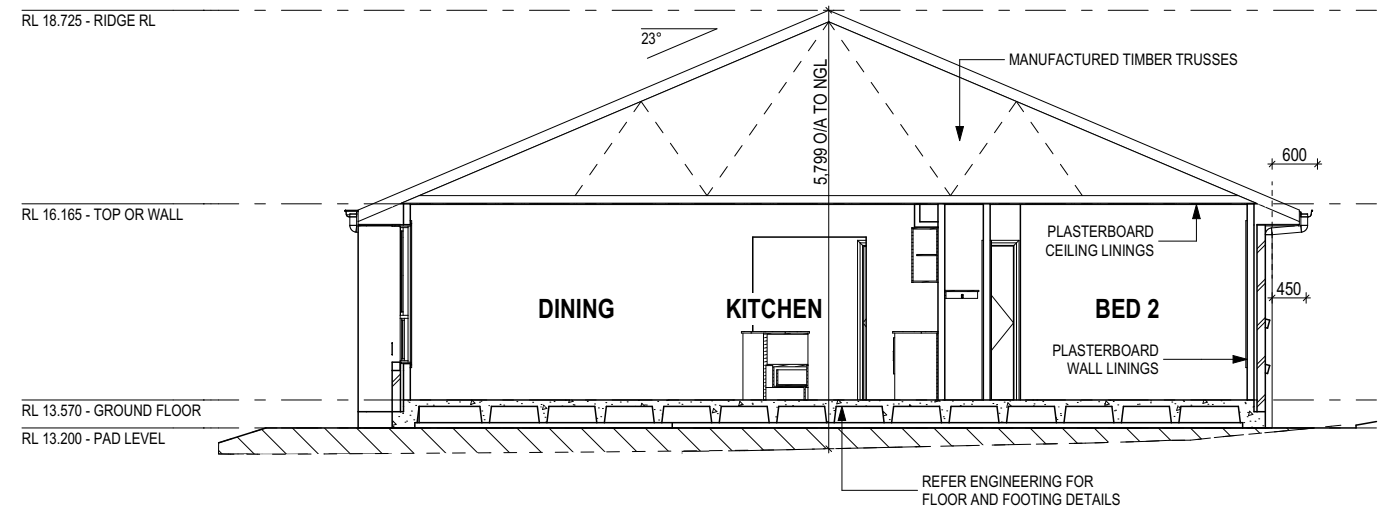
**713925**



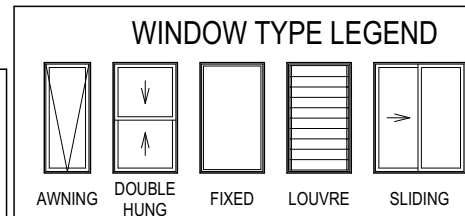
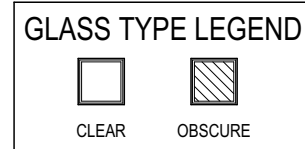
**WEST ELEVATION**  
Scale: 1:100



**EAST ELEVATION**  
Scale: 1:100



**SECTION A-A**  
Scale: 1:100



THIS PLAN ACCEPTED BY:

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SIGNATURE:

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DATE:

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PLANNING SERVICES**

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REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

SH = SNAP HEADER SILL

BEDROOM WINDOW OPENINGS ABOVE 2m OFF THE SURFACE BENEATH TO BE RESTRICTED AS REQUIRED BY NCC 11.3.7 (VOLUME TWO)

ROOMS OTHER THAN BEDROOM WINDOW OPENINGS ABOVE 4m OFF THE SURFACE BENEATH TO BE RESTRICTED AS REQUIRED BY NCC 11.3.7 (VOLUME TWO)

REFER TO THE FOLLOWING DETAILS:  
BRICK COURSING **W-BRIC-001**

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1 DRAFT SALES PLAN - CT1	JOL 2024.01.29
2 PRELIM PLANS - INITIAL ISSUE	HMI 2024.04.04
3 PRELIM PLANS - PLANNING RFI 23.04.2024	RT2 2024.06.28
4 PRELIM PLANS - PLANNING RFI 09.07.2024	RT2 2024.07.15

CLIENT:  
**ANUSHA & TEJINDER SINGH VIRDI**

ADDRESS:  
**385 BROOKER HIGHWAY, LUTANA TAS 7009**

LOT / SECTION / CT:  
**75 / - / 55230**

COUNCIL:  
**GLENORCHY COUNCIL**

HOUSE DESIGN:  
**HAVANA**

FACADE DESIGN:  
**CLASSIC**

SHEET TITLE:  
**ELEVATIONS / SECTION**

HOUSE CODE:  
**H-WATHAV10SA**

FACADE CODE:  
**F-WATHAV10CLASB**

SHEET No.:  
**5 / 13**

SCALES:  
**1:100**

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**713925**

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:  
 - SUSTAINABILITY REQUIREMENTS  
 - SITE CLASSIFICATION  
 - GENERAL BUILDING INFORMATION

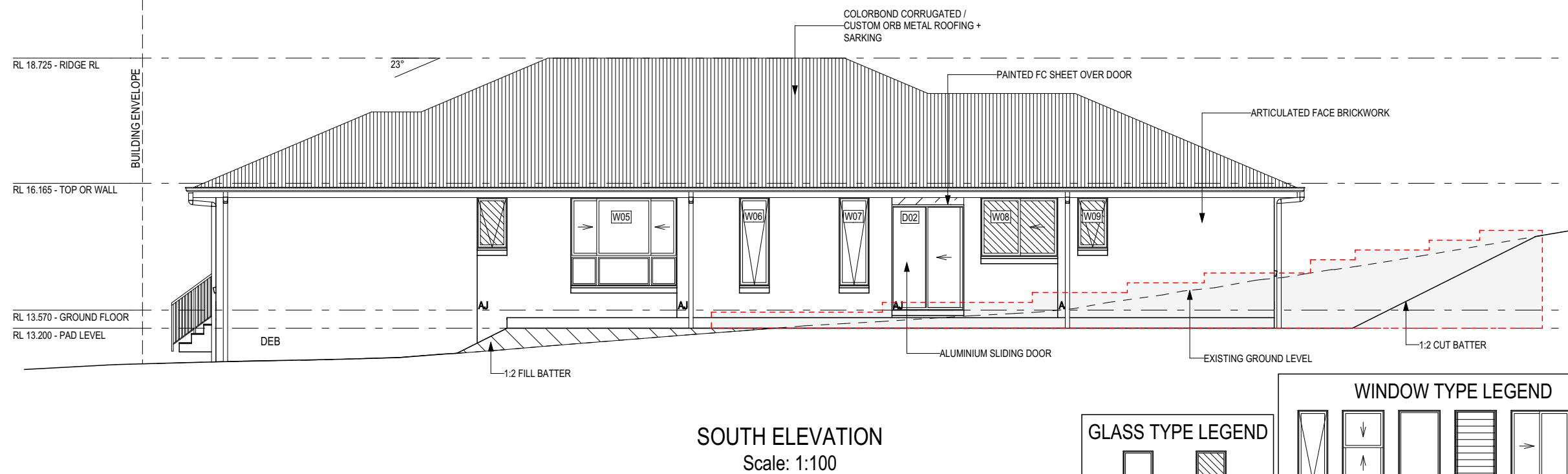
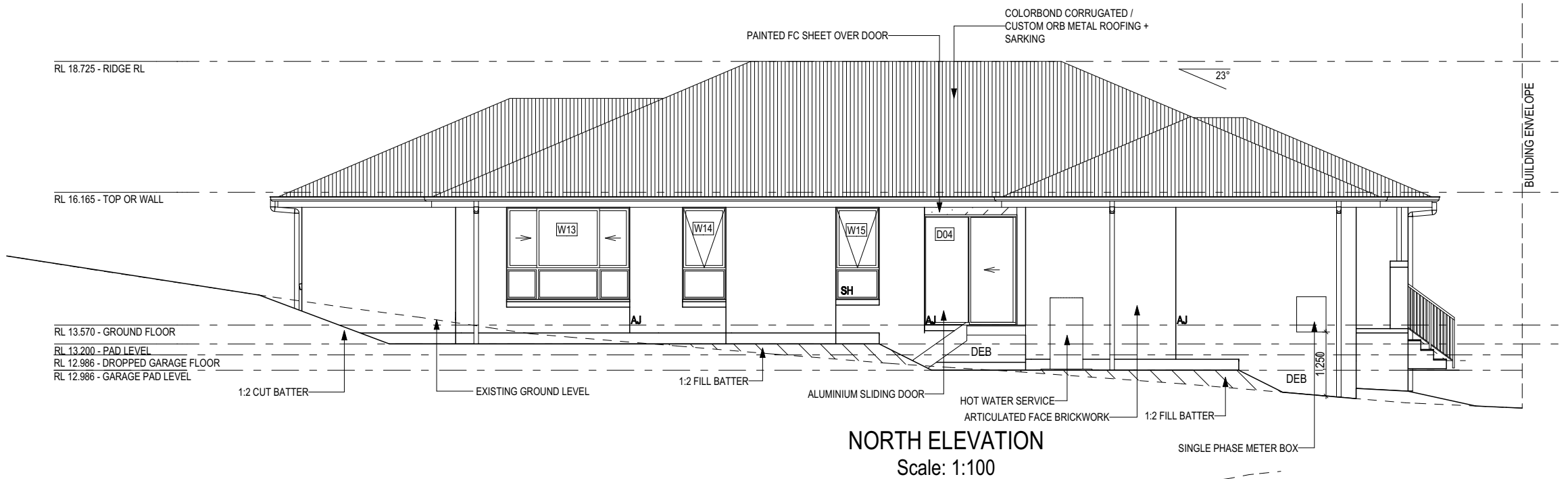
SH = SNAP HEADER SILL

BEDROOM WINDOW OPENINGS ABOVE 2m OFF THE SURFACE BENEATH TO BE RESTRICTED AS REQUIRED BY NCC 11.3.7 (VOLUME TWO)

ROOMS OTHER THAN BEDROOM WINDOW OPENINGS ABOVE 4m OFF THE SURFACE BENEATH TO BE RESTRICTED AS REQUIRED BY NCC 11.3.7 (VOLUME TWO)

REFER TO THE FOLLOWING DETAILS:  
 BRICK COURSING W-BRIC-001

**GLENORCHY CITY COUNCIL  
 PLANNING SERVICES**  
 APPLICATION No **PLN-24-090**  
 DATE RECEIVED **16/07/2024**



**GLASS TYPE LEGEND**

CLEAR	OBSCURE

**WINDOW TYPE LEGEND**

AWNING	DOUBLE HUNG	FIXED	LOUVRE	SLIDING

THIS PLAN ACCEPTED BY:  
 \_\_\_\_\_  
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 LOT / SECTION / CT:  
**75 / - / 55230**  
 COUNCIL:  
**GLENORCHY COUNCIL**

HOUSE DESIGN:  
**HAVANA**  
 FACADE DESIGN:  
**CLASSIC**  
 SHEET TITLE:  
**ELEVATIONS**

HOUSE CODE:  
**H-WATHAV10SA**  
 FACADE CODE:  
**F-WATHAV10CLASB**  
 SHEET No.:  
**6 / 13**  
 SCALES:  
**1:100**

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# WINDOW SCHEDULE

0.3 ASSUME LOOKING FROM OUTSIDE 1.2 ASSUME LOOKING FROM INSIDE

ID	CODE*	ROOM	HEIGHT	WIDTH	PERIMETER	AREA (m <sup>2</sup> )	FRAME TYPE	BAL RATING	SILL TYPE	ORIENT.	GLAZING AREA (m <sup>2</sup> )	GLAZING TYPE	ADDITIONAL INFORMATION*
W01	A/F1809	HOME THEATRE	1,800	850	5,300	1.53	ALUMINIUM	N/A	ANGLED	SW	1.19	CLEAR, DOUBLE GLAZED	BP 600
W02	A/F1809	HOME THEATRE	1,800	850	5,300	1.53	ALUMINIUM	N/A	ANGLED	SW	1.19	CLEAR, DOUBLE GLAZED	BP 600
W03	A/F1809	HOME THEATRE	1,800	850	5,300	1.53	ALUMINIUM	N/A	ANGLED	SW	1.19	CLEAR, DOUBLE GLAZED	BP 600
W04	A1006	ENS	1,030	610	3,280	0.63	ALUMINIUM	N/A	ANGLED	SE	0.44	OBSCURE, DOUBLE GLAZED, TOUGHENED	
W05	SFS/FFF1822	MASTER SUITE	1,800	2,170	7,940	3.91	ALUMINIUM	N/A	ANGLED	SE	3.30	CLEAR, DOUBLE GLAZED	BP 600, MP 543-1085/0
W06	A1806	BED 2	1,800	610	4,820	1.10	ALUMINIUM	N/A	ANGLED	SE	0.81	CLEAR, DOUBLE GLAZED	
W07	A1806	BED 2	1,800	610	4,820	1.10	ALUMINIUM	N/A	ANGLED	SE	0.81	CLEAR, DOUBLE GLAZED	
W08	FS1216	BATH	1,200	1,570	5,540	1.88	ALUMINIUM	N/A	ANGLED	SE	1.64	OBSCURE, DOUBLE GLAZED, TOUGHENED	
W09	A1006	WC	1,030	610	3,280	0.63	ALUMINIUM	N/A	ANGLED	SE	0.44	OBSCURE, DOUBLE GLAZED, TOUGHENED	
W10	A1506	BED 3	1,460	610	4,140	0.89	ALUMINIUM	N/A	ANGLED	NE	0.64	CLEAR, DOUBLE GLAZED	
W11	A1506	BED 3	1,460	610	4,140	0.89	ALUMINIUM	N/A	ANGLED	NE	0.64	CLEAR, DOUBLE GLAZED	
W12	FS1516	BED 4	1,460	1,570	6,060	2.29	ALUMINIUM	N/A	ANGLED	NE	2.02	CLEAR, DOUBLE GLAZED	
W13	SFS/FFF1824	CHILDREN'S ACTIVITIES	1,800	2,410	8,420	4.34	ALUMINIUM	N/A	ANGLED	NW	3.70	CLEAR, DOUBLE GLAZED	BP 600, MP 603-1205/0
W14	A/F1809	FAMILY / LIVING	1,800	850	5,300	1.53	ALUMINIUM	N/A	ANGLED	NW	1.19	CLEAR, DOUBLE GLAZED	BP 600
W15	A/F1809	FAMILY / LIVING	1,800	850	5,300	1.53	ALUMINIUM	N/A	SNAP HEADER	NW	1.19	CLEAR, DOUBLE GLAZED	BP 600

25.31

20.39

**GLENORCHY CITY COUNCIL  
PLANNING SERVICES**

APPLICATION No ..... PLN-24-090 .....

DATE RECEIVED ..... 16/07/2024 .....

Manufacturer - Clark Windows			
Window Type	Glazing	U-Value	SHGC
Awning	Single	6.5	0.67
	Double	4.1	0.57
Fixed	Single	5.9	0.75
	Double	3.2	0.67
Sliding	Single	6.4	0.76
	Double	4.2	0.59
Fixed Pane	Single	5.9	0.75
	Double	3.2	0.67
Fixed Glass Panel Hinged Door	Single	6.0	0.62
	Double	4.3	0.55
Sliding Door	Single	6.1	0.74
	Double	3.6	0.66
Stacking Door	Single	6.3	0.74
	Double	3.8	0.66
135 deg. Awning Bay Window	Single	6.5	0.67
	Double	4.1	0.57
135 deg. Sliding Bay Window	Single	6.5	0.76
	Double	4.2	0.59
90 deg. Awning Bay Window	Single	6.5	0.67
	Double	4.1	0.57
90 deg. Sliding Bay Window	Single	6.5	0.76
	Double	4.2	0.59
Bifold Doors	Single	6.1	0.61
	Double	4.4	0.53

NOTE:  
Windows supplied MUST HAVE Uw better and or equal to stated figures and SHGC within +/- 5% of stated figures. Restricted windows to have their openability restricted as per N.C.C 11.3.6.

# EXTERIOR DOOR SCHEDULE

0.1 ASSUME LOOKING FROM OUTSIDE

ID	CODE*	ROOM	HEIGHT	WIDTH	AREA (m <sup>2</sup> )	FRAME TYPE	BAL RATING	SILL TYPE	ORIENT.	GLAZING TYPE	DOOR TYPE	ADDITIONAL INFORMATION*
D01	2397x1020	ENTRY	2,397	1,076	2.58	ALUMINIUM	N/A	SNAP HEADER	SW	N/A	SWINGING	
D02	FS2158x1470	LDRY	2,158	1,470	3.17	ALUMINIUM	N/A	SNAP HEADER	SE	CLEAR, DOUBLE GLAZED, TOUGHENED	SLIDING	
D03	SSF2158x2688	CHILDREN'S ACTIVITIES	2,158	2,688	5.80	ALUMINIUM	N/A	SNAP HEADER	NE	CLEAR, DOUBLE GLAZED, TOUGHENED	STACKER	
D04	FS2118	DINING	2,158	1,810	3.91	ALUMINIUM	N/A	SNAP HEADER	NW	CLEAR, TOUGHENED	SLIDING	

15.46 m<sup>2</sup>

NOTE: INTERNAL DOORS TO WET AREAS WITH MECHANICAL VENTILATION TO BE UNDERCUT 20mm

# INTERIOR DOOR SCHEDULE

QTY	CODE	TYPE	HEIGHT	WIDTH	GLAZING	ADDITIONAL INFORMATION
1	1245 SS	SQUARE SET OPENING	2,155	1,245	N/A	
1	1500 SS	SQUARE SET OPENING	2,155	1,500	N/A	
1	2 x 520	SWINGING	2,040	1,040	N/A	
3	2 x 620	SWINGING	2,040	1,240	N/A	
1	720	SWINGING	2,040	720	N/A	LIFT-OFF HINGES
9	820	SWINGING	2,040	820	N/A	
1	820	SWINGING	2,040	820	N/A	LIFT-OFF HINGES
1	900 SS	SQUARE SET OPENING	2,155	900	N/A	
1	910 SS	SQUARE SET OPENING	2,155	910	N/A	

# PICTURE / TV RECESS & SQUARE SET WINDOW SCHEDULE

QTY	TYPE	HEIGHT	WIDTH	AREA (m <sup>2</sup> )
1	TV RECESS	1,355	1.50	2.03

SINGLE GLAZING U.N.O. REFER TO GENERAL NOTES FOR FURTHER DETAIL AND REQUIREMENTS.

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:  
- SUSTAINABILITY REQUIREMENTS  
- SITE CLASSIFICATION  
- GENERAL BUILDING INFORMATION

THIS PLAN ACCEPTED BY:

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PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE:

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DATE:

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CLIENT: ANUSHA & TEJINDER SINGH VIRDI

ADDRESS: 385 BROOKER HIGHWAY, LUTANA TAS 7009

LOT / SECTION / CT: 75 / - / 55230

COUNCIL: GLENORCHY COUNCIL

HOUSE DESIGN: HAVANA

FACADE DESIGN: CLASSIC

SHEET TITLE: WINDOW & DOOR SCHEDULES

SHEET No.: 7 / 13

HOUSE CODE: H-WATHAV10SA

FACADE CODE: F-WATHAV10CLASB

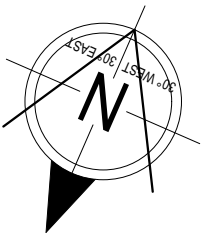
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**GLENORCHY CITY COUNCIL  
PLANNING SERVICES**  
APPLICATION No. **PLN-24-090**  
DATE RECEIVED **16/07/2024**

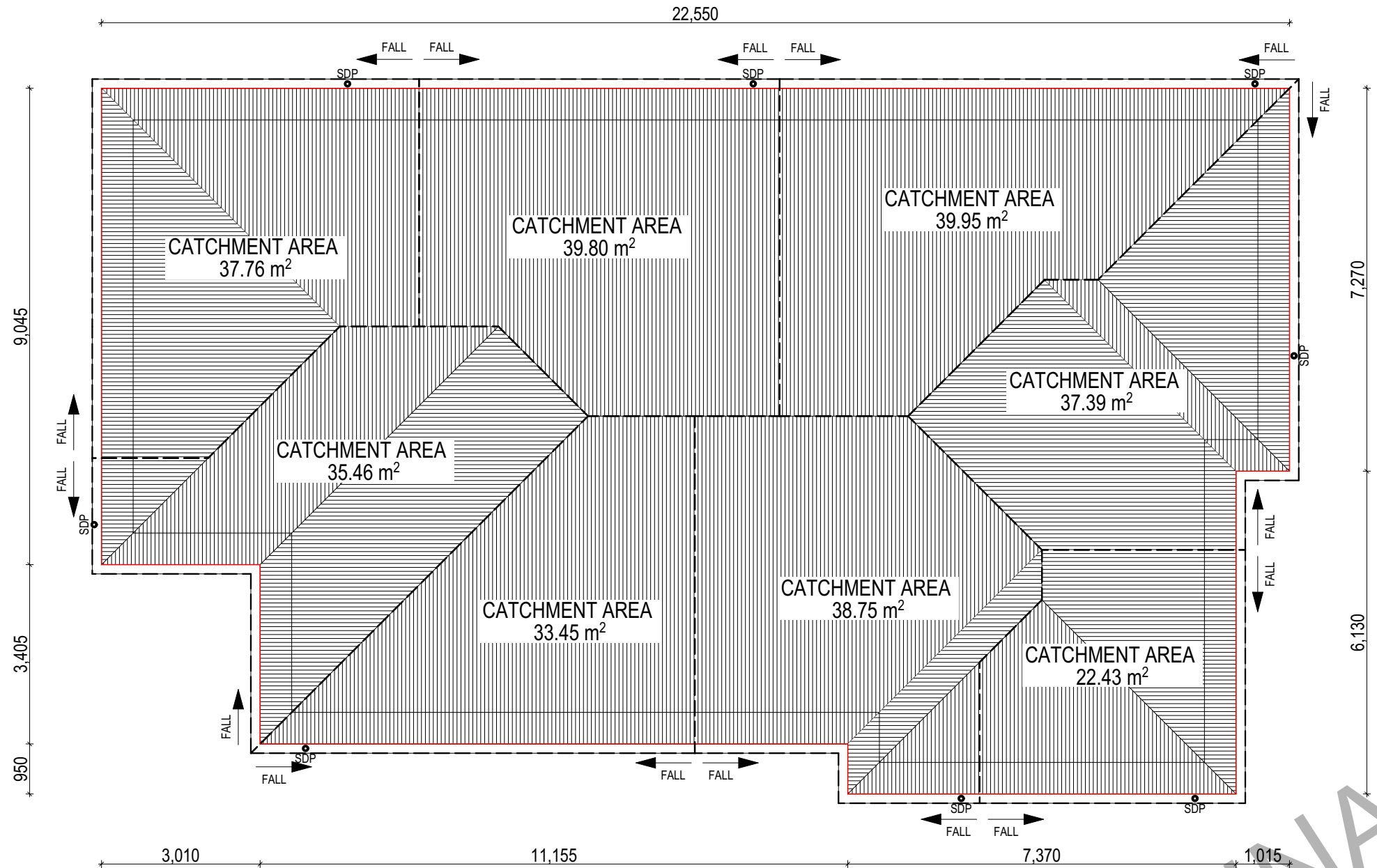


WHERE DOWNPIPES ARE FURTHER THAN 1.2m AWAY FROM VALLEY REFER TO N.C.C. 7.3.5(2)

POSITION AND QUALITY OF DOWNPIPES ARE NOT TO BE ALTERED WITHOUT CONSULTATION WITH DESIGNER.

AREA'S SHOWN ARE SURFACE AREAS/ CATCHMENT AREAS, NOT PLAN AREAS

Roofing Data		
	272.24	Flat Roof Area (excluding gutter and slope factor) (m <sup>2</sup> )
	295.76	Roof Surface Area (includes slope factor, excludes gutter) (m <sup>2</sup> )
Downpipe roof calculations (as per AS/NZ3500.3:2018)		
Ah	284.99	Area of roof catchment (including 115mm Slotted Quad Gutter) (m <sup>2</sup> )
Ac	344.83	Ah x Catchment Area Multiplier for slope (Table 3.4.3.2 from AS/NZS 3500.3:2018) (1.21 for 23° pitch) (m <sup>2</sup> )
Ae	6300	Cross sectional area of 57 x 115 Slotted Quad Gutter (mm <sup>2</sup> )
DRI	86	Design Rainfall Intensity (determined from Table E1 from AS/NZS 3500.3:2018)
Acdp	64	Catchment area per Downpipe (determined from Figure 3.5(A) from AS/NZS 3500.3:2018) (m <sup>2</sup> )
Required Downpipes	5.3	Ac / Acdp
Downpipes Provided	8	



EV SOFFIT EAVE VENT PROPOSED LOCATION TO BE MIN. 1M FROM CORNER JOINT

THIS PLAN ACCEPTED BY:

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LOT / SECTION / CT: 75 / - / 55230
COUNCIL: GLENORCHY COUNCIL

HOUSE DESIGN: HAVANA
FACADE DESIGN: CLASSIC
SHEET TITLE: ROOF DRAINAGE PLAN
SHEET No.: 8 / 13








HOUSE CODE: H-WATHAV10SA
FACADE CODE: F-WATHAV10CLASB
SCALES: 1:100

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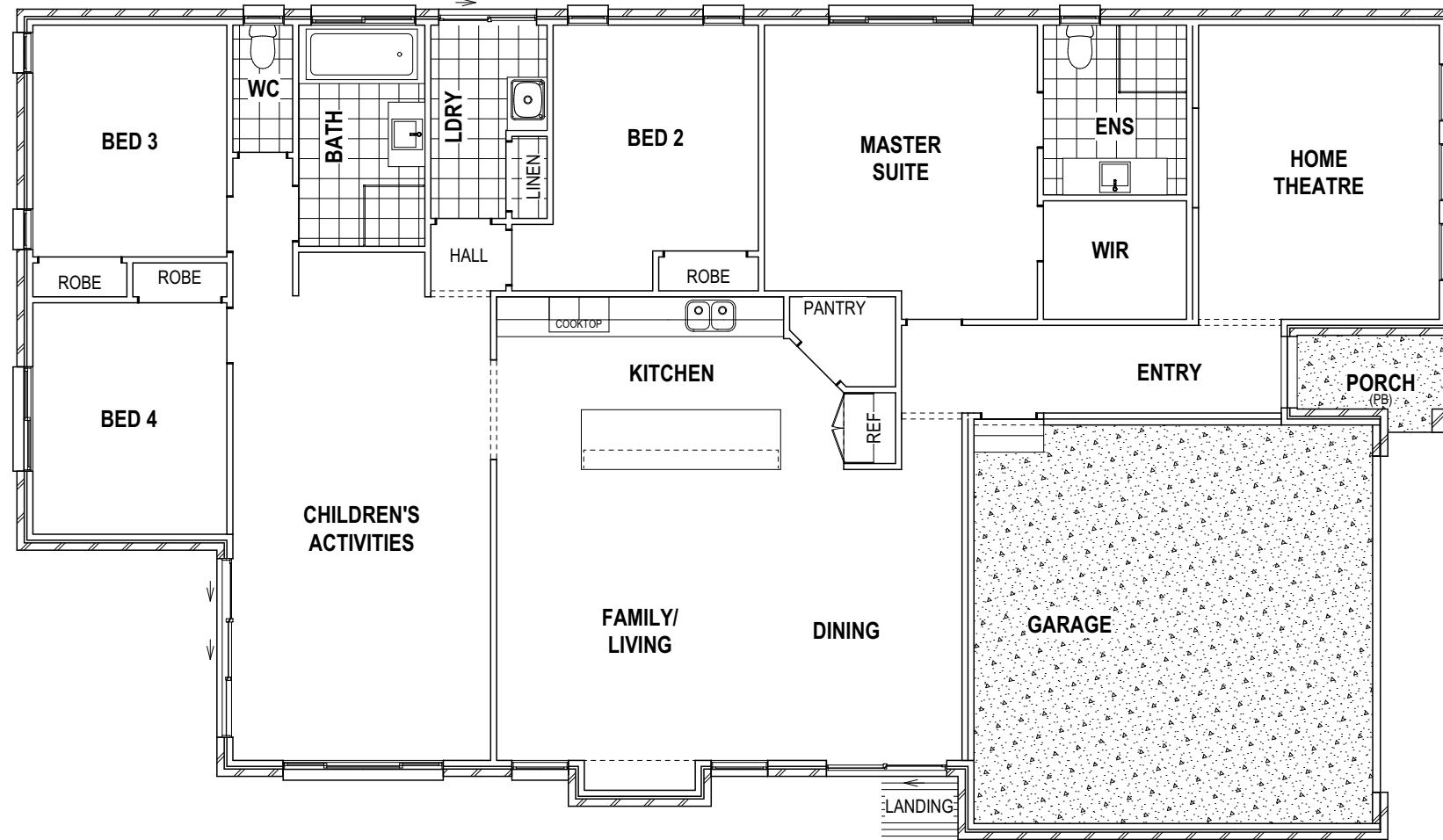
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FLOOR TILES SHOWN ON PLAN DO NOT INDICATE THE SIZE OR JOINT LOCATIONS OF THE ACTUAL FLOOR TILES.  
 TIMBER FLOORING SHOWN ON PLAN DOES NOT INDICATE THE BOARD SIZE OR DIRECTION OF THE ACTUAL FLOORING.

**COVERINGS LEGEND**

-  NO COVERING
-  COVER GRADE CONCRETE
-  CARPET
-  LAMINATE
-  TILE (STANDARD WET AREAS)
-  TILE (UPGRADED AREAS)
-  DECKING

**GLENORCHY CITY COUNCIL  
 PLANNING SERVICES**  
 APPLICATION No ..... PLN-24-090  
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PRELIMINARY

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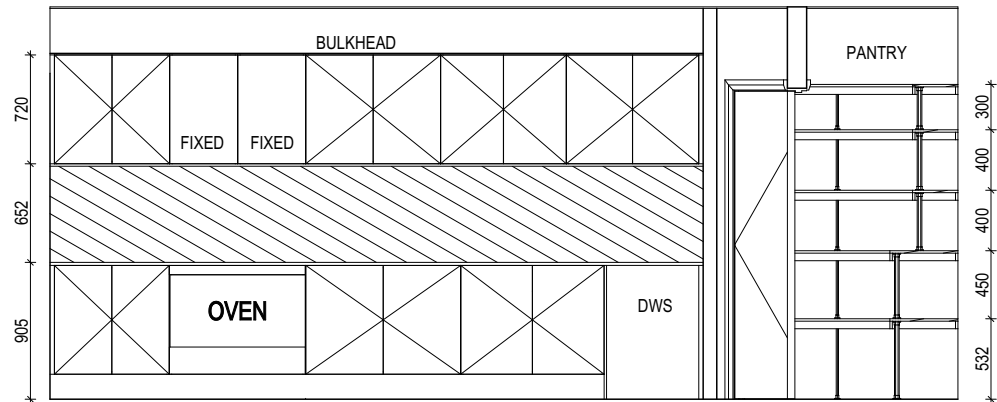
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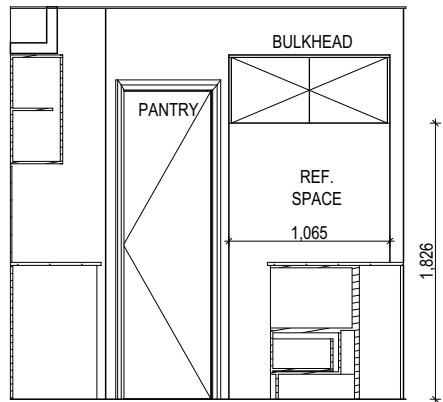
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**HAVANA**  
 FACADE DESIGN:  
**CLASSIC**  
 SHEET TITLE:  
**FLOOR COVERINGS**

HOUSE CODE:  
**H-WATHAV10SA**  
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**F-WATHAV10CLASB**  
 SHEET No.:  
**9 / 13**  
 SCALES:  
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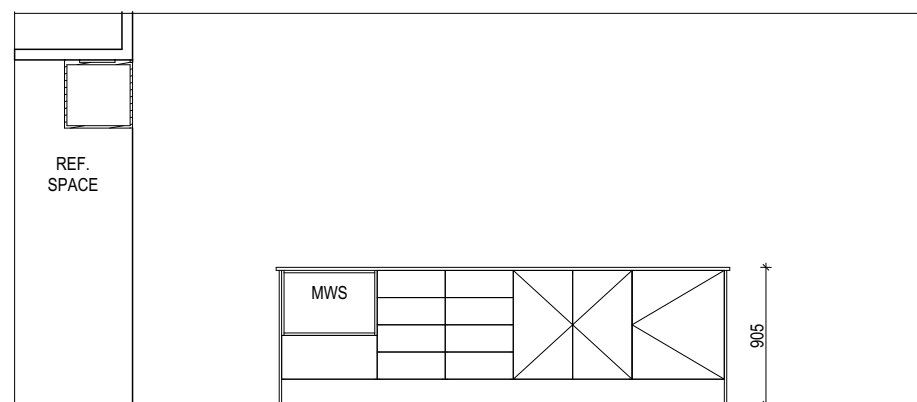
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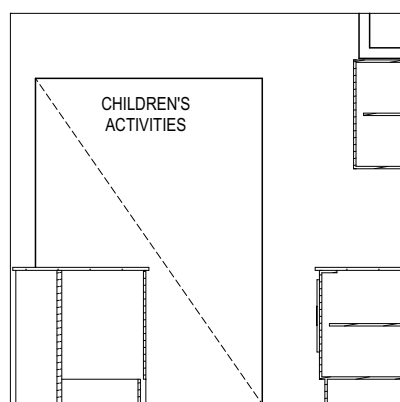
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ELEVATION B  
Scale: 1:50



ELEVATION C  
Scale: 1:50



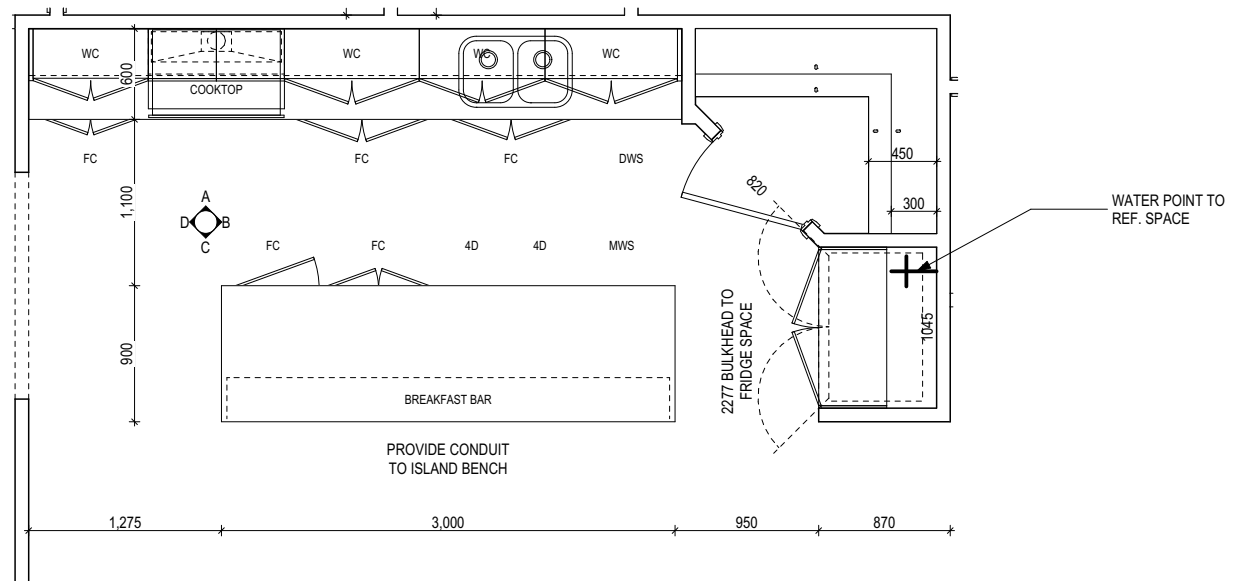
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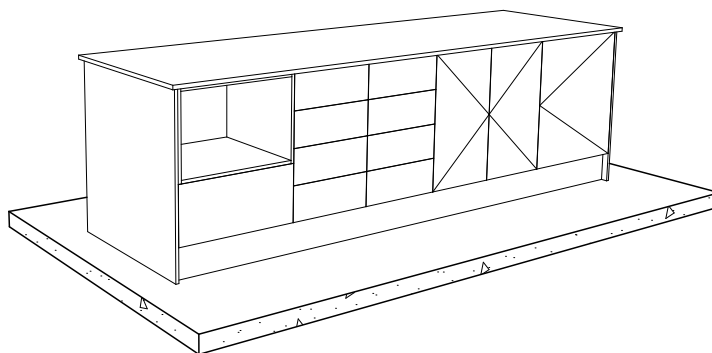
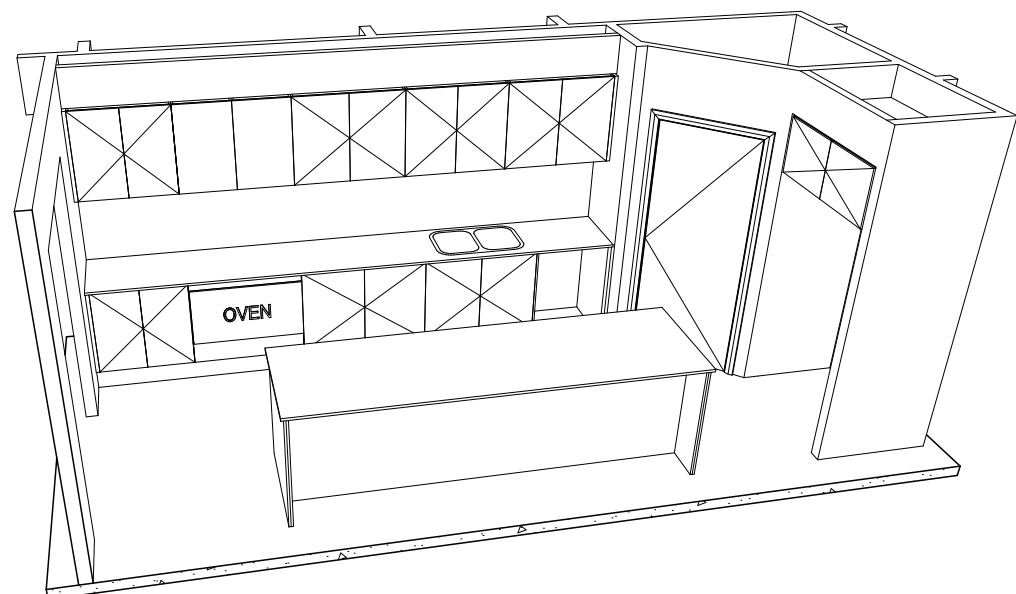
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DETAILS DEPICTED ON THIS SHEET ARE A REPRESENTATION ONLY. JOINER MAY ADJUST CABINETS AS REQUIRED.

GAS CONNECTION FOR COOKTOP TO BE LOCATED 700mm TO RIGHT HAND SIDE OF CENTRE OF COOKTOP



KITCHEN PLAN  
Scale: 1:50



**PRELIMINARY**

THIS PLAN ACCEPTED BY: \_\_\_\_\_  
PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING  
SIGNATURE: \_\_\_\_\_  
DATE: \_\_\_\_\_

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CLIENT:	ANUSHA & TEJINDER SINGH VIRDI
ADDRESS:	385 BROOKER HIGHWAY, LUTANA TAS 7009
LOT / SECTION / CT:	75 / - / 55230
COUNCIL:	GLENORCHY COUNCIL

HOUSE DESIGN:	HAVANA
FACADE DESIGN:	CLASSIC
SHEET TITLE:	KITCHEN DETAILS
SHEET No.:	10 / 13

HOUSE CODE:	H-WATHAV10SA
FACADE CODE:	F-WATHAV10CLASB
SCALES:	1:50

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<b>713925</b>

**GLENORCHY CITY COUNCIL  
PLANNING SERVICES**

APPLICATION No **PLN-24-090**

DATE RECEIVED **16/07/2024**

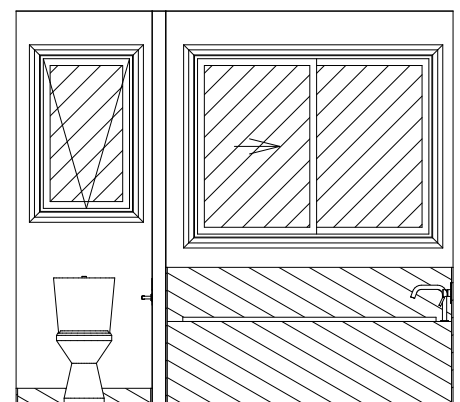
REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

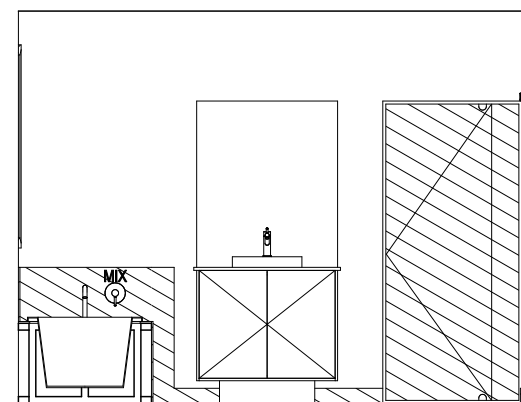
DETAILS DEPICTED ON THIS SHEET ARE A REPRESENTATION ONLY

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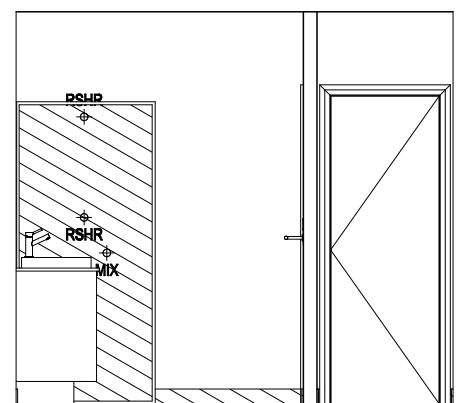
- VANITY DETAILS G-VANI-001
- WINDOW OVER BATH HOB D-WIND-ALU001
- STANDARD BATH HOB D-WETA-BATH003
- WET AREA TILING LAYOUTS D-WETA-TILE002
- SQUARE SET WINDOWS G-WIND-SSET02
- FULL HEIGHT TILING D-LINI-WETA



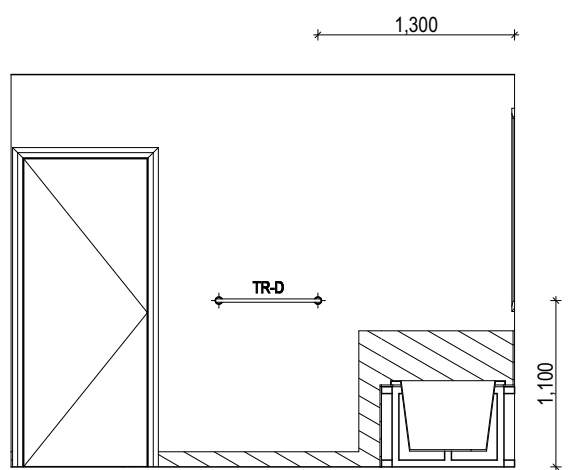
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Scale: 1:50



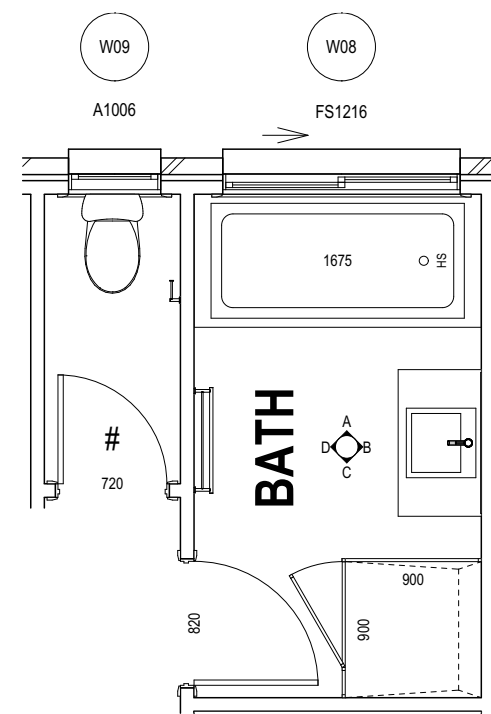
**ELEVATION B**  
Scale: 1:50



**ELEVATION C**  
Scale: 1:50



**ELEVATION D**  
Scale: 1:50



**BATHROOM PLAN**  
Scale: 1:50

LEGEND	
RSHR	RAIL SHOWER
ROSE	SHOWER ROSE
ELBW	SHOWER ELBOW CONNECTION
MIX	MIXER TAP
HT	HOT TAP
CT	COLD TAP
HS	HOB SPOUT
WS	WALL SPOUT
SC	STOP COCK
TRH	TOILET ROLL HOLDER
TR-S	TOWEL RAIL - SINGLE
TR-D	TOWEL RAIL - DOUBLE
TL	TOWEL LADDER
TH	TOWEL HOLDER
TR	TOWEL RACK
TMB	TUMBLER HOLDER
RNG	TOWEL RING
RH	ROBE HOOK
SHLF	SHELF
SR	SHAMPOO RECESS
SOAP	SOAP HOLDER

SHAMPOO RECESS SIZE	STRUCTURAL DIMENSIONS	
	WIDTH	HEIGHT
"SMALL"	470 x 380mm	446mm
"MEDIUM"	800 x 380mm	446mm
"LARGE"	1500 x 380mm	1578mm

REFER WILSON HOMES' DETAIL G-WETA-TILE01 FOR FURTHER DETAIL PRIOR TO INSTALLATION.

THIS PLAN ACCEPTED BY:

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PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE:

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DATE:

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2 PRELIM PLANS - INITIAL ISSUE	HMI 2024.04.04
3 PRELIM PLANS - PLANNING RFI 23.04.2024	RT2 2024.06.28
4 PRELIM PLANS - PLANNING RFI 09.07.2024	RT2 2024.07.15

CLIENT:	ANUSHA & TEJINDER SINGH VIRDI
ADDRESS:	385 BROOKER HIGHWAY, LUTANA TAS 7009
LOT / SECTION / CT:	COUNCIL:
75 / - / 55230	GLENORCHY COUNCIL

HOUSE DESIGN:	HAVANA
FAÇADE DESIGN:	CLASSIC
SHEET TITLE:	SHEET No.:
BATHROOM DETAILS	11 / 13

HOUSE CODE:	H-WATHAV10SA
FAÇADE CODE:	F-WATHAV10CLASB
SCALES:	1:50

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713925

**GLENORCHY CITY COUNCIL  
PLANNING SERVICES**

APPLICATION No **PLN-24-090**

DATE RECEIVED **16/07/2024**

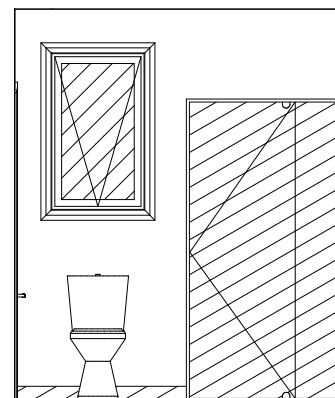
REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

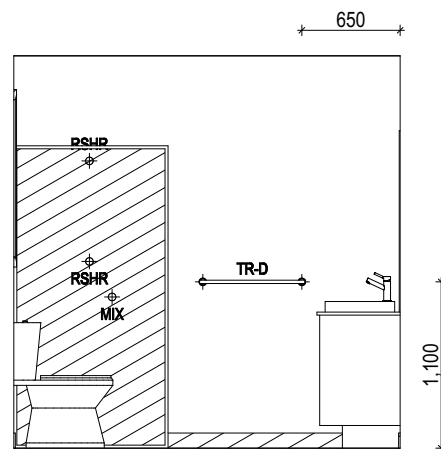
DETAILS DEPICTED ON THIS SHEET ARE A REPRESENTATION ONLY

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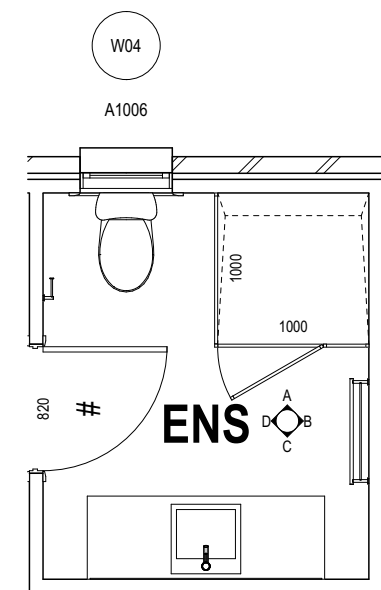
- VANITY DETAILS G-VANI-001
- WINDOW OVER BATH HOB D-WIND-ALU001
- STANDARD BATH HOB D-WETA-BATH003
- WET AREA TILING LAYOUTS D-WETA-TILE002
- SQUARE SET WINDOWS G-WIND-SSET02
- FULL HEIGHT TILING D-LINI-WETA



**ELEVATION A**  
Scale: 1:50

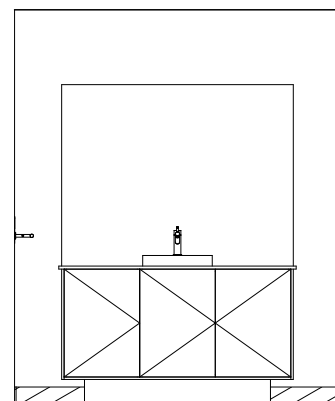


**ELEVATION B**  
Scale: 1:50

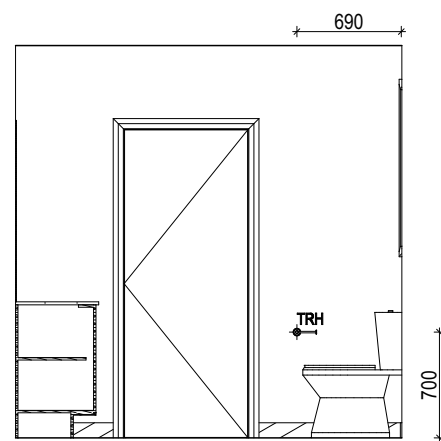


**ENSUITE PLAN**  
Scale: 1:50

LEGEND	
RSHR	RAIL SHOWER
ROSE	SHOWER ROSE
ELBW	SHOWER ELBOW CONNECTION
MIX	MIXER TAP
HT	HOT TAP
CT	COLD TAP
HS	HOB SPOUT
WS	WALL SPOUT
SC	STOP COCK
TRH	TOILET ROLL HOLDER
TR-S	TOWEL RAIL - SINGLE
TR-D	TOWEL RAIL - DOUBLE
TL	TOWEL LADDER
TH	TOWEL HOLDER
TR	TOWEL RACK
TMB	TUMBLER HOLDER
RNG	TOWEL RING
RH	ROBE HOOK
SHLF	SHELF
SR	SHAMPOO RECESS
SOAP	SOAP HOLDER



**ELEVATION C**  
Scale: 1:50



**ELEVATION D**  
Scale: 1:50

SHAMPOO RECESS SIZE	STRUCTURAL DIMENSIONS	
	WIDTH	HEIGHT
"SMALL"	470 x 380mm	548mm / 446mm
"MEDIUM"	800 x 380mm	878mm / 446mm
"LARGE"	1500 x 380mm	1578mm / 446mm

REFER WILSON HOMES' DETAIL G-WETA-TILE01 FOR FURTHER DETAIL PRIOR TO INSTALLATION.

THIS PLAN ACCEPTED BY:

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PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE:

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DATE:

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CLIENT:	ANUSHA & TEJINDER SINGH VIRDI
ADDRESS:	385 BROOKER HIGHWAY, LUTANA TAS 7009
LOT / SECTION / CT:	75 / - / 55230
COUNCIL:	GLENORCHY COUNCIL

HOUSE DESIGN:	HAVANA
FACADE DESIGN:	CLASSIC
SHEET TITLE:	ENSUITE DETAILS
SHEET No.:	12 / 13

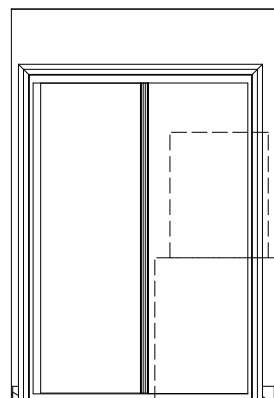
HOUSE CODE:	H-WATHAV10SA
FACADE CODE:	F-WATHAV10CLASB
SCALES:	1:50

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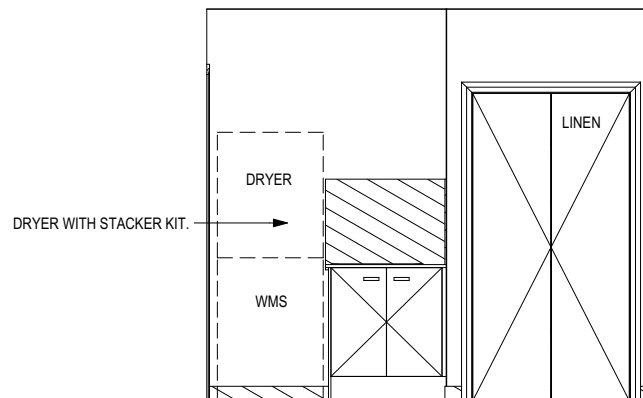
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 - SITE CLASSIFICATION  
 - GENERAL BUILDING INFORMATION

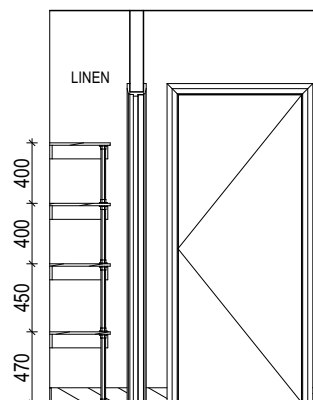
**GLENORCHY CITY COUNCIL  
 PLANNING SERVICES**  
 APPLICATION No PLN-24-090  
 DATE RECEIVED 16/07/2024



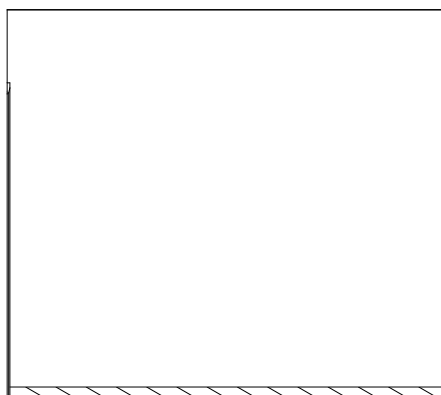
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 Scale: 1:50



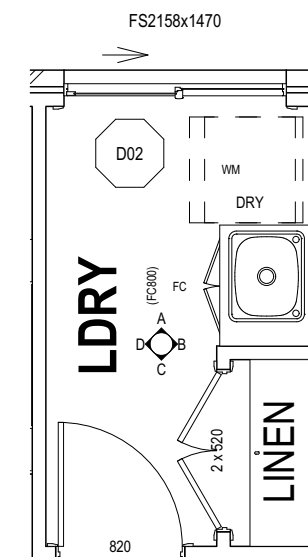
**ELEVATION B**  
 Scale: 1:50



**ELEVATION C**  
 Scale: 1:50



**ELEVATION D**  
 Scale: 1:50



**LAUNDRY PLAN**  
 Scale: 1:50

PRELIMINARY

THIS PLAN ACCEPTED BY:  
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 ADDRESS: 385 BROOKER HIGHWAY, LUTANA TAS 7009  
 LOT / SECTION / CT: 75 / - / 55230  
 COUNCIL: GLENORCHY COUNCIL

HOUSE DESIGN: HAVANA  
 FACADE DESIGN: CLASSIC  
 SHEET TITLE: LAUNDRY DETAILS  
 SHEET No.: 13 / 13

HOUSE CODE: H-WATHAV10SA  
 FACADE CODE: F-WATHAV10CLASB  
 SCALES: 1:50

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