

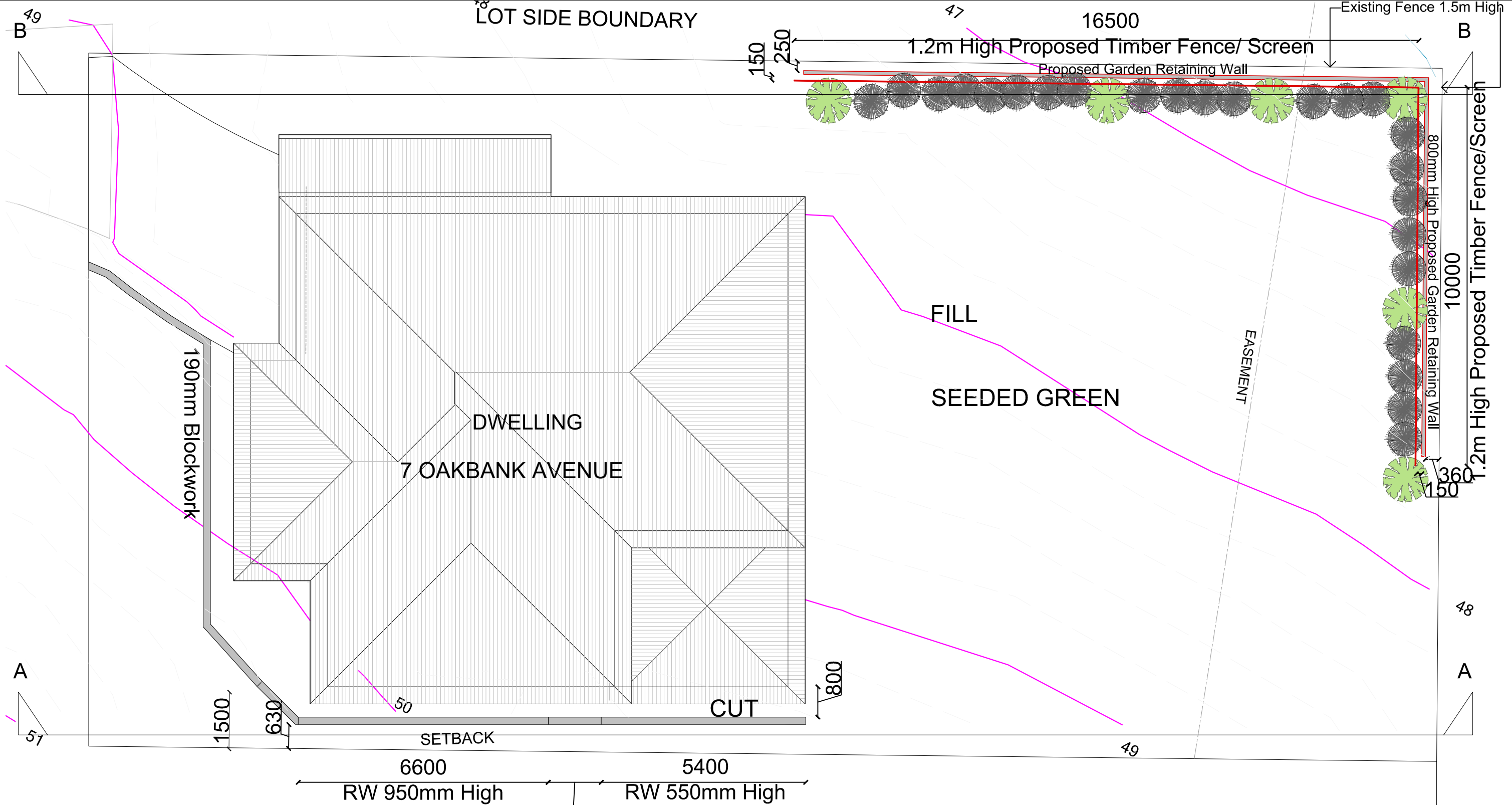
## DEVELOPMENT APPLICATION

<b>APPLICATION NUMBER:</b>	PLN-24-278
<b>PROPOSED DEVELOPMENT:</b>	Retaining Walls (Residential)
<b>LOCATION:</b>	7 Oakbank Avenue Montrose
<b>APPLICANT:</b>	Urban Space Designers
<b>ADVERTISING START DATE:</b>	11/12/2024
<b>ADVERTISING EXPIRY DATE:</b>	03/01/2025

Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and the plans are available on Glenorchy City Council's website ([www.gcc.tas.gov.au](http://www.gcc.tas.gov.au)) until **03/01/2025**.

During this time, any person may make representations relating to the applications by letter addressed to the Chief Executive Officer, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to [gccmail@gcc.tas.gov.au](mailto:gccmail@gcc.tas.gov.au).

Representations must be received by no later than 11.59 pm on **03/01/2025**, or for postal and hand delivered representations, by 5.00 pm on **03/01/2025**.



**SITE PLAN**

1 : 100

**GLENORCHY CITY COUNCIL  
PLANNING SERVICES**  
  
APPLICATION No. : PLN-24-278  
  
DATE RECEIVED: 05/12/2024

Notes	Symbol		Size
All Planting Beds to be 100mm min.		Callistemon pallidus	2m Height , 2m spread
Midnight Black Pine Bark		Lomandra longifolia	1.2m - 1.5m height & spread

**Urban Space Designers**  
*Building Design and Drafting*

Phone: 0402438170  
Email: info@urbanspacedesigners.com.au  
Website: www.urbanspacedesigners.com.au

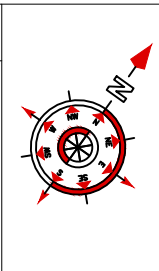
Accreditation: TAS - 381246362  
Document Set ID: 3441063  
Version: 2, Version Date: 06/12/2024

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**USD cannot guarantee the accuracy of content and format for copies of drawings issued electronically.**  
**IF IN DOUBT ASK.**  
The completion of the issued details checked and authorized section below is confirmation of the status of the drawing. The drawing shall not be used for the construction unless endorsed "for construction" and authorized for issue. Read these drawings in conjunction with drawings prepared by USD. Refer any discrepancies with the architect before proceeding with any building works.  
The drawing is prepared as built and strict instructions to builders to have a physical measurement before referring this drawing and inform USD if there are any gaps in dimensions.

Client: M. Magar  
Project: Landscaping - New Dwelling  
Address: 7 Oakbank Avenue, Montrose, TAS - 7010

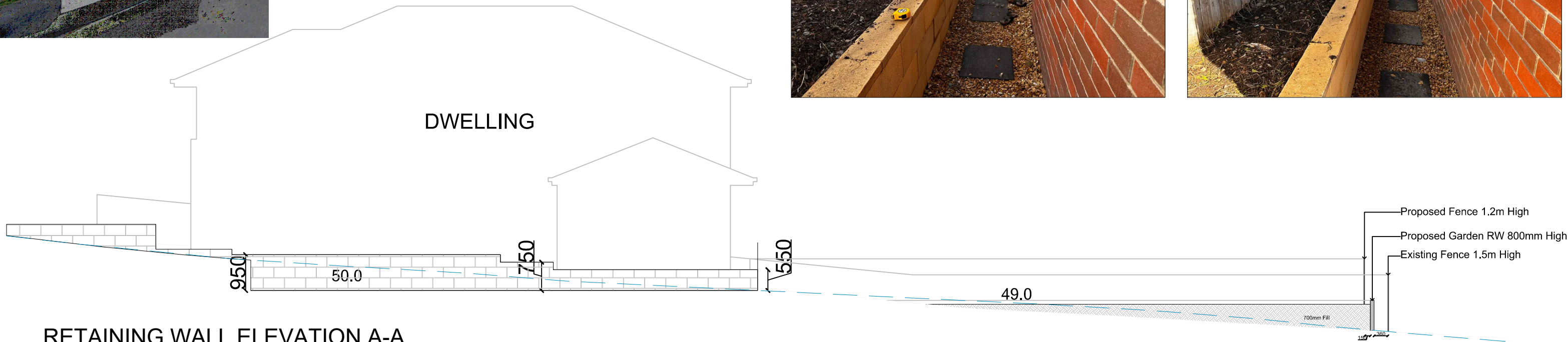
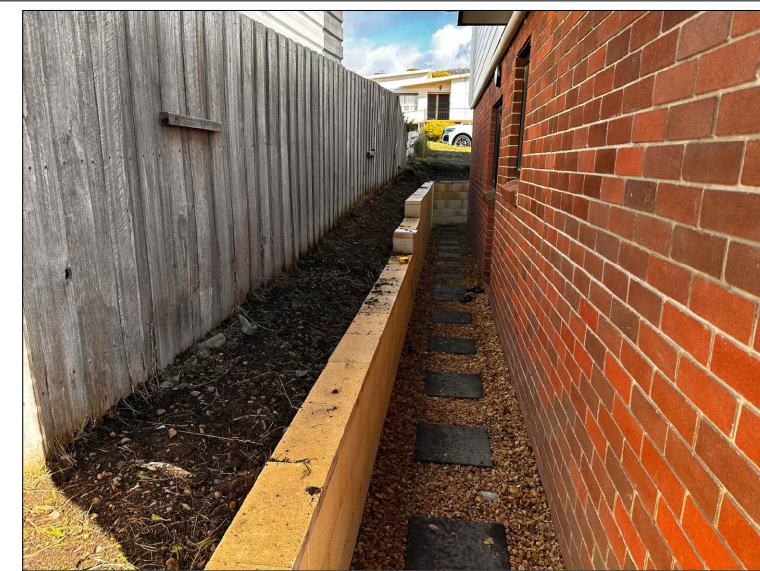
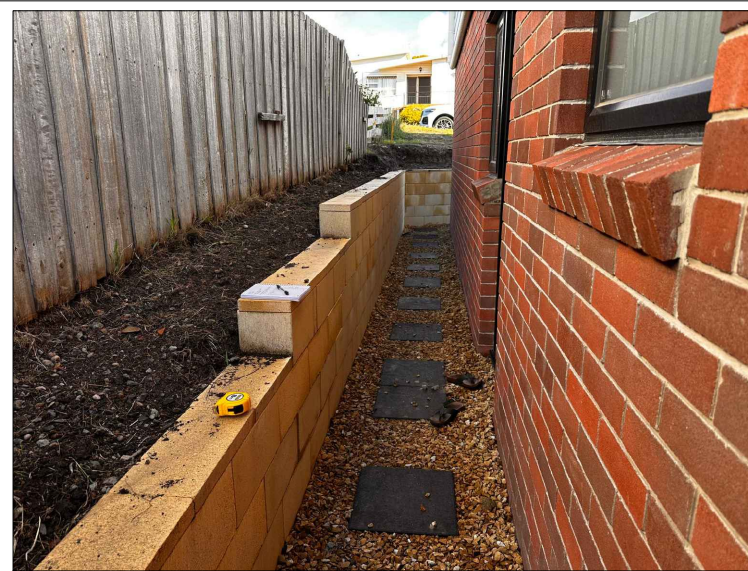
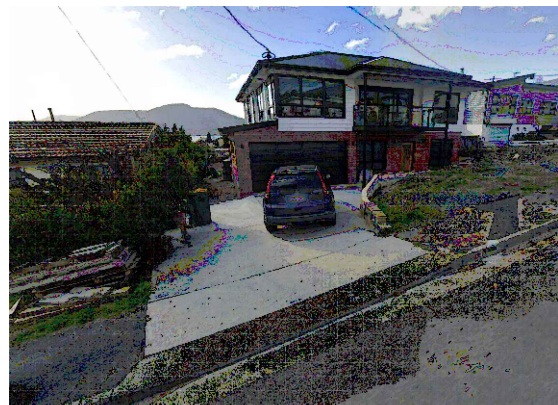
Revisions		
Issue	Issue Name	Date
R1	AHD levels shown. Site elevations shown. Shed removed.	02/12/2024
R2	Existing RW changed to Proposed RW as per RFI	05/12/2024

**ARCHITECTURE DRAWINGS**  
**CHECK all dimensions and measurements on site** prior to fabrication and or construction. Dimensions are in millimeters "frame to frame" and do not allow for interior linings.  
**ALL work in Accordance with The Building Code of Australia (BCA)** as amended, relevant Australian Standards (AS) Codes and good building practices. Drawings to be read in conjunction with specifications and schedules.



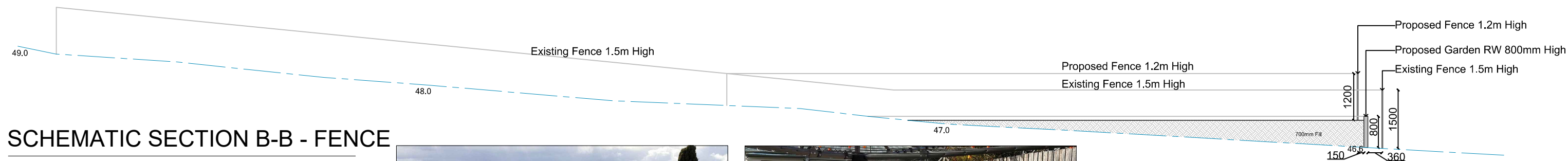
Sheet: SITE PLAN  
Drawn: GK  
Scale: 1:100 Size: A3 Date: 01/08/2024  
Project: 7OB/GLEN/ARCH/06052022 Sheet: A001 Rev: R2





### RETAINING WALL ELEVATION A-A

1 : 100



### SCHEMATIC SECTION B-B - FENCE

1 : 100

**GLENORCHY CITY COUNCIL  
PLANNING SERVICES**  
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Phone: 0402438170  
Email: info@urbanspacedesigners.com.au  
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Accreditation: TAS - 381246362  
Version: 2, Version Date: 06/12/2024

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Sheet: SITE ELEVATIONS  
Drawn: GK  
Scale: 1:100 Size: A3 Date: 01/08/2024  
Project: 7OB/GLEN/ARCH/06052022 Sheet: A002 Rev: R2





W/B Dwelling # 6 Vernon Ave

Ridge RL: 50.43

W/B Dwelling # 8 Vernon Ave  
FFL: 47.79

Ridge  
RL: 51.68

W/B Dwelling # 5  
FFL: 48.06  
Ridge RL: 52.10

Outbuilding  
Ridge RL: 50.25

Sewer Manhole  
Lid RL: 47.27  
Inv. RL: 45.89

Paling Fence  
35.73

DRAINAGE EASEMENT (1.52 WIDE)  
18.29

Paling Fence  
18.29

48

C.T. 18563/27  
650 m<sup>2</sup>

49

OAKBANK

Power Pole

Cross Over

Overhead Comms Lines

Small Embankment

Water Meter

BM Nail in Footpath  
RL: 49.85

Overhead Power Lines

Footpath

Paling Fence  
35.59

Eaves RL: 54.92

Ridge RL: 56.07

Upstairs  
FFL: 52.37  
W/B Dwelling # 9

AVENUE

**GLENORCHY CITY COUNCIL  
PLANNING SERVICES**  
APPLICATION No. : PLN-24-278  
DATE RECEIVED: 02/12/2024

**NOTE:**  
1. Level Datum is AHD.  
2. Horizontal Datum is GDA2020, origin is SPM 9570.  
3. Contour interval is 0.20 metres.  
4. Only that detail apparent on site at the time of survey has been located by this plan. Other features and services may exist on, under or over the site.  
5. Boundaries are compiled from title surveys and may vary from original survey dimensions. A Remark Survey is recommended prior to any works occurring on or near the boundaries.  
6. Underground services exist in this area. It is the responsibility of the developer to determine the location of these services prior to the commencement of site works.

**LARK & CREESE** Pty Ltd  
Land & Engineering Surveyors  
62 Channel Highway Kingston 7050  
Ph. 62296563  
Email: info@larkandcreese.com.au  
Web: www.larkandcreese.com.au

**DETAIL PLAN  
7 OAKBANK AVENUE  
MONTROSE**

CLIENT	C. & E. Sherrin
DRAWING No.	22108-01
SCALE	1:200 at A3
DATE	05/05/2022
DRAWN	W.I

