

DEVELOPMENT APPLICATION

APPLICATION NUMBER:	PLN-24-300
PROPOSED DEVELOPMENT:	Single Dwelling
LOCATION:	183 Chapel Street Glenorchy
APPLICANT:	Cmh Industries Pty Ltd
ADVERTISING START DATE:	11/12/2024
ADVERTISING EXPIRY DATE:	03/01/2025

Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and the plans are available on Glenorchy City Council's website (www.gcc.tas.gov.au) until **03/01/2025**.

During this time, any person may make representations relating to the applications by letter addressed to the Chief Executive Officer, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to gccmail@gcc.tas.gov.au.

Representations must be received by no later than 11.59 pm on **03/01/2025**, or for postal and hand delivered representations, by 5.00 pm on **03/01/2025**.

GENERAL NOTES:

1. THIS PLAN HAS BEEN PREPARED BY SURVEY PLUS FROM A COMBINATION OF EXISTING RECORDS AND FIELD SURVEY FOR THE PURPOSES OF SHOWING THE PHYSICAL FEATURES OF THE LAND AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE.
2. TITLE BOUNDARIES SHOWN WERE NOT VERIFIED OR MARKED BY SURVEY PLUS AT THE TIME OF THIS SURVEY.
3. SERVICES SHOWN ON THIS PLAN WERE LOCATED WHERE POSSIBLE BY FIELD SURVEY. THEY ARE NOT A COMPLETE PICTURE OF SERVICES ON SITE. ALL SERVICE LOCATIONS ARE TO BE VERIFIED BEFORE COMMENCEMENT OF ANY WORK ON SITE, IN PARTICULAR THOSE SERVICES NOT PREVIOUSLY LOCATED THROUGH FIELD SURVEY.
4. SURVEY PLUS CAN NOT ACCEPT LIABILITY WHATSOEVER FOR LOSS OR DAMAGE CAUSED TO ANY UNDERGROUND SERVICE WHETHER SHOWN BY OUR SURVEY OR NOT.
5. THIS NOTE IS AN INTEGRAL PART OF THIS PLAN/DATA. REPRODUCTION OF THIS PLAN OR ANY PART OF IT WITHOUT THIS NOTE BEING INCLUDED IN FULL WILL RENDER THE INFORMATION SHOWN ON SUCH A REPRODUCTION INVALID AND NOT SUITABLE FOR USE WITHOUT PRIOR AUTHORITY OF SURVEY PLUS.
6. HORIZONTAL DATUM IS MGA (GDA94).
7. VERTICAL DATUM IS AHD.
8. CONTOUR INTERVAL IS 0.2 METRE, INDEX IS 1.0 METRE.
9. SURVEY BY ROBOTIC TOTAL STATION AND GPS.
10. DUE TO THE AGE OF TITLE SURVEY IF ANY CONSTRUCTION WORKS ARE TO BE UNDERTAKEN ON OR NEAR THE TITLE BOUNDARY OR PRESCRIBED SETBACKS A RE-MARK SURVEY WILL BE REQUIRED.
11. IMPORTED DATA SHOWN ON THIS PLAN WAS OBTAINED FOR PUBLIC AVAILABLE DATA FROM VARIOUS GOVERNMENT AUTHORITIES. THIS INFORMATION IS PROVIDED FOR GUIDANCE ONLY. THE ACCURACY OF ANY IMPORTED DATA IS PER THE ACCURACY QUOTED BY THE SOURCE AND IS IN NO WAY GUARANTEED BY SURVEY PLUS. USERS MUST NOT RELY ON THIS DATA FOR ON-GROUND LOCATION OF BOUNDARIES AND/OR SERVICES.

- LIST DATA IMPORT**
- TasWater-SewerLateralLine
 - TasWater-SewerMain
 - TasWater-SewerMaintenanceHole
 - TasWater-SewerPressurisedMain
 - TasWater-WaterHydrant
 - TasWater-WaterLateralLine
 - TasWater-WaterMain
 - CadastralParcel-OwnerInformation

LOCAL COUNCIL IMPORT
LocalAuthority-StormwaterMain

12. BOUNDARIES ARE COMPILED ONLY FROM SP186202 AND RELEVANT SURVEY INFORMATION OBTAINED FROM LAND TITLES OFFICE AND ARE APPROXIMATE AND SUBJECT TO SURVEY.

13. 3D DATA TURNED OFF IN LAYER CONTROL.
- 3D TIN
 - MAJOR CONTOUR 3D
 - MINOR CONTOUR 3D

•DP 90mm DOWNPIPE

NOTE: ALL PROPOSED STORMWATER TO BE DISCHARGED TO EXISTING INFRASTRUCTURE

EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE IMPLEMENTED ON THE SITE IN ACCORDANCE WITH COUNCIL REQUIREMENTS

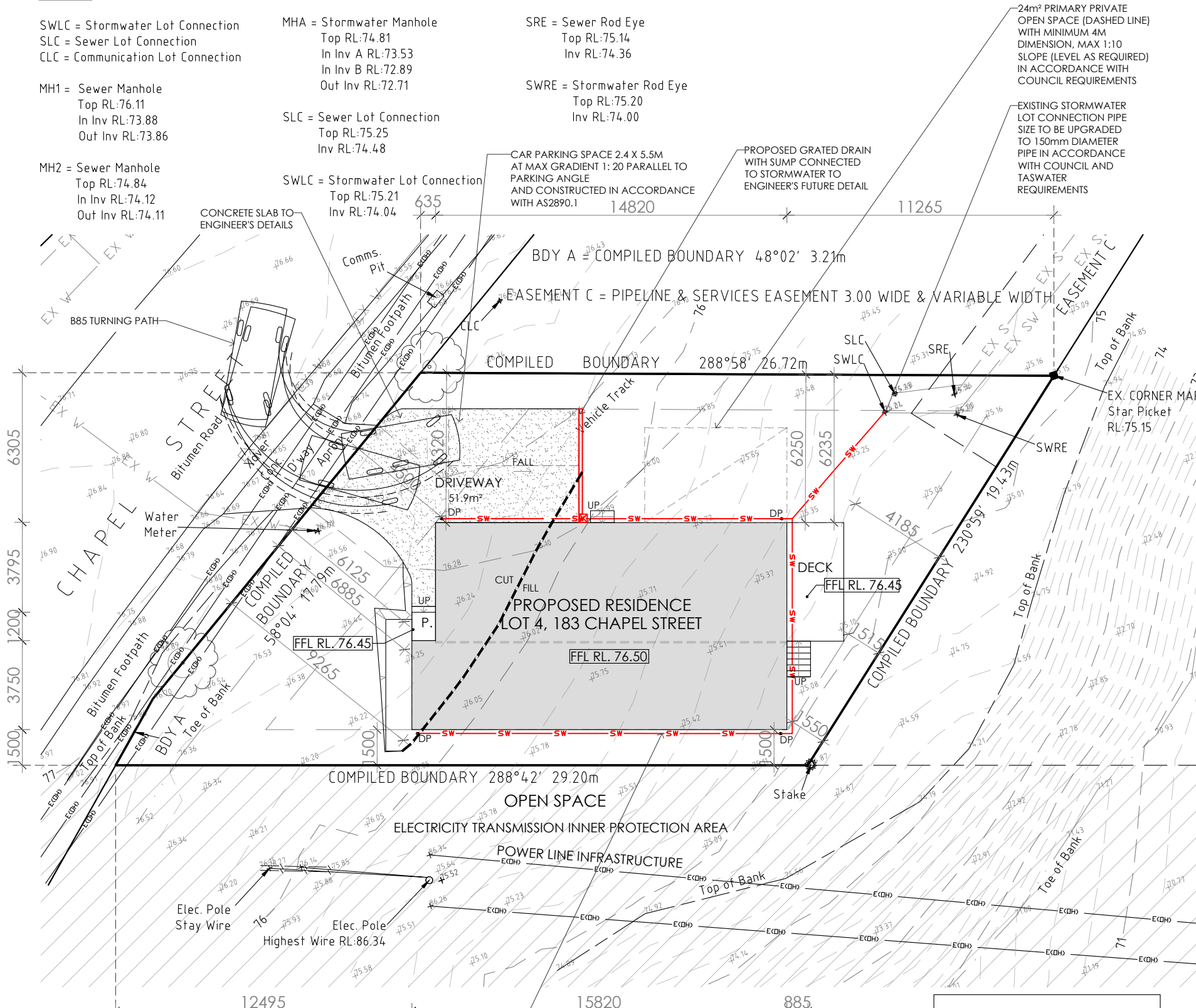
PROPOSED SITE PLAN

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02	PROJECT NORTH	CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS.
		DO NOT SCALE DRAWINGS. ALWAYS USE WRITTEN DIMENSIONS.

LEGEND

- | | | |
|--|--|---|
| SWLC = Stormwater Lot Connection | MHA = Stormwater Manhole
Top RL:74.81
In Inv A RL:73.53
In Inv B RL:72.89
Out Inv RL:72.71 | SRE = Sewer Rod Eye
Top RL:75.14
Inv RL:74.36 |
| SLC = Sewer Lot Connection | SWRE = Stormwater Rod Eye
Top RL:75.20
Inv RL:74.00 | |
| CLC = Communication Lot Connection | | |
| MH1 = Sewer Manhole
Top RL:76.11
In Inv RL:73.88
Out Inv RL:73.86 | SLC = Sewer Lot Connection
Top RL:75.25
Inv RL:74.48 | |
| MH2 = Sewer Manhole
Top RL:74.84
In Inv RL:74.12
Out Inv RL:74.11 | SWLC = Stormwater Lot Connection
Top RL:75.21
Inv RL:74.04 | |



**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No PLN-24-300

DATE RECEIVED 04/12/2024

PRELIMINARY

GPS DATA SCALE LOCATION
JOB CONTROL POINT
POINT NO: #1
DESCRIPTION: SPM9607
GPS SCALE FACTOR = 1.000406625
E: 521089.641
N: 525644.9.806
RL: 75.974
EPU = 0.04±

LOT SERVICES UNABLE TO BE LOCATED:
- NO COMMUNICATIONS LOT CONNECTION

NOTES

- SITE PREPARATION**
THE SITE IS TO BE DISTURBED AS MINIMALLY AS POSSIBLE TO THE EXTENT REQUIRED TO CARRY OUT THE BUILDING WORKS. EARTHWORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH NCC PART 3.2. UN-RETAINED EMBANKMENT GRADIENTS SHALL BE IN ACCORDANCE WITH NCC TABLE 3.2.1. DRAINAGE SHALL BE IN ACCORDANCE WITH NCC PART 3.3.2.
- THE BUILDER AND SUBCONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS, SEWER PIPES AND THE LIKE ARE LOCATED AT A SUFFICIENT DISTANCE FROM ANY BUILDINGS FOOTING AND/OR SLAB EDGE BEAMS SO AS TO PREVENT GENERAL MOISTURE PENETRATION, DAMPNES, WEAKENING & UNDERMINING OF ANY BUILDING AND ITS FOOTING SYSTEM.
- LOCATION OF ALL EXISTING SERVICES TO BE CONFIRMED ON SITE PRIOR TO CONSTRUCTION.
- ATTENTION OF OWNER**
THE OWNERS ATTENTION IS DRAWN TO THE FACT THAT FOUNDATIONS AND ASSOCIATED DRAINAGE FOR ALL SITES REQUIRES CONTINUING MAINTENANCE TO ASSIST FOOTING PERFORMANCE. ADVISE FOR FOUNDATION MAINTENANCE IS CONTAINED IN THE CSIRO BUILDING TECHNOLOGY FILE 18 AND IT IS THE OWNERS RESPONSIBILITY TO MAINTAIN THE SITE IN ACCORDANCE WITH THIS DOCUMENT.
- SOIL AND WATER MANAGEMENT NOTES:**
DRAINAGE LINES ARE TO BE INSTALLED PRIOR TO THE PLACEMENT OF ROOF AND GUTTERING. ONCE DWELLING IS ROOFED, CONNECT IMMEDIATELY. APPLY TEMPORARY COVERING TO DISTURBED AREAS THAT WILL REMAIN EXPOSED FOR 14 DAYS OR MORE DURING CONSTRUCTION (EG. WATERPROOF BLANKET, VEGETATION OR MULCH)
- PROTECT ANY NEARBY OR ON-SITE DRAINAGE PITS FROM SEDIMENT BY INSTALLING SEDIMENT TRAPS AROUND THEM. LIMIT ENTRY/EXIT TO ONE POINT AND STABILISE. INSTALL FACILITIES TO REMOVE DIRT/ MUD FROM VEHICLE WHEELS BEFORE THEY LEAVE THE SITE.
- SITE TO BE VEGETATED AND PLANTED ACCORDING TO THE HOBART REGIONAL SOIL AND WATER MANAGEMENT CODE OF PRACTICE.

BUILDER AND SUBCONTRACTORS TO VERIFY ALL DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. GIVE 24 HOURS MINIMUM NOTICE WHERE AMENDMENTS ARE REQUIRED TO DRAWINGS. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH DOCUMENTATION LISTED ON THE COVER PAGE. DO NOT SCALE DRAWINGS. DIMENSIONS ARE TO TAKE PREFERENCE OVER SCALE. BUILDING SPECIFICATION AND ENGINEERS DRAWINGS SHALL OVERRIDE ARCHITECTURAL DRAWINGS.

- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWING SHEETS, CONSULTANTS DRAWINGS, DOCUMENTS, SCHEDULES AND SPECIFICATIONS (AS APPLICABLE).
- THE BUILDER AND SUBCONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS, SEWER PIPES AND THE LIKE ARE LOCATED AT A SUFFICIENT DISTANCE FROM ANY BUILDINGS FOOTING AND/OR SLAB EDGE BEAMS SO AS TO PREVENT GENERAL MOISTURE PENETRATION, DAMPNES, WEAKENING & UNDERMINING OF ANY BUILDING AND ITS FOOTING SYSTEM.
- LOCATION OF ALL EXISTING ONSITE SERVICES TO BE CONFIRMED ONSITE PRIOR TO CONSTRUCTION

IMPORTANT!
SITE INFORMATION AS DRAWN IS APPROXIMATE ONLY. FINAL SITE INFORMATION IS SUBJECT TO A DETAILED CONTOUR SURVEY BY LICENSED SURVEYOR.

SOIL CLASSIFICATION: --
WIND CLASSIFICATION: --

SITE COVERAGE	
SITE AREA	466.7 m ²
PROPOSED BUILDING FOOTPRINT	134.6 m ²
PROPOSED SITE COVERAGE	28.84 %

**CREATIVE HOMES
HOBART**

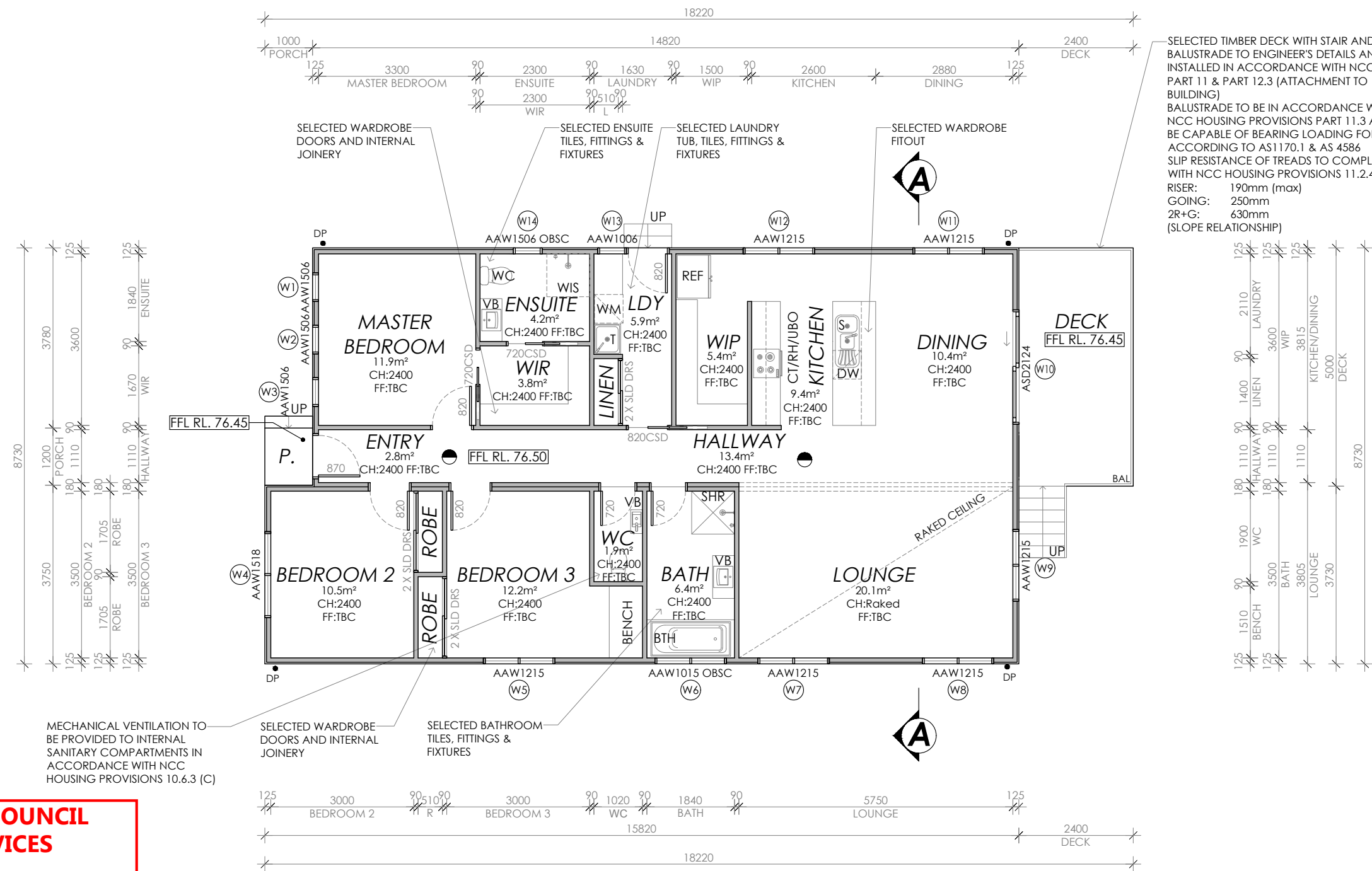
CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

JOB ADDRESS: Lot 4, 183 Chapel Street Glenorchy		CLIENT: CHH
DESIGNER: I. Brown	ACCRED. NO.: CC6652	SHEET: 2 of 9
DRAWN: N. Nguyen	DATE: October 2024	DESIGN TYPE: Custom
CHECKED:	DATE:	DRAWING NO: ---
SCALE: 1:200	REV: E	

REV:	DESCRIPTION:	BY:	DATE:
B	ISSUED FOR CLIENT REVIEW	NN	26/11/24
C	ISSUED FOR CLIENT REVIEW	NN	28/11/24
D	UPDATE WALK IN SHOWER	NN	29/11/24
E	COUNCIL RFI	IB	4/12/24

AREAS:	
FLOOR AREA:	133.1 m ²
PORCH:	1.5 m ²
TOTAL AREA: 134.6 m ²	
DECK:	13.5 m ²

DP	DOWNPIPE LOCATION
SHR	SHOWER
BTH	BATH
VB	VANITY BASIN
WC	TOILET
OHC	OVERHEAD CUPBOARDS
REF	REFRIGERATOR
P	PANTRY
RH	RANGE HOOD
UBO	UNDER BENCH OVEN
CT	COOK TOP
S	SINK
DW	DISH WASHER
T	TROUGH
WM	WASHING MACHINE
MH	MANHOLE
CSD	CAVITY SLIDING DOOR
AAW	ALUM. AWNING WINDOW
AFW	ALUM. FIXED WINDOW
ASD	ALUM. SLIDING DOOR
B/O	BEAM OVER
BAL	BALUSTRADE
WIS	WALK IN SHOWER
BAL	SELECTED BALUSTRADE TO BUILDER'S STANDARD DETAIL INSTALLED IN ACCORDANCE WITH NCC
●	MASONRY ARTICULATION JOINT - LOCATION TO ENGINEER'S DETAILS
●	CEILING MOUNTED INTERCONNECTED SMOKE DETECTORS, MAINS WIRED WITH BATTERY BACKUP, ALL IN ACCORDANCE WITH AS 3786.
●	90mm DOWNPIPE



SELECTED TIMBER DECK WITH STAIR AND BALUSTRADE TO ENGINEER'S DETAILS AND INSTALLED IN ACCORDANCE WITH NCC PART 11 & PART 12.3 (ATTACHMENT TO BUILDING)

BALUSTRADE TO BE IN ACCORDANCE WITH NCC HOUSING PROVISIONS PART 11.3 AND BE CAPABLE OF BEARING LOADING FORCES ACCORDING TO AS 1170.1 & AS 4586

SLIP RESISTANCE OF TREADS TO COMPLY WITH NCC HOUSING PROVISIONS 11.2.4

(SLOPE RELATIONSHIP)

Framing NCC H1D6
All timber framing, fixing and bracing shall comply with AS 1684 and the requirements of NCC H1D6. Manufactured sizes must not be undersized to those specified, for all timber sizes, stress grades, spacing and wall bracing refer to Engineer's details. Tie-down details shall be in accordance with Engineer's details and comply with NCC H1D6 (4). Structural steel members shall comply with the requirements of clauses in NCC H1D6 (3). Refer to Engineer's details where provided.

Glazing NCC H1D8
All windows to be aluminium awning style, double glazed (obscured safety glass to bathrooms as shown on drawings) All glazing shall comply with the requirements of AS 2047 & AS 1288 and NCC H1D8.

Human impact safety requirements shall comply with NCC H1D8 (3) and Part 8.4 of the ABCB Housing provisions.

Note:
Builder and subcontractors to verify all dimension and levels prior to the commencement of any work. Give 24hrs minimum notice where amendments are required to design of working drawings. These drawings are to be read in conjunction with Engineer's and Surveyor's drawings and notes. Do not scale drawings. Dimensions are to take preference over scale. Building specification and Engineer's drawings shall override architectural drawings. All construction work shall be carried out in accordance with the state building regulations, local council by-laws and relevant NCC and AS codes.

Important notice for attention of Owners:
the Owners attention is drawn to the fact that foundations and associated drainage in all sites requires continuing maintenance to assist footing performance. Advice for foundation maintenance is contained in the CSIRO building technology file 18 and it is the Owners responsibility to maintain the site in accordance with this document.

Energy efficiency:
Insulation must comply with AS/NZS4859.1 and be installed in accordance with ABCB housing provisions Part 13.2.2 and comply with minimum R values for climate zone 7.

Bulk insulation between external studs to be insulated with min R2.0. (Ensure batts fit within cavity without compression, making sure that there is at least 25mm gap from the reflective surface). External walls are to be clad with vapour permeable reflective foil over the outside of the timber frame. Ceiling to be insulated with R4.0 and vapour permeable sarking. Floor to be insulated with Min R1.7 batts where applicable. Seal exhaust fans to Ensuite, Bathroom, Laundry and Kitchen. All downlights to be IC rated. Construction of the external walls, floor and roof for compliance with building sealing requirements shall comply with BCA 2019 Part 3.12

General:
All flashings, weep holes and damp proof coursing to be in accordance with NCC Housing provisions Part 5.7. Fibre cement sheet in accordance with NCC Housing provisions Part 7.5. Block construction in accordance NCC Housing provisions Part 5. Plasterboard linings to internal walls and ceilings with selected cornice. (see below for wet areas)

Wet areas: All wet areas shall comply with the requirements of ABCB Housing provisions Part 10.2. Provide waterproof plasterboard sheeting to all walls and ceilings. Provide ceramic tiles or other approved water resistant lining in accordance with Part 10.2.9 to a minimum height of 1800mm to shower walls and to a height of min 150mm behind baths, basins, sinks, troughs, washing machines and wall fixtures.

For construction of floor wastes refer to NCC ABCB Housing provisions part 10.2.12. For typical installation requirements for substrate preparation, penetrations, flashings/ junctions, membranes, screeds, hobs, baths, showers, door jambs and screens refer to ABCB Housing provisions part 10.2.14-32.

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No **PLN-24-300**

DATE RECEIVED **04/12/2024**

PROPOSED FLOOR PLAN
FLOOR AREA: 134.6m²

PRELIMINARY

CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

JOB ADDRESS: Lot 4, 183 Chapel Street Glenorchy		CLIENT: CHH
DESIGNER: I. Brown	ACCRED. NO.: CC6652	SHEET: 3 of 9
DRAWN: N. Nguyen	DATE: October 2024	DESIGN TYPE: Custom
CHECKED:	DATE:	DRAWING NO: ---
SCALE: 1:100	REV: E	

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03	PROJECT NORTH	CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS.	REV: B	DESCRIPTION: ISSUED FOR CLIENT REVIEW	BY: NN	DATE: 26/11/24
		DO NOT SCALE DRAWINGS. ALWAYS USE WRITTEN DIMENSIONS.	REV: C	ISSUED FOR CLIENT REVIEW	BY: NN	DATE: 28/11/24
			REV: D	UPDATE WALK IN SHOWER	BY: NN	DATE: 29/11/24
			REV: E	COUNCIL RFI	BY: IB	DATE: 4/12/24

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No PLN-24-300

DATE RECEIVED 04/12/2024

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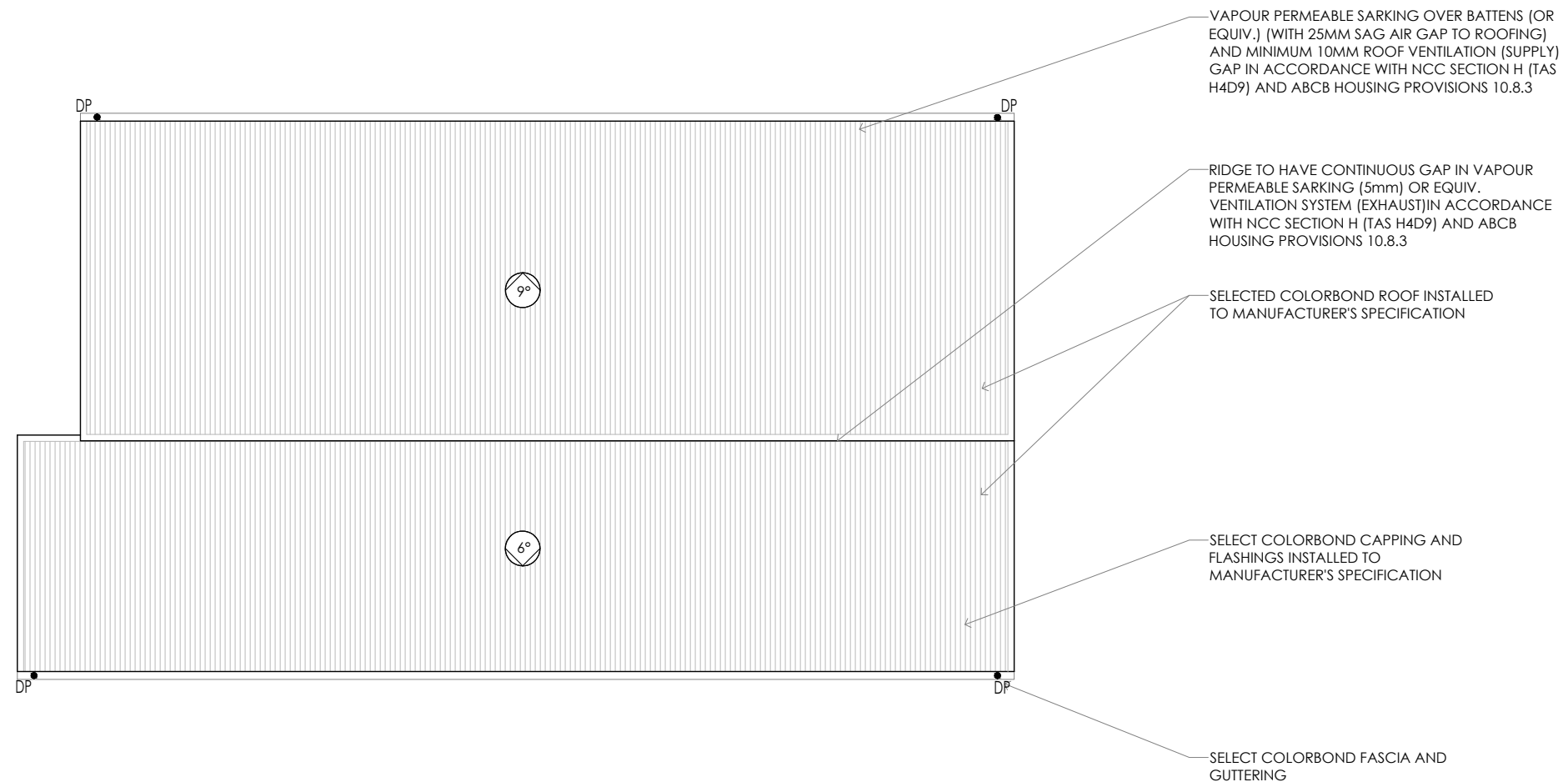
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Energy efficiency:
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PROPOSED ROOF PLAN

PRELIMINARY

● DP 90mm DOWNPIPE

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04



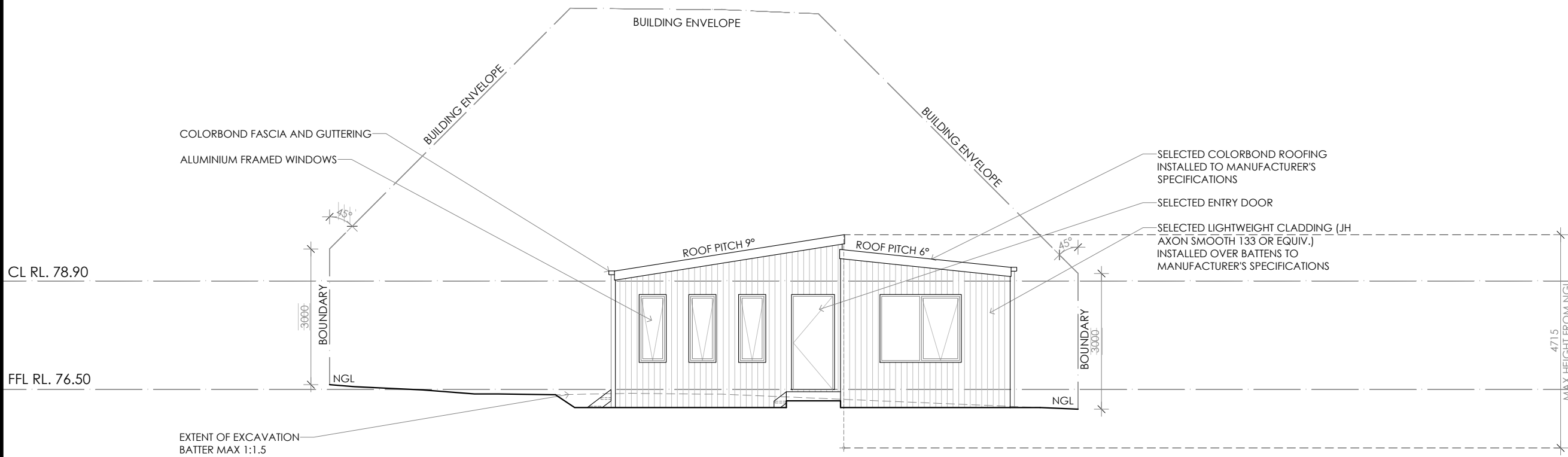
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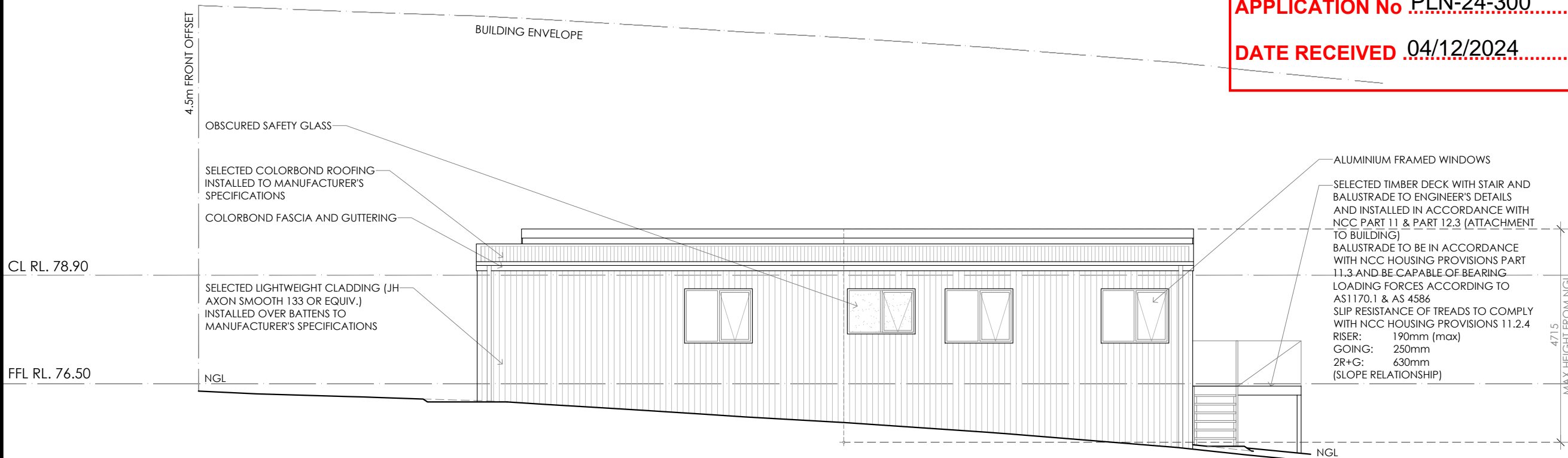
**CREATIVE HOMES
HOBART**

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SCALE: 1:100	REV: E	



WESTERN ELEVATION



SOUTHERN ELEVATION

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No PLN-24-300

DATE RECEIVED 04/12/2024

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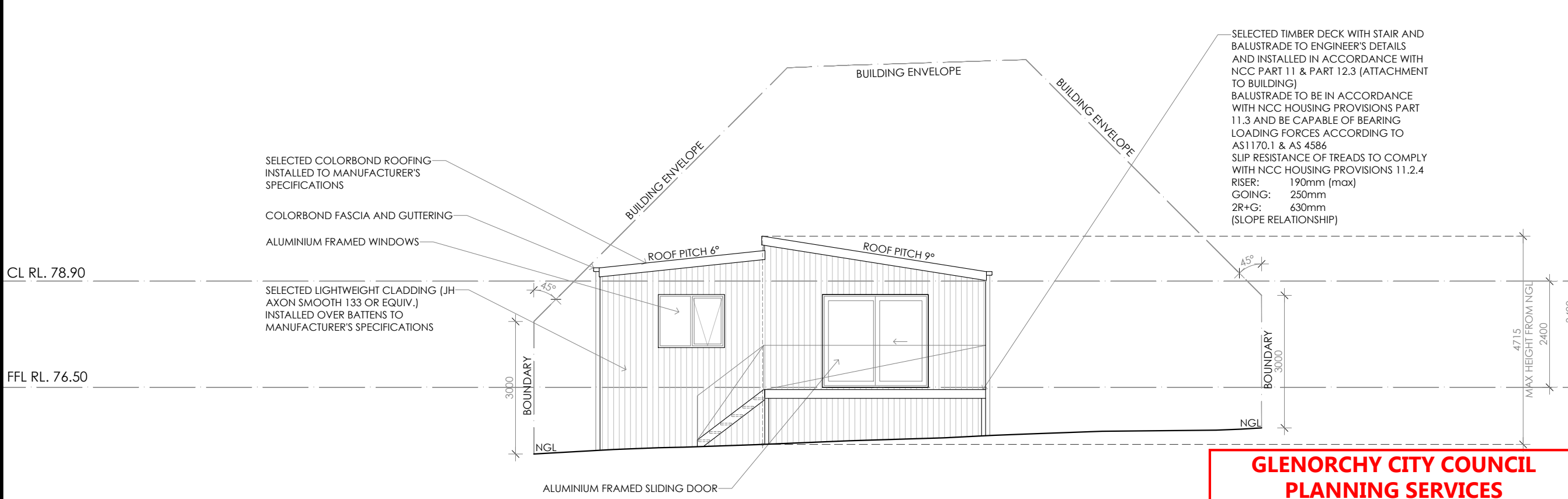
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**CREATIVE HOMES
HOBART**

CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

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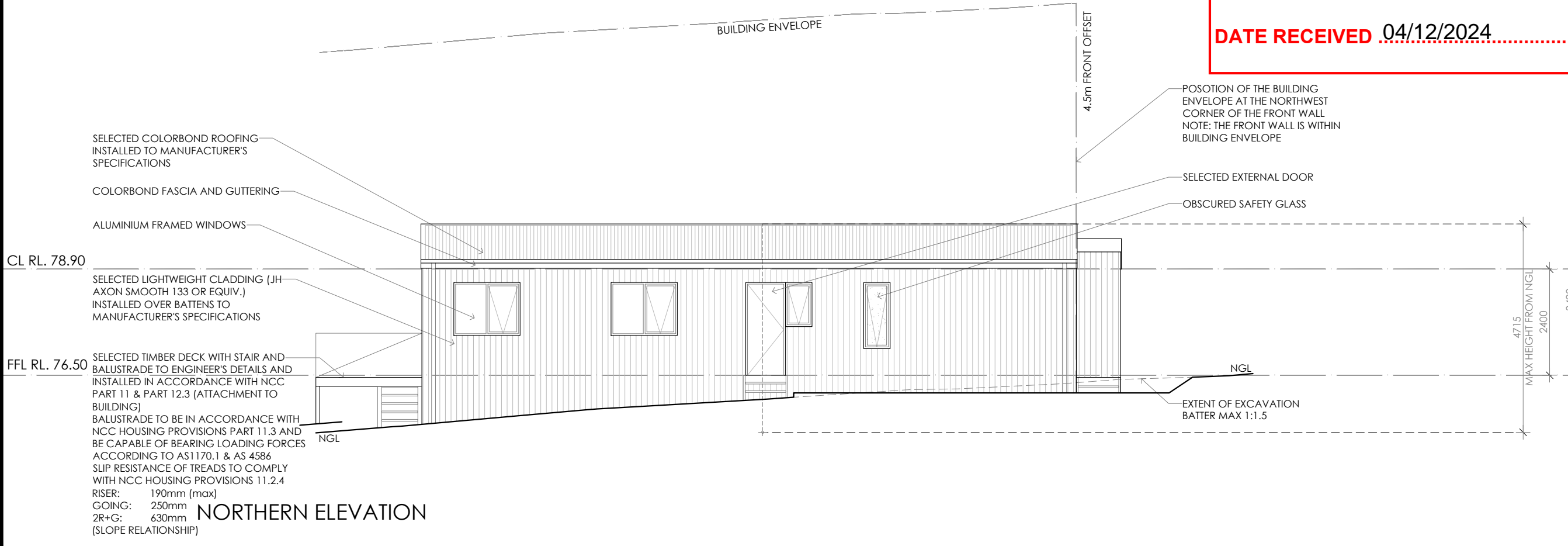


EASTERN ELEVATION

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No PLN-24-300

DATE RECEIVED 04/12/2024



NORTHERN ELEVATION

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Builder and subcontractors to verify all dimension and levels prior to the commencement of any work. Give 24hrs minimum notice where amendments are required to design of working drawings. These drawings are to be read in conjunction with Engineer's and Surveyor's drawings and notes. Do not scale drawings. Dimensions are to take preference over scale. Building specification and Engineer's drawings shall override architectural drawings. All construction work shall be carried out in accordance with the state building regulations, local council by-laws and relevant NCC and AS codes.

Important notice for attention of Owners: the Owners attention is drawn to the fact that foundations and associated drainage in all sites requires continuing maintenance to assist footing performance. Advice for foundation maintenance is contained in the CSIRO building technology file 18 and it is the Owners responsibility to maintain the site in accordance with this document.

Energy efficiency:
Insulation must comply with AS/NZS4859.1 and be installed in accordance with ABCB housing provisions Part 13.2.2 and comply with minimum R values for climate zone 7.

Bulk insulation between external studs to be insulated with min R2.0. (Ensure batts fit within cavity without compression, making sure that there is at least 25mm gap from the reflective surface). External walls are to be clad with vapour permeable reflective foil over the outside of the timber frame. Ceiling to be insulated with R4.0 and vapour permeable sarking. Floor to be insulated with Min R1.7 batts where applicable. Seal exhaust fans to Ensuite, Bathroom, Laundry and Kitchen. All downlights to be IC rated. Construction of the external walls, floor and roof for compliance with building sealing requirements shall comply with BCA 2019 Part 3.12

General:
All flashings, weep holes and damp proof coursing to be in accordance with NCC Housing provisions Part 5.7. Fibre cement sheet in accordance with NCC Housing provisions Part 7.5. Block construction in accordance NCC Housing provisions Part 5. Plasterboard linings to internal walls and ceilings with selected cornice. (see below for wet areas)

Wet areas: All wet areas shall comply with the requirements of ABCB Housing provisions Part 10.2. Provide waterproof plasterboard sheeting to all walls and ceilings. Provide ceramic tiles or other approved water resistant lining in accordance with Part 10.2.9 to a minimum height of 1800mm to shower walls and to a height of min 150mm behind baths, basins, sinks, troughs, washing machines and wall fixtures.

For construction of floor wastes refer to NCC ABCB Housing provisions part 10.2.12. For typical installation requirements for substrate preparation, penetrations, flashings/ junctions, membranes, screeds, hobs, baths, showers, door jambs and screens refer to ABCB Housing provisions part 10.2.14-32.

PRELIMINARY

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06	PROJECT NORTH	CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS.	REV: B	DESCRIPTION: ISSUED FOR CLIENT REVIEW	BY: NN	DATE: 26/11/24
		DO NOT SCALE DRAWINGS. ALWAYS USE WRITTEN DIMENSIONS.	C	ISSUED FOR CLIENT REVIEW	NN	28/11/24
			D	UPDATE WALK IN SHOWER	NN	29/11/24
			E	COUNCIL RFI	IB	4/12/24

**CREATIVE HOMES
HOBART**

CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

JOB ADDRESS: Lot 4, 183 Chapel Street Glenorchy		CLIENT: CHH
DESIGNER: I. Brown	ACCRED. NO.: CC6652	SHEET: 6 of 9
DRAWN: N. Nguyen	DATE: October 2024	DESIGN TYPE: Custom
CHECKED:	DATE:	DRAWING NO: ---
SCALE: 1:100	REV: E	

Framing NCC H1D6
All timber framing, fixing and bracing shall comply with AS 1684 and the requirements of NCC H1D6. Manufactured sizes must not be undersized to those specified, for all timber sizes, stress grades, spacing and wall bracing refer to Engineer's details. Tie-down details shall be in accordance with Engineer's details and comply with NCC H1D6 (4). Structural steel members shall comply with the requirements of clauses in NCC H1D6 (3). Refer to Engineer's details where provided.

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All windows to be aluminium awning style, double glazed (obscured safety glass to bathrooms as shown on drawings) All glazing shall comply with the requirements of AS 2047 & AS 1288 and NCC H1D8.

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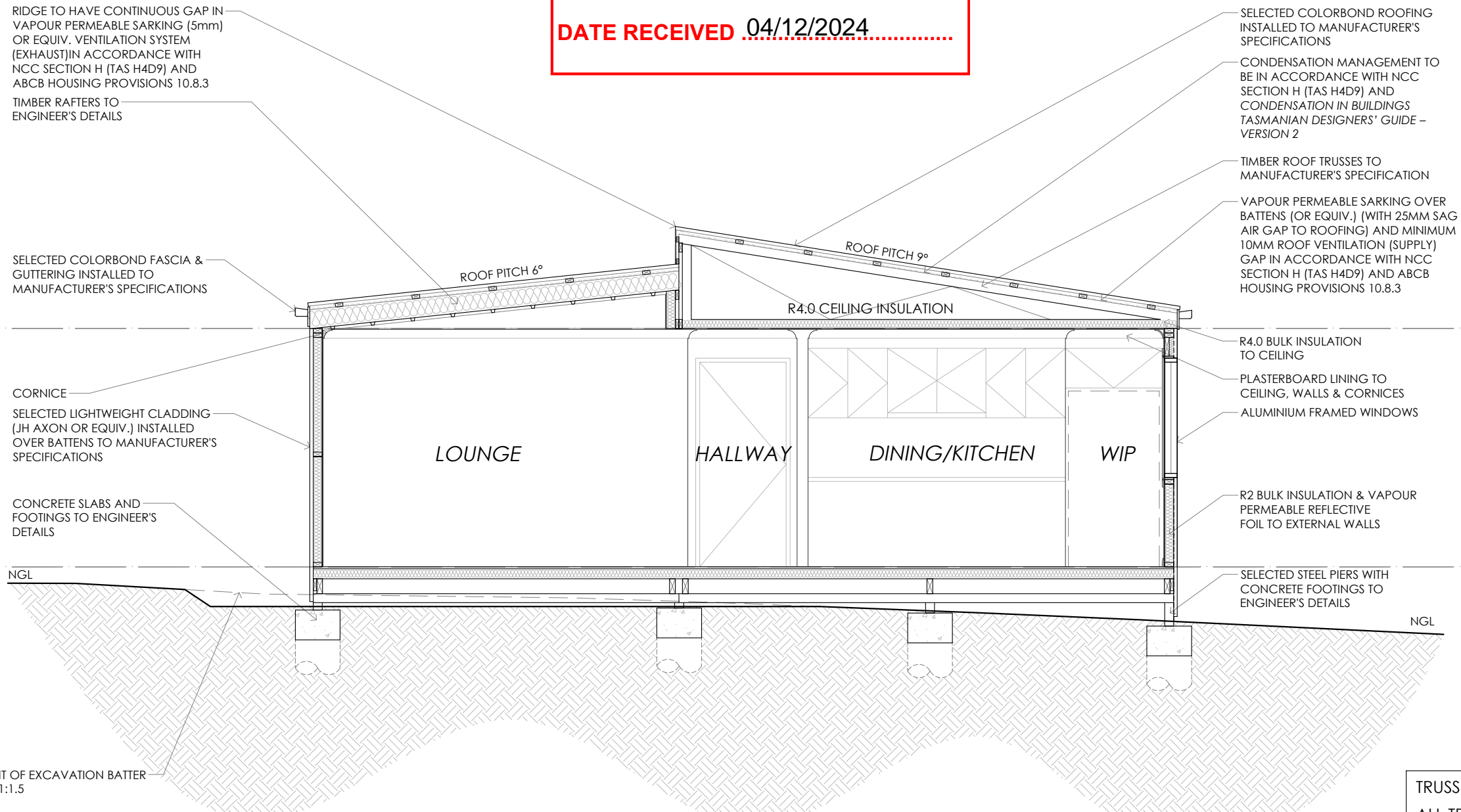
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**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
APPLICATION No PLN-24-300
DATE RECEIVED 04/12/2024

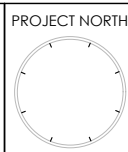


SECTION A-A

PRELIMINARY

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07



CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS.
DO NOT SCALE DRAWINGS.
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B	ISSUED FOR CLIENT REVIEW	NN	26/11/24
C	ISSUED FOR CLIENT REVIEW	NN	28/11/24
D	UPDATE WALK IN SHOWER	NN	29/11/24
E	COUNCIL RFI	IB	4/12/24

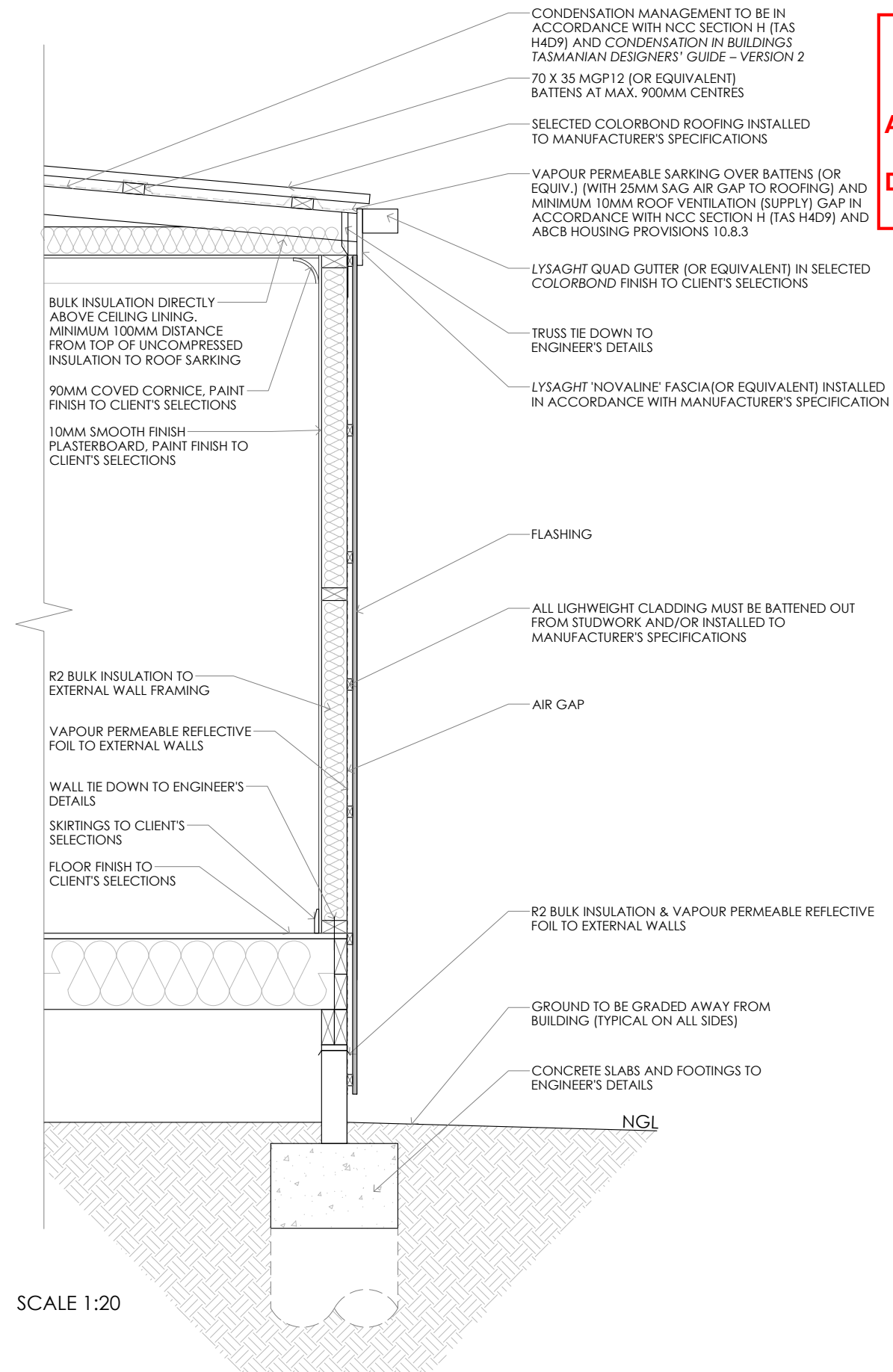
CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

JOB ADDRESS: Lot 4, 183 Chapel Street Glenorchy		CLIENT: CHH
DESIGNER: I. Brown	ACCRED. NO.: CC6652	SHEET: 7 of 9
DRAWN: N. Nguyen	DATE: October 2024	DESIGN TYPE: Custom
CHECKED:	DATE:	DRAWING NO: ---
SCALE: 1:50	REV: E	

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No PLN-24-300

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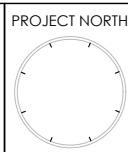
FLOOR, WALL & ROOF DETAIL SCALE 1:20

TYPICAL SECTION DETAILS

PRELIMINARY

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08



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SCALE: AS SHOWN	REV: E	



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**GLENORCHY CITY COUNCIL
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WINDOW SCHEDULE

fg FIXED GLAZING

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