

DEVELOPMENT APPLICATION

APPLICATION NUMBER: PLN-24-225

PROPOSED DEVELOPMENT: Single Dwelling (Residential)

LOCATION: 24 Presnell Street Granton

APPLICANT: Ronald Young & Co Builders Pty Ltd

ADVERTISING START DATE: 18/12/2024

ADVERTISING EXPIRY DATE: 10/01/2025

Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and the plans are available on Glenorchy City Council's website (www.gcc.tas.gov.au) until 10/01/2025.

During this time, any person may make representations relating to the applications by letter addressed to the Chief Executive Officer, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to gccmail@gcc.tas.gov.au.

Representations must be received by no later than 11.59 pm on **10/01/2025**, or for postal and hand delivered representations, by 5.00 pm on **10/01/2025**.

THIS PLAN IS ACCEPTED BY:

PLEASE NOTE: No Variations will be permitted after plans are signed by the client (with exception of Council requirements/ approvals. SIGNATURE:

DATE:

Ground FL	14.850
CL	17.250

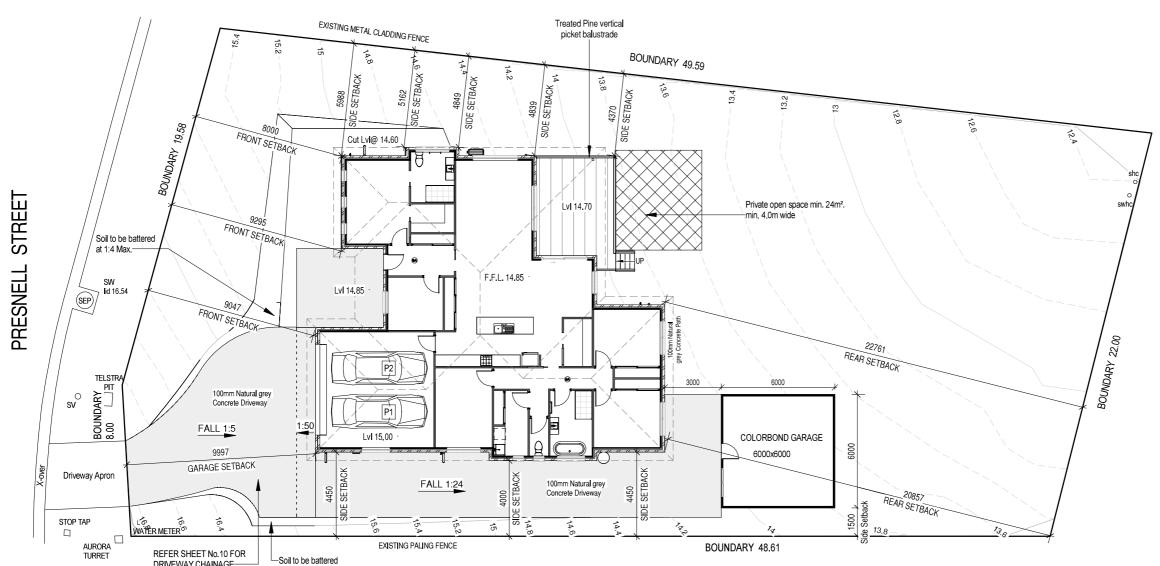
GLENORCHY CITY COUNCIL PLANNING SERVICES

APPLICATION No .PLN-24-225

DATE RECEIVED .10/12/2024



174 Bathurst Street, Hobart, Tasmania 7000 Phone 03 6234 7633



AREA SCHEDULE

Ground Floor(Dwelling) : 184.8 m² 41.4 m² Total Area : 226.2 m²

Colorbond Garage : 36 m²

: 19.1 m² Porch DECK (Including steps) : 24.0 m²

: 163 m² Driveway Area (Approx.)

NOTE:

D 09.12.2024 Front Setback modified

A 21.08.2024 Modified as feedback

16.08.2024 BA PLANS

Rev. Date

B 03.10.2024 Dwelling/Garage IvI modified

Revision Description

C 21.10.2024 L'dry modified

Builders' responsibility to protect stormwater pipes during construction.

GLAZING NOTE:

RK

RK

RK

RK

RK

Drawn

All windows are Double glazed

BAL: Exempt

© This document is copyright and may not be reproduced without the written consent of Ronald Young & Co Builders Pty Ltd. Compllance No. CC102Y - James Collins

09.12.2024 DATE: PROJECT No: 2302

01

DRAWING: SITE PLAN

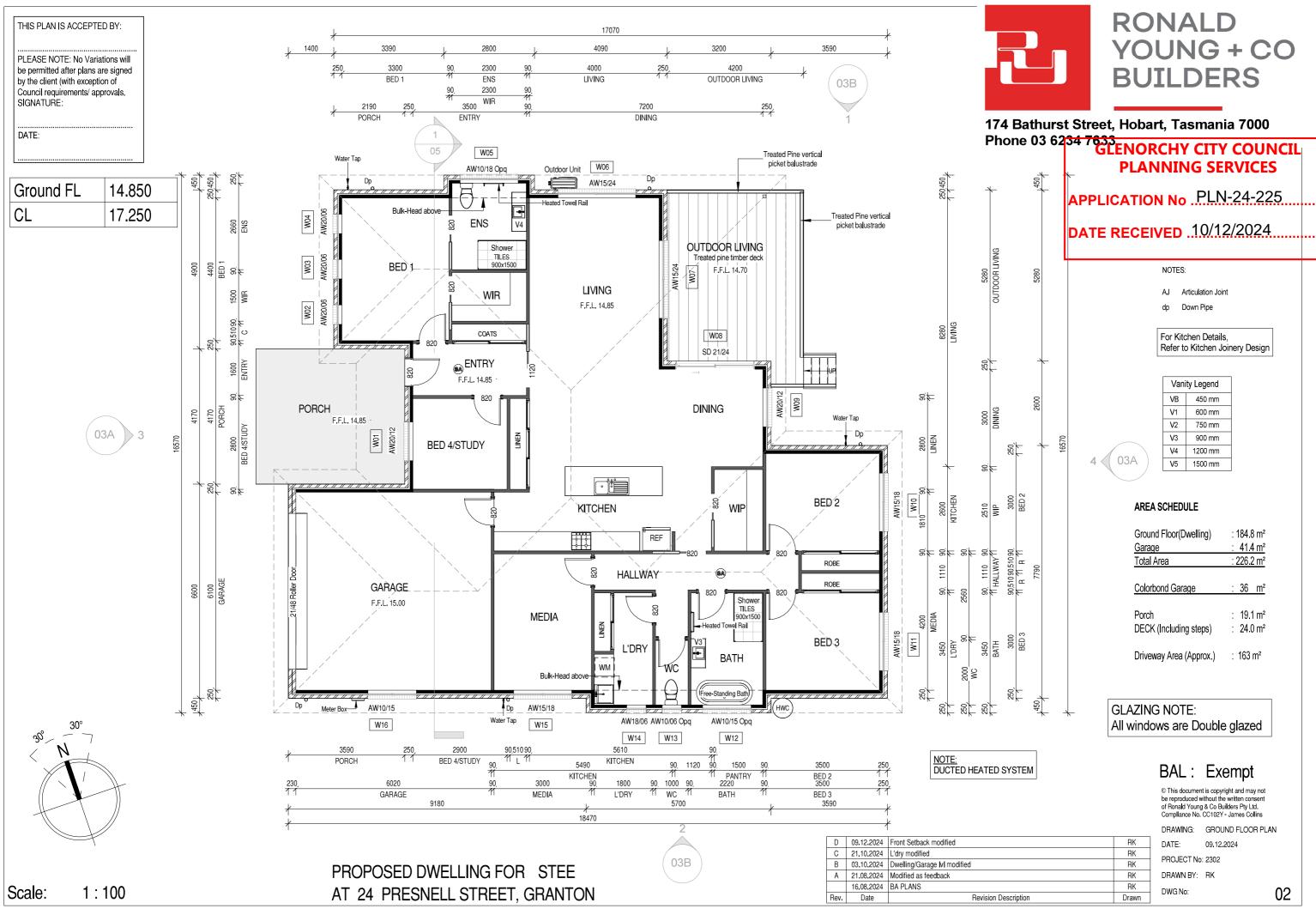
DRAWN BY: RK

DWG No:

1:200

PROPOSED DWELLING FOR STEE AT 24 PRESNELL STREET, GRANTON

Scale:



THIS PLAN IS ACCEPTED BY: PLEASE NOTE: No Variations will be permitted after plans are signed by the client (with exception of Council requirements/ approvals. SIGNATURE:

DATE:

GLENORCHY CITY COUNCIL PLANNING SERVICES

D 09.12.2024 Front Setback modified

A 21.08.2024 Modified as feedback

16.08.2024 BA PLANS

Rev. Date

B 03.10.2024 Dwelling/Garage IvI modified

Revision Description

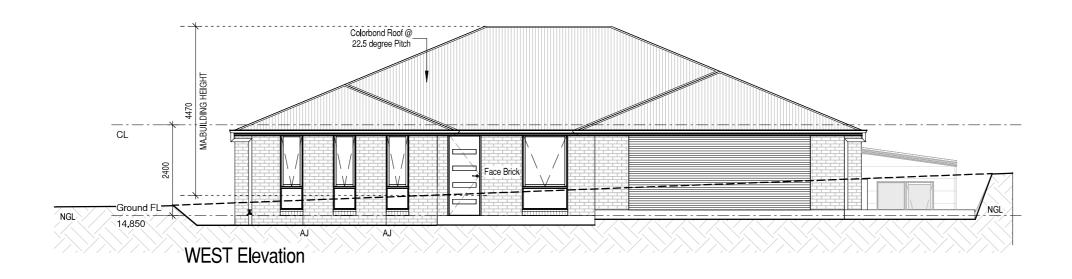
C 21.10.2024 L'dry modified

APPLICATION No. PLN-24-225

DATE RECEIVED .10/12/2024



174 Bathurst Street, Hobart, Tasmania 7000 Phone 03 6234 7633





EAST Elevation

GLAZING NOTE: All windows are Double glazed

BAL: Exempt

© This document is copyright and may not be reproduced without the written consent of Ronald Young & Co Builders Pty Ltd. Compllance No. CC102Y - James Collins

DRAWING: ELEVATIONS 01

RK

RK

RK

RK

RK

Drawn

DATE: 09.12.2024

PROJECT No: 2302

DRAWN BY: RK

DWG No:

03A

PROPOSED DWELLING FOR STEE AT 24 PRESNELL STREET, GRANTON

THIS PLAN IS ACCEPTED BY: PLEASE NOTE: No Variations will be permitted after plans are signed by the client (with exception of Council requirements/ approvals. SIGNATURE: DATE:

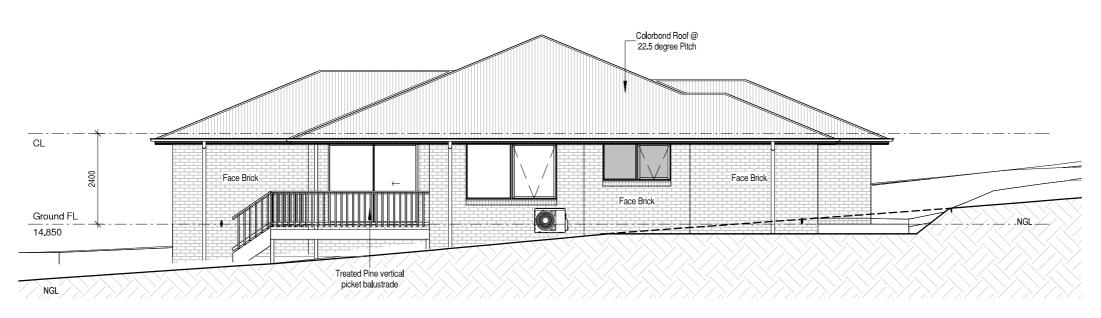
GLENORCHY CITY COUNCIL PLANNING SERVICES

APPLICATION No .PLN-24-225

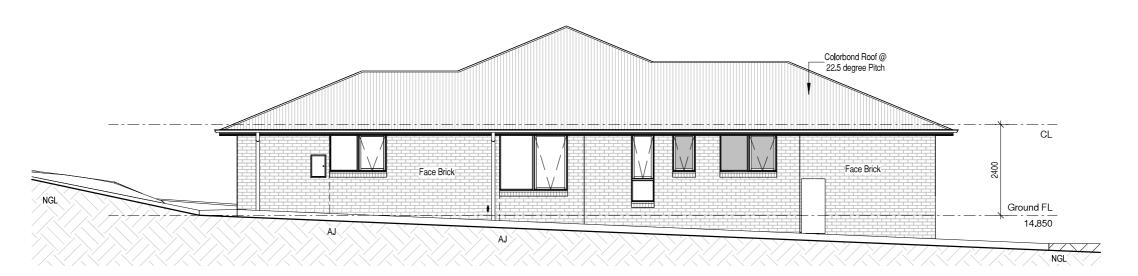
DATE RECEIVED .10/12/2024



174 Bathurst Street, Hobart, Tasmania 7000 Phone 03 6234 7633



NORTH Elevation



GLAZING NOTE: All windows are Double glazed

SOUTH Elevation

 D
 09.12.2024
 Front Setback modified
 RK

 C
 21.10.2024
 L'dry modified
 RK

 B
 03.10.2024
 Dwelling/Garage M modified
 RK

 A
 21.08.2024
 Modified as feedback
 RK

 16.08.2024
 BA PLANS
 RK

Revision Description

Rev. Date

BAL: Exempt

© This document is copyright and may not be reproduced without the written consent of Ronald Young & Co Builders Pty Ltd. Compllance No. CC102Y - James Collins

DRAWING: ELEVATIONS 02
DATE: 09.12.2024

PROJECT No: 2302

DRAWN BY: RK

DWG No:

Drawn

03B

PROPOSED DWELLING FOR STEE AT 24 PRESNELL STREET, GRANTON

Scale:

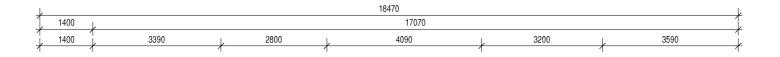
1:100

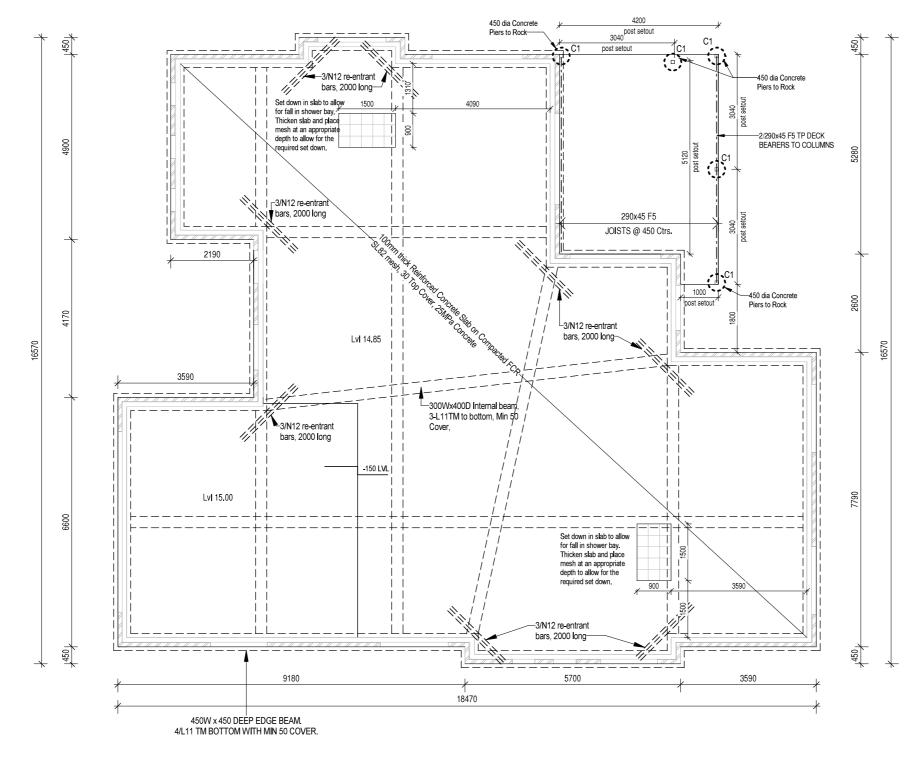
THIS PLAN IS ACCEPTED BY:

PLEASE NOTE: No Variations will be permitted after plans are signed by the client (with exception of Council requirements/ approvals. SIGNATURE:

DATE:

DATE:







174 Bathurst Street, Hobart, Tasmania 7000 Phone 03 6234 7633

Site Classification 'Class H2'

GLENORCHY CITY COUNCIL PLANNING SERVICES

APPLICATION No. PLN-24-225

DATE RECEIVED .10/12/2024

BAL: Exempt

© This document is copyright and may not be reproduced without the written consent of Ronald Young & Co Builders Pty Ltd. Compllance No. CC102Y - James Collins

DRAWING: SLAB GROUND FLOOR

DATE: 09.12.2024
PROJECT No: 2302
DRAWN BY: RK

DWG No:

04

PROPOSED DWELLING FOR STEE AT 24 PRESNELL STREET, GRANTON

 D
 09.12.2024
 Front Setback modified
 RK
 Front Setback modified
 RK
 RK
 RK
 RK
 B
 C
 21.10.2024
 L'dry modified
 RK
 RK
 RK
 RK
 A
 A
 Description
 A
 BR
 A
 BR
 BR

1:100

Scale:

THIS PLAN IS ACCEPTED BY:

PLEASE NOTE: No Variations will be permitted after plans are signed by the client (with exception of Council requirements/ approvals. SIGNATURE:

DATE:

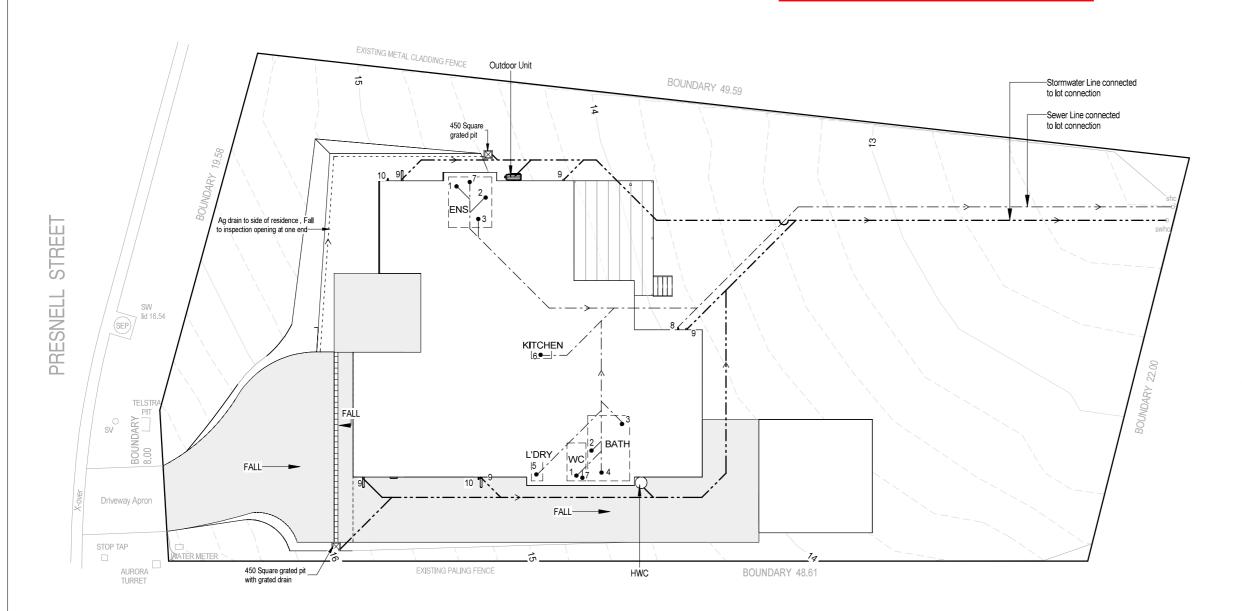
GLENORCHY CITY COUNCIL PLANNING SERVICES

APPLICATION No .PLN-24-225

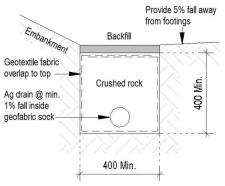
DATE RECEIVED .10/12/2024...



174 Bathurst Street, Hobart, Tasmania 7000 Phone 03 6234 7633



	Min. Ø		
Abbr.	TYPE	Outlet size	
1	Water closet pan	100	
2	HandBasin	40	
3	Shower	50	
4	Bath	40	
5	Laundry Trough	50	
6	Kitchen Sink	50	
7	Vent	50	
8	Tap Charged ORG min.150mm below FFL		
9	Downpipe	90	
10	Тар		
i.0.	Inspection Opening to Ground LvI		
f/w	Floor Waste		
_	- Sewer line 100Ø UPVC U.N.O.		
_	Stormwater line 100Ø UPVC U.N.O	•	



AG Drain (Typical)

BAL: Exempt

© This document is copyright and may not be reproduced without the written consent of Ronald Young & Co Builders Pty Ltd. Compllance No. CC102Y - James Collins

DRAWING: DRAINAGE PLAN
DATE: 09.12.2024
PROJECT No: 2302

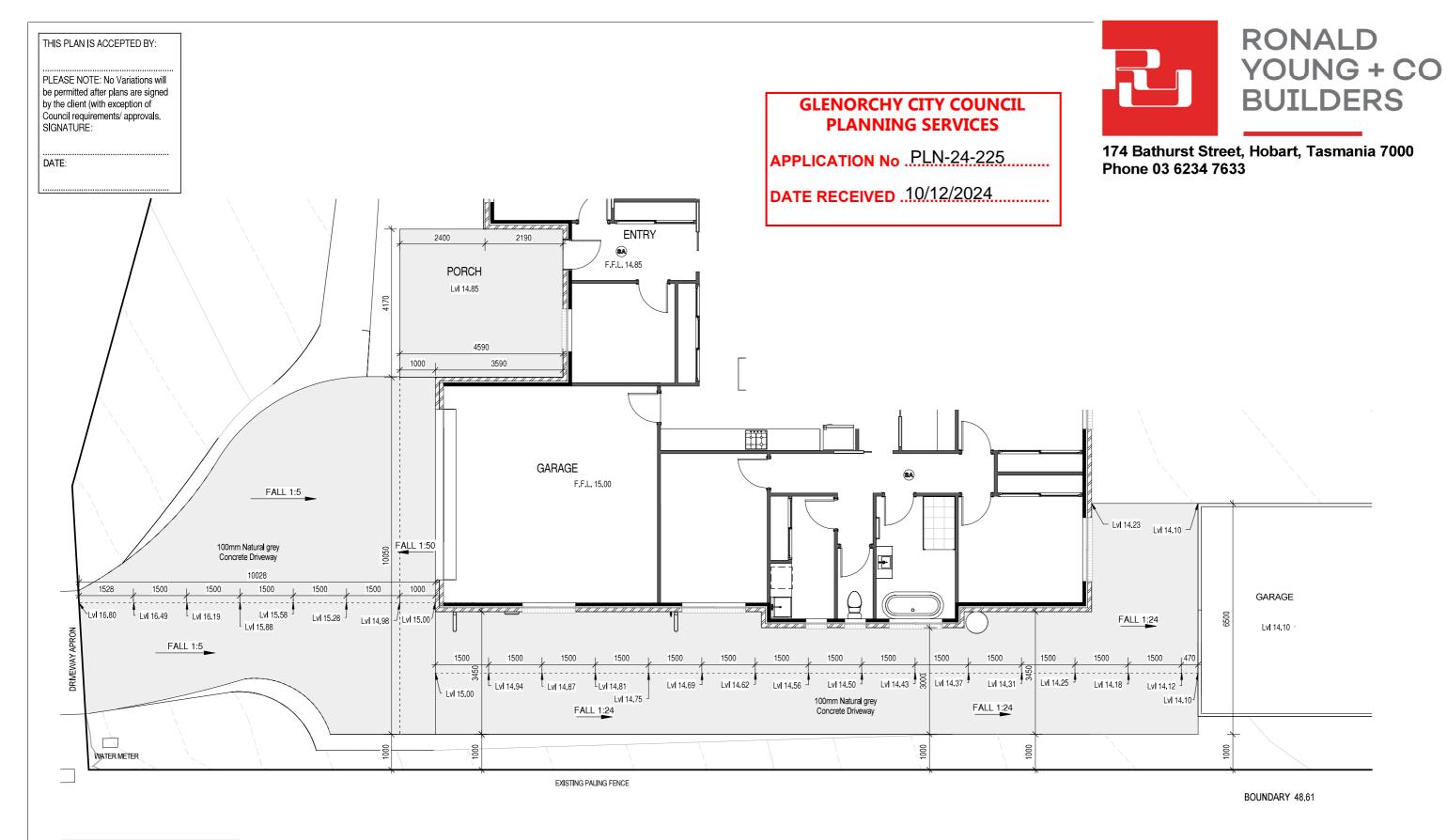
DRAWN BY: RK
DWG No:

PROPOSED DWELLING FOR STEE AT 24 PRESNELL STREET, GRANTON

Rev.	Date	Revision Description	Drawn] '
	16.08.2024	BA PLANS	RK	ļ ,
Α	21.08.2024	Modified as feedback	RK] [
В	03.10.2024	Dwelling/Garage IvI modified	RK	_ '
С	21,10,2024	L'dry modified	RK] ,
D	09.12.2024	Front Setback modified	RK] [

Scale:

1:200



GLAZING NOTE: All windows are Double glazed

1:100

PROPOSED DWELLING FOR STEE AT 24 PRESNELL STREET, GRANTON

D 09.12.2024 Front Setback modified RK C 21.10,2024 L'dry modified RK B 03.10,2024 Dwelling/Garage M modified RK A 21.08,2024 Modified as feedback RK 16.08,2024 BA PLANS RK Rev. Date Revision Description Drawn

BAL: Exempt

© This document is copyright and may not be reproduced without the written consent of Ronald Young & Co Builders Pty Ltd. Compllance No. CC102Y - James Collins

DRAWING: DRIVEWAY CHAINAGE
DATE: 09.12.2024

PROJECT No: 2302
DRAWN BY: RK

DWG No:

10

Document Set ID: 3442333 Version: 1, Version Date: 10/12/2024

Scale: