

## DEVELOPMENT APPLICATION

<b>APPLICATION NUMBER:</b>	PLN-24-225
<b>PROPOSED DEVELOPMENT:</b>	Single Dwelling (Residential)
<b>LOCATION:</b>	24 Presnell Street Granton
<b>APPLICANT:</b>	Ronald Young & Co Builders Pty Ltd
<b>ADVERTISING START DATE:</b>	18/12/2024
<b>ADVERTISING EXPIRY DATE:</b>	10/01/2025

Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and the plans are available on Glenorchy City Council's website ([www.gcc.tas.gov.au](http://www.gcc.tas.gov.au)) until **10/01/2025**.

During this time, any person may make representations relating to the applications by letter addressed to the Chief Executive Officer, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to [gccmail@gcc.tas.gov.au](mailto:gccmail@gcc.tas.gov.au).

Representations must be received by no later than 11.59 pm on **10/01/2025**, or for postal and hand delivered representations, by 5.00 pm on **10/01/2025**.





THIS PLAN IS ACCEPTED BY:

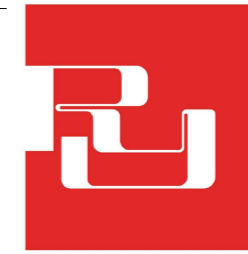
PLEASE NOTE: No Variations will be permitted after plans are signed by the client (with exception of Council requirements/ approvals. SIGNATURE:

DATE:

**GLENORCHY CITY COUNCIL  
PLANNING SERVICES**

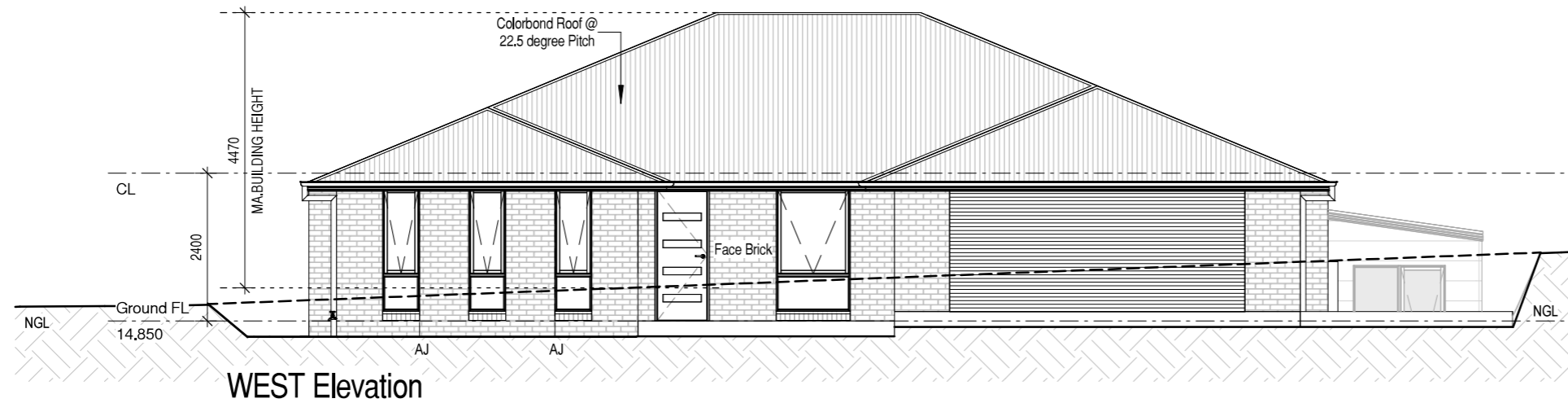
APPLICATION No PLN-24-225

DATE RECEIVED 10/12/2024



**RONALD  
YOUNG + CO  
BUILDERS**

174 Bathurst Street, Hobart, Tasmania 7000  
Phone 03 6234 7633



**GLAZING NOTE:**  
All windows are Double glazed

**BAL : Exempt**

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DRAWING: ELEVATIONS 01

DATE: 09.12.2024

PROJECT No: 2302

DRAWN BY: RK

DWG No:

Scale: 1 : 100

**PROPOSED DWELLING FOR STEE  
AT 24 PRESNELL STREET, GRANTON**

Rev.	Date	Revision Description	Drawn
D	09.12.2024	Front Setback modified	RK
C	21.10.2024	L'dry modified	RK
B	03.10.2024	Dwelling/Garage lvl modified	RK
A	21.08.2024	Modified as feedback	RK
	16.08.2024	BA PLANS	RK

**03A**

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PLANNING SERVICES**

APPLICATION No PLN-24-225

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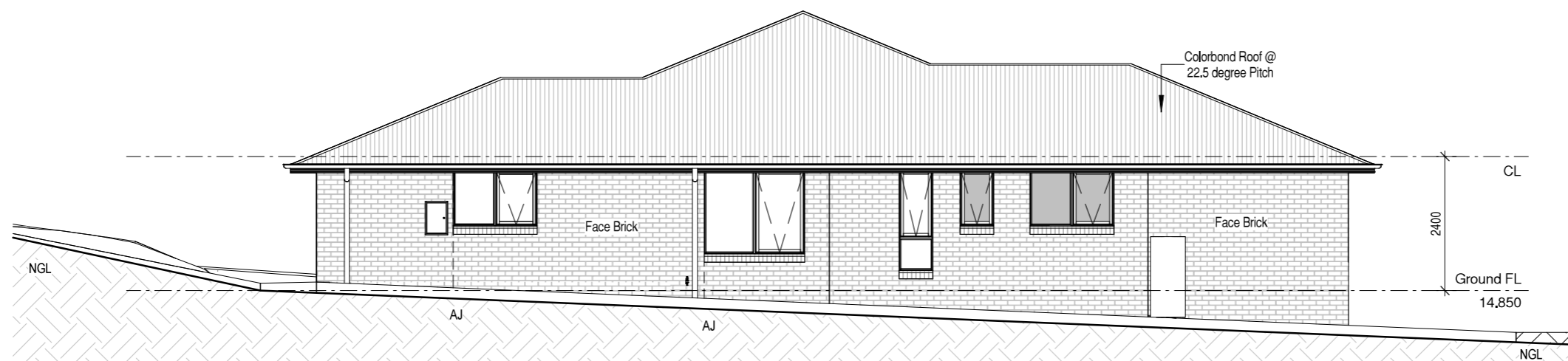


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**NORTH Elevation**



**SOUTH Elevation**

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DRAWING: ELEVATIONS 02

DATE: 09.12.2024

PROJECT No: 2302

DRAWN BY: RK

DWG No:

Scale: 1 : 100

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**03B**



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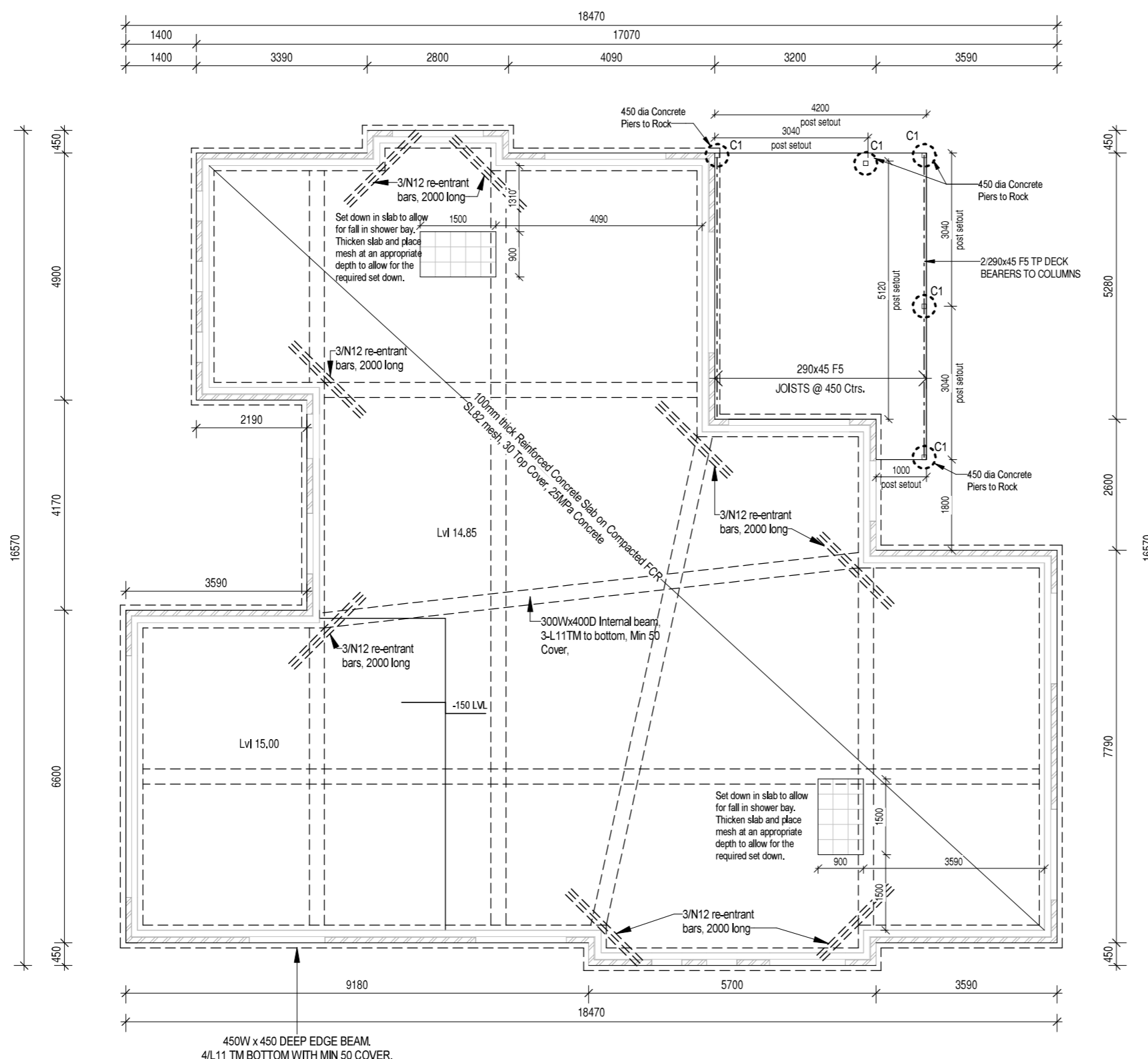


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Site Classification 'Class H2'

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Scale: 1 : 100

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DRAWING: SLAB GROUND FLOOR

DATE: 09.12.2024

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DWG No:

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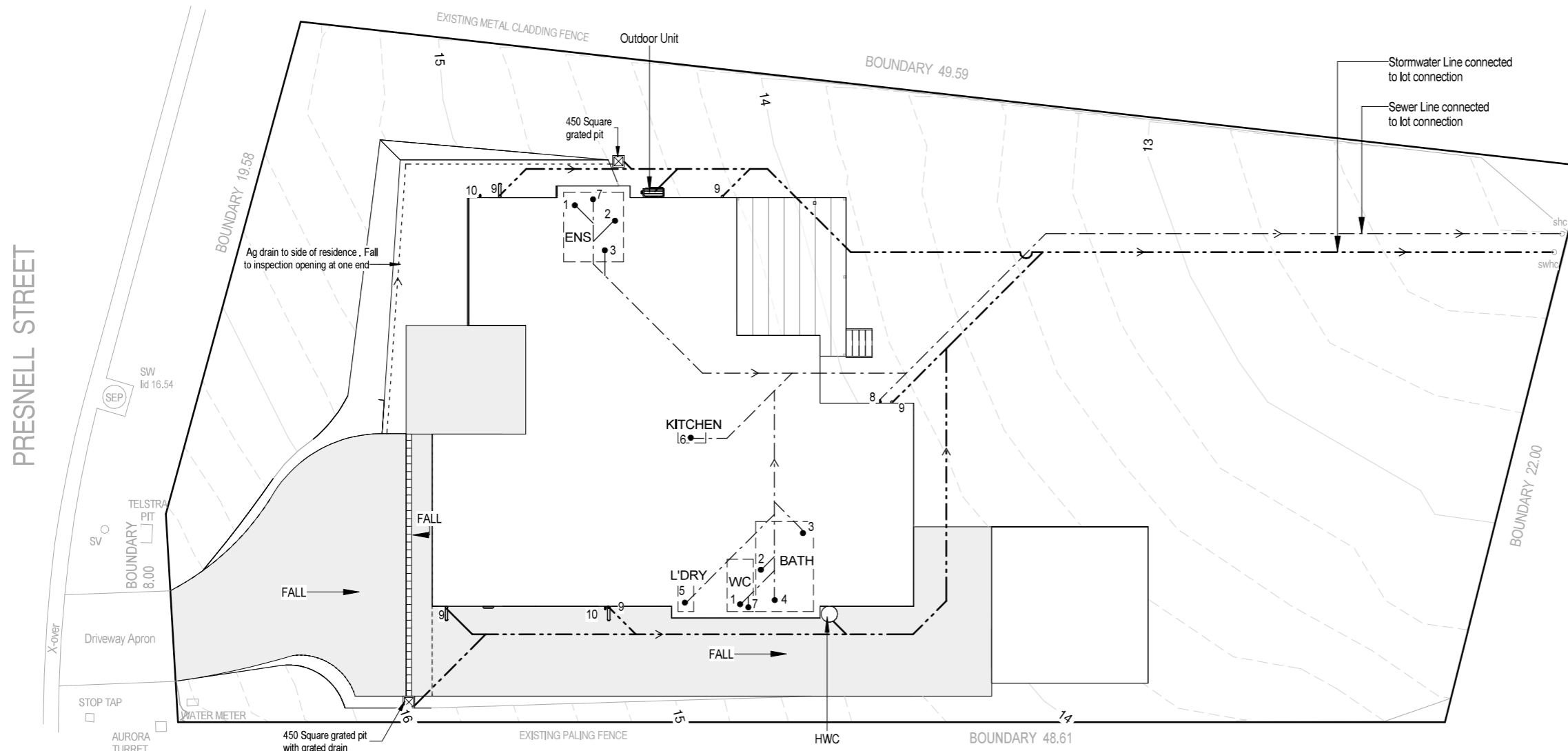
APPLICATION No PLN-24-225

DATE RECEIVED 10/12/2024



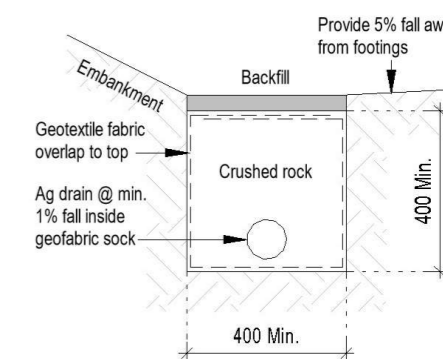
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LEGEND		
Abbr.	TYPE	Min. Ø Outlet size
1	Water closet pan	100
2	HandBasin	40
3	Shower	50
4	Bath	40
5	Laundry Trough	50
6	Kitchen Sink	50
7	Vent	50
8	Tap Charged ORG min.150mm below FFL	
9	Downpipe	90
10	Tap	
i.o.	Inspection Opening to Ground Lvl	
f/w	Floor Waste	

Sewer line 100Ø UPVC U.N.O.  
 Stormwater line 100Ø UPVC U.N.O.



AG Drain (Typical)

Scale: 1 : 200

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DRAWING: DRAINAGE PLAN

DATE: 09.12.2024

PROJECT No: 2302

DRAWN BY: RK

DWG No:

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SIGNATURE:

DATE:



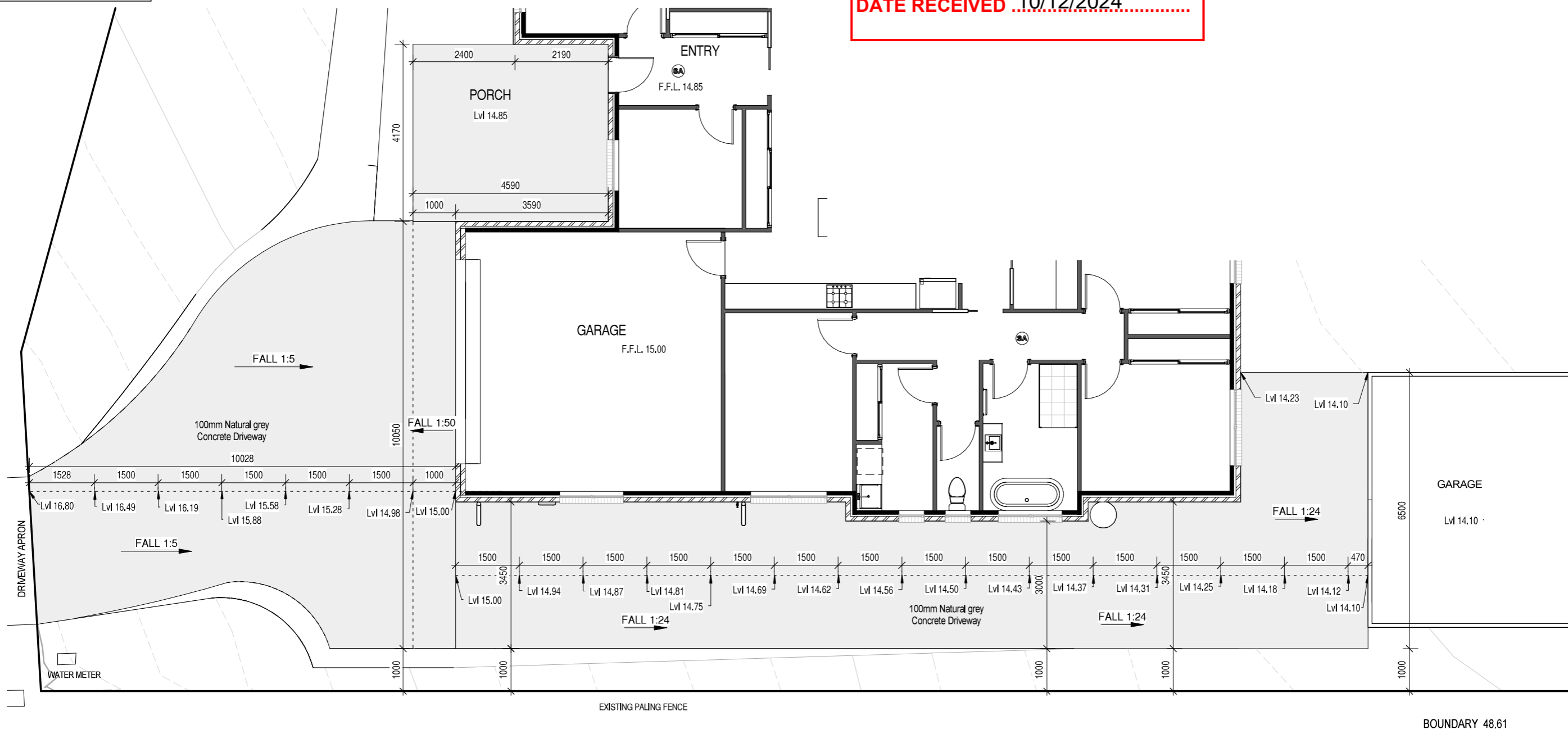
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**GLENORCHY CITY COUNCIL  
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DRAWING: DRIVEWAY CHAINAGE

DATE: 09.12.2024

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DRAWN BY: RK

DWG No:

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