

## DEVELOPMENT APPLICATION

<b>APPLICATION NUMBER:</b>	PLN-24-229
<b>PROPOSED DEVELOPMENT:</b>	Outbuilding (Residential)
<b>LOCATION:</b>	21 Milton Crescent Moonah
<b>APPLICANT:</b>	Sheds N Homes Hobart
<b>ADVERTISING START DATE:</b>	08/01/2025
<b>ADVERTISING EXPIRY DATE:</b>	21/01/2025

Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and the plans are available on Glenorchy City Council's website ([www.gcc.tas.gov.au](http://www.gcc.tas.gov.au)) until **21/01/2025**.

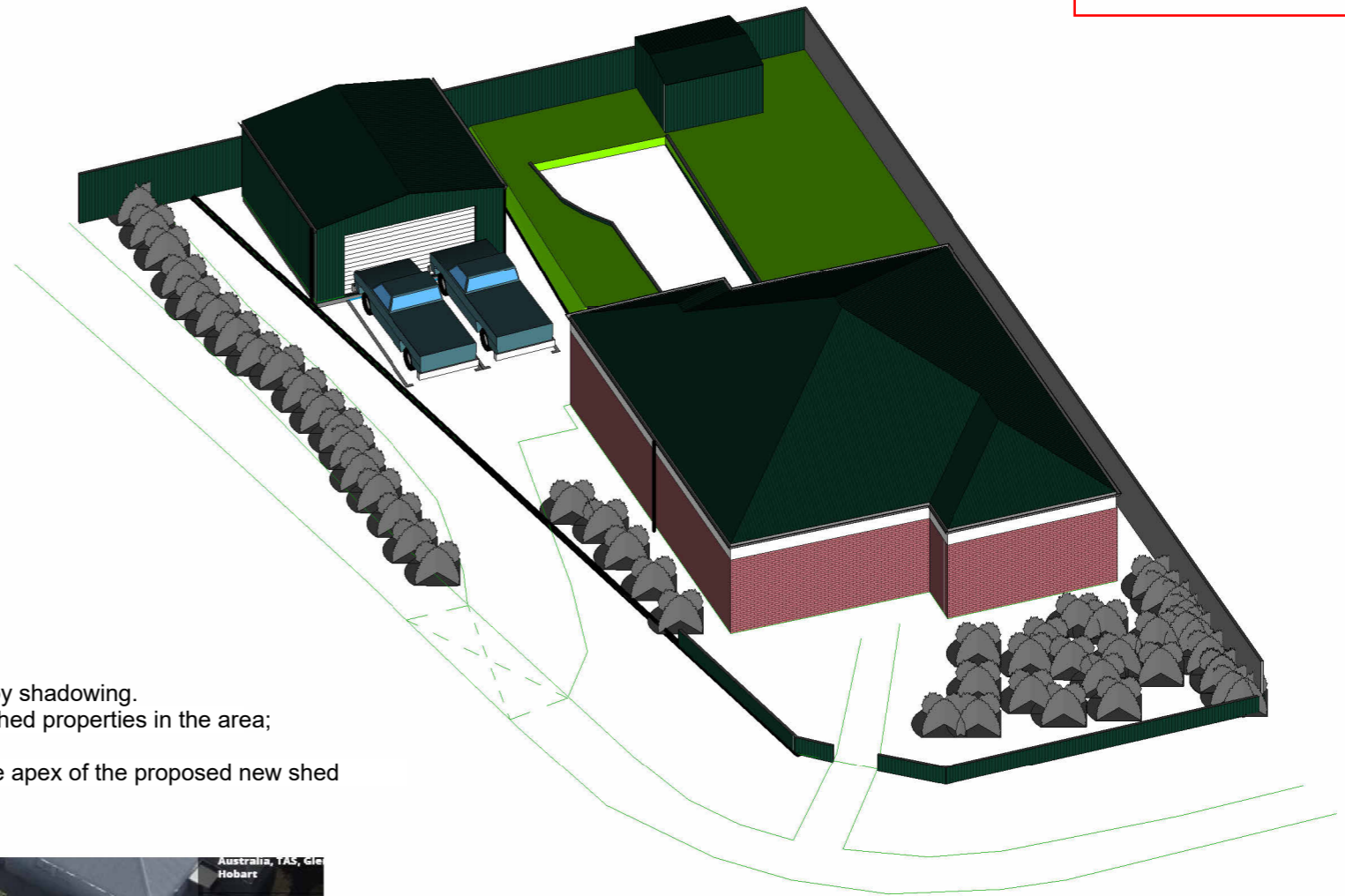
During this time, any person may make representations relating to the applications by letter addressed to the Chief Executive Officer, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to [gccmail@gcc.tas.gov.au](mailto:gccmail@gcc.tas.gov.au).

Representations must be received by no later than 11.59 pm on **21/01/2025**, or for postal and hand delivered representations, by 5.00 pm on **21/01/2025**.

# DEVELOPMENT APPLICATION - PROPOSED NEW SHED (CLASS 10A)

**GLENORCHY CITY COUNCIL  
PLANNING SERVICES**  
APPLICATION No **PLN-24-229**  
DATE RECEIVED **26 August 2024**

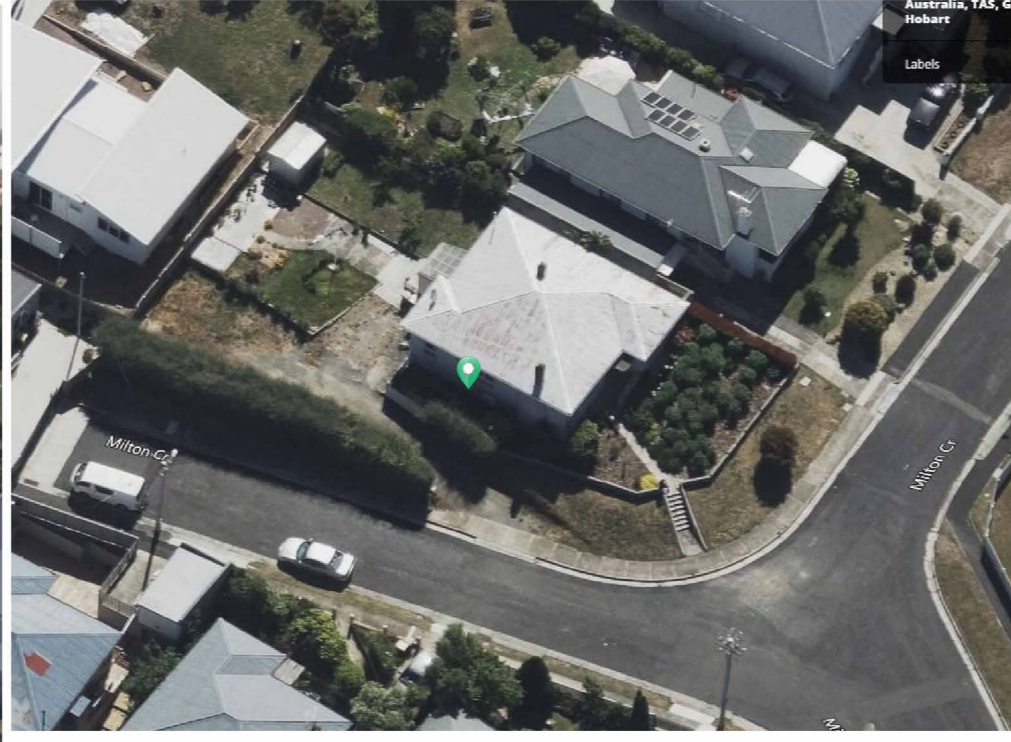
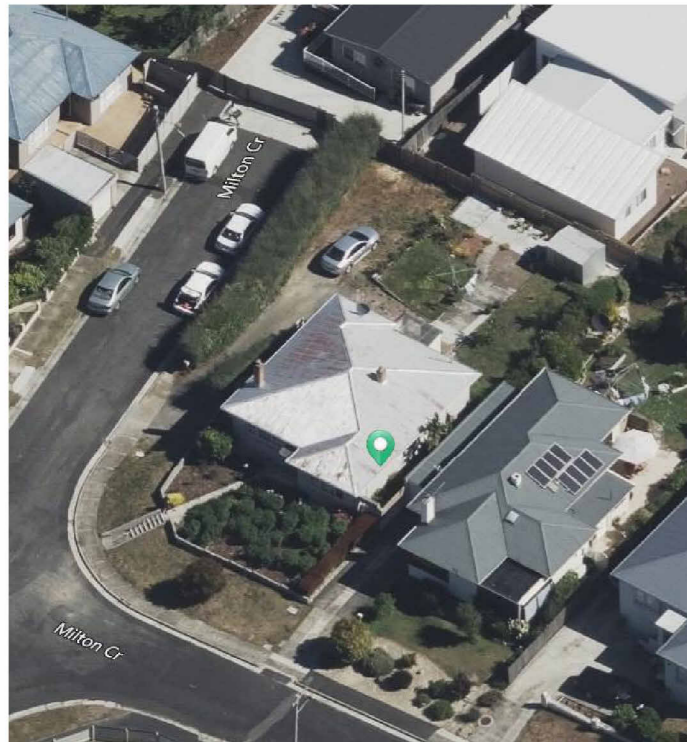
CLIENT Brodie White & Rebecca White  
PROPERTY TITLE REFERENCE 54612/173  
PROPERTY IDENTIFICATION NUMBER 5439207  
PROPERTY ADDRESS 21 Milton Crescent, Moonah TAS 7009  
LOCAL AUTHORITY Glenorchy City Council  
PLANNING SCHEME State Planning Provisions  
ZONE 8.0 General Residential  
OVERLAYS NIL  
BUSHFIRE ATTACK LEVEL NIL  
CORROSION ENVIRONMENT Medium  
SOIL CLASSIFICATION TBA  
WIND CLASSIFICATION N3  
PROPERTY LOT SIZE 599m2  
EXISTING BUILDING FOOTPRINT/S 169m2  
PROPOSED DWELLING FOOTPRINT 36m2  
PROPOSED DWELLING SITE COVERAGE 34.22%



## 8.0 General Residential

### 8.4.2 Setbacks and building envelope for all dwellings

- P3
- (a) The site setting and scale does not cause an unreasonable loss of amenity to the adjoining property. The property situated on the southern boundary has zero northern facing windows that may be affected by shadowing.
  - (b) Separation provided between dwellings on adjoining properties is consistent with that existing on established properties in the area; specifically the space between the shed and dwelling between lot 54612/170 & 54612/171.
  - (c) There is no solar installation on the adjoining property, the adjoining property eaves height is taller than the apex of the proposed new shed



**DIMENSION NOTE:**  
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Document Set ID: 3497668

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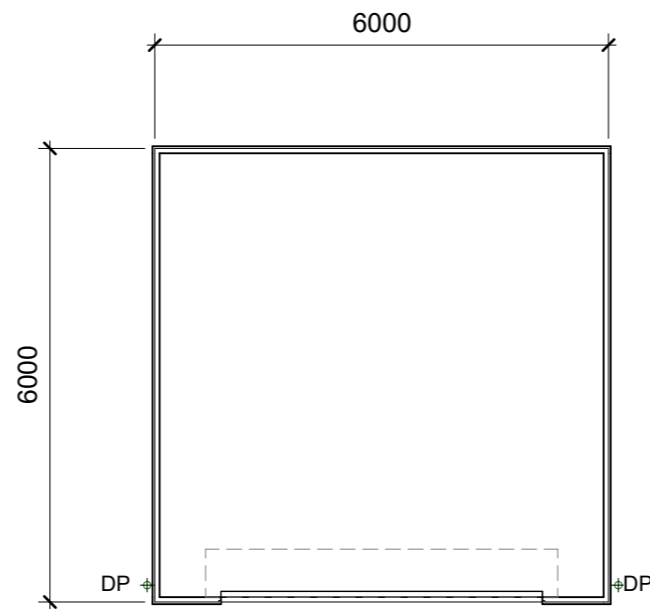


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Bridgewater TAS 7030  
(03) 6263 6545  
hobart@shedsnhomes.com.au  
BLST Pty Ltd  
ABN 52 660 422 159

CLIENT NAME Rebecca White	DRAWING TITLE COVER SHEET	
PROJECT ADDRESS 21 Milton Crescent, Moonah	DATE 07/04/24	SCALE A3
PROJECT New shed	REVISION No 1	JOB No SNH24-053
		SHEET No C01.0
		DRAWN BY BH

C04.0  
2

C04.0 4



1 C04.0

3  
C04.0

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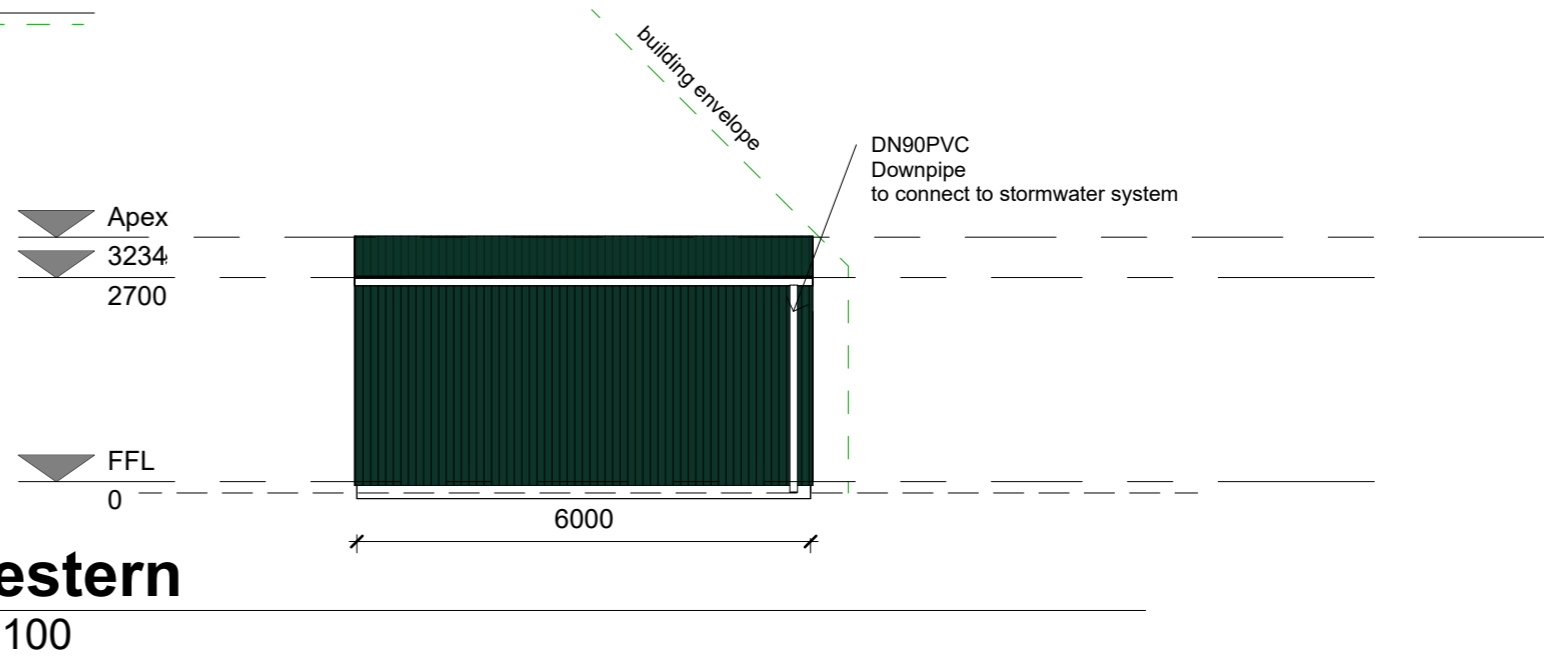
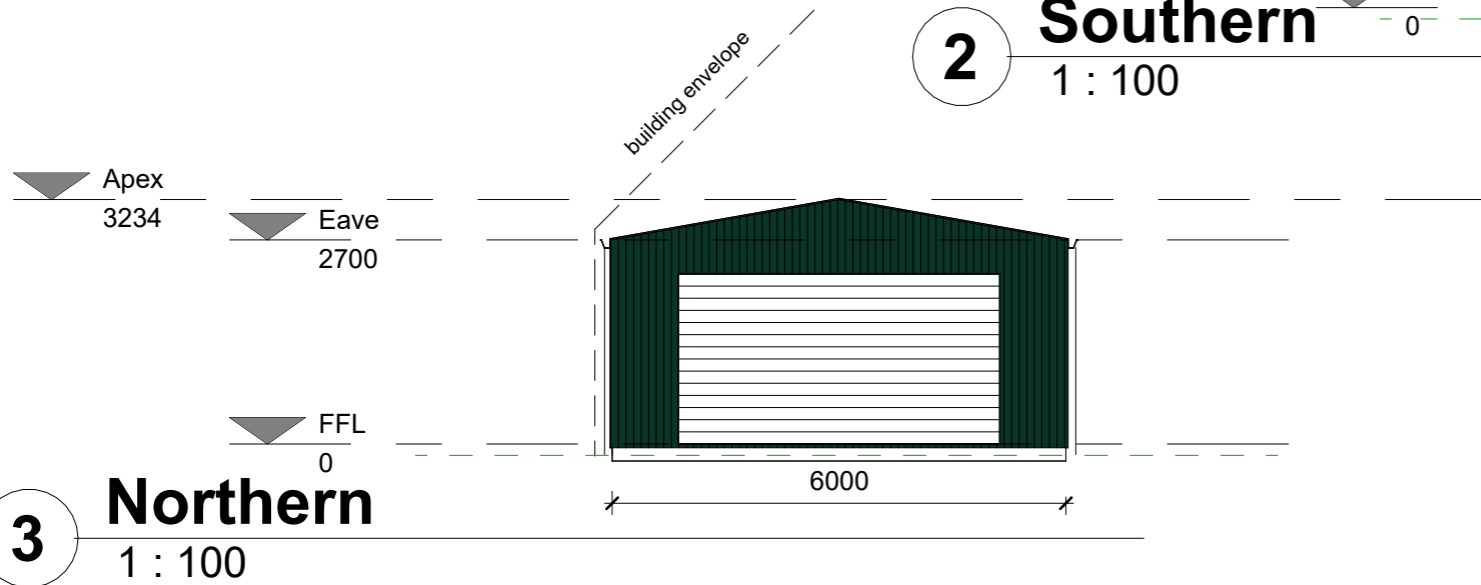
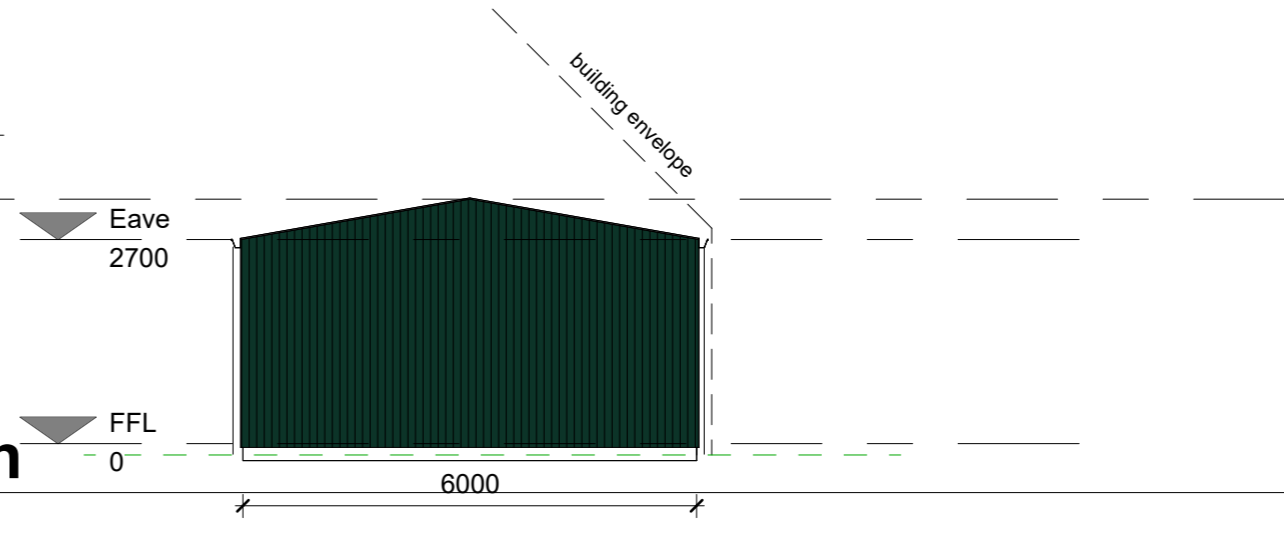
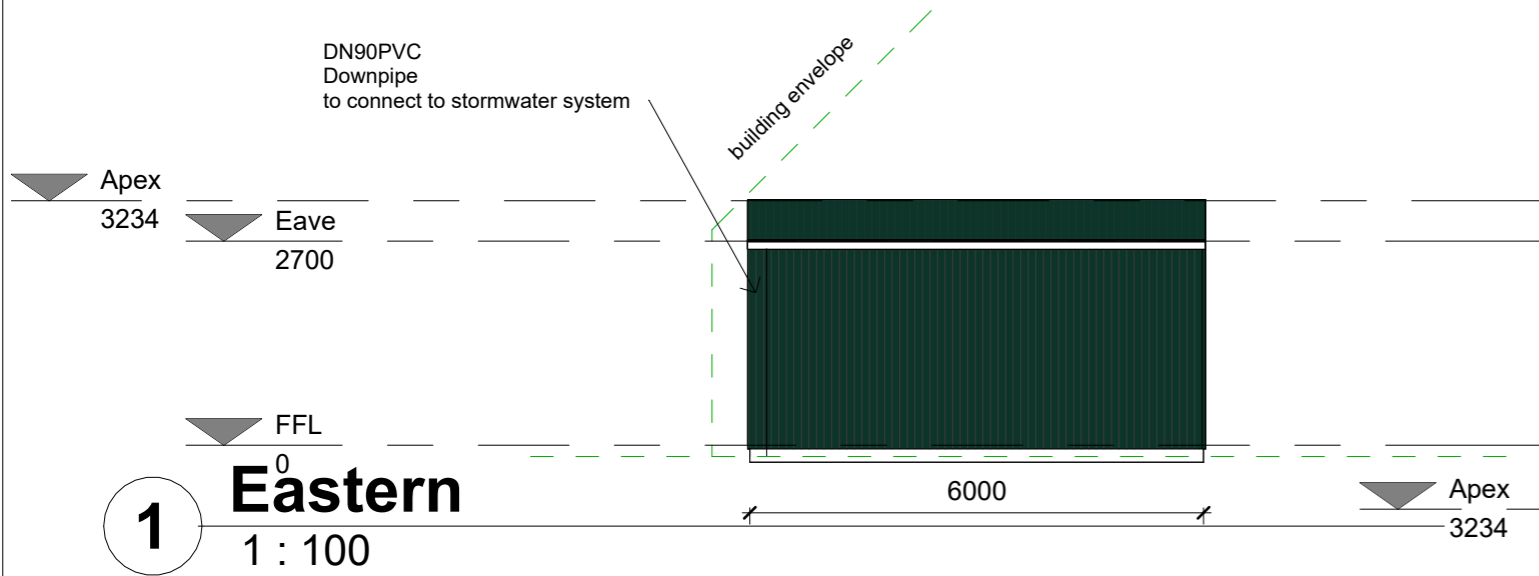
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 hobart@shedsnhomes.com.au  
 BLST Pty Ltd  
 ABN 52 660 422 159

CLIENT NAME Rebecca White		DRAWING TITLE FLOORPLAN		
PROJECT ADDRESS 21 Milton Crescent, Moonah	DATE 07/04/24	SCALE 1 : 100	DRAWN BY BH	
PROJECT New shed	REVISION No 1	SHEET SIZE A3	JOB No SNH24-053	SHEET No C03.0

**GLENORCHY CITY COUNCIL**  
**PLANNING SERVICES**  
 APPLICATION No **PLN-24-229**  
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Roof cladding: Colorbond Corrodec - Basalt  
 Wall Cladding: Colorbond Trimdec - Basalt

DN90PVC  
 Downpipe  
 to connect to stormwater system



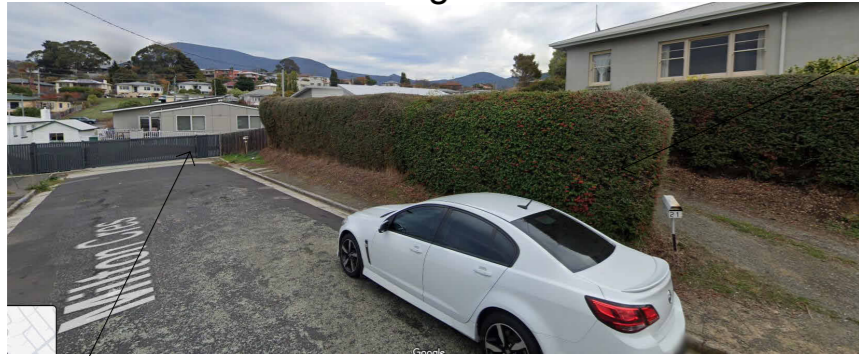
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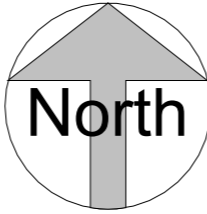
CLIENT NAME Rebecca White		DRAWING TITLE ELEVATIONS		
PROJECT ADDRESS 21 Milton Crescent, Moonah	DATE 07/04/24	SCALE 1 : 100	DRAWN BY BH	
PROJECT New shed	REVISION No 1	SHEET SIZE A3	JOB No SNH24-053	SHEET No C04.0



Img 1

Existing hedge to be cut back to allow full view of gate

gate to be fully viewed at 2.5m prior to road entry



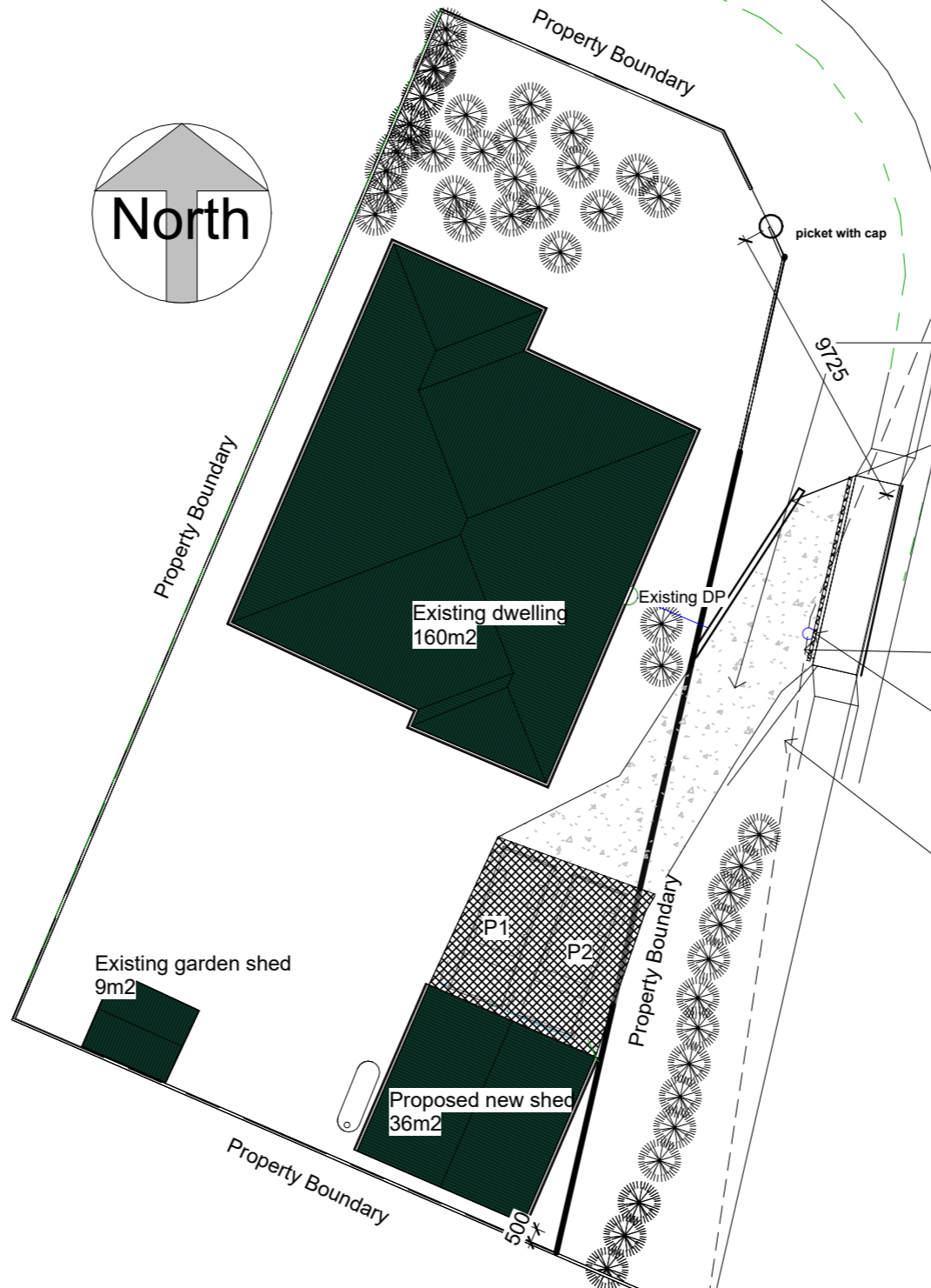
**STORMWATER**

ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH IPWEA (TAS) MUNICIPAL STANDARD DRAWINGS AND SPECIFICATION AND TO THE SATISFACTION OF COUNCILS MUNICIPAL ENGINEER. ALL EXISTING SERVICES TO BE LOCATED ON SITE AND LEVELS OF EXISTING PITS AND INFRASTRUCTURE TO BE CONFIRMED PRIOR TO CONSTRUCTION IF ANY ISSUES ADVISE, CONTACT THE DESIGNER. GENERAL MATERIALS, INSTALLATION & TESTING SHALL COMPLY WITH TASMANIAN MUNICIPAL STANDARDS. ALL PIPE WORK UNDER TRAFFICABLE AREAS, INCLUDING DRIVEWAYS IS TO BE BACKFILLED WITH FCR (MAX 100MM) IN LAYERS. LOT CONNECTION TO BE DN150 uPVC AND INCORPORATE AN INSPECTION OPENING RAISED TO THE SURFACE U.N.O. IN ACCORDANCE WITH TSD-SW25-w1. MINIMUM PIPE CLASS TO BE CLASS SNB. ALL PITS SHALL BE DRIVEABLE CLASS D.

Area to be retained



Img 2



New concrete driveway - driveway to fall to grate drain

retaining wall less than 1m height to retain eroding embankment - See Img 2

proposed crossover & driveway (double crossover 7.2m) per LGAT Standard Drawing TSD-R09-V3

NEW LPOD to be installed at developers expense

driveway grate drain to capture stormwater run off to be connected to reinstated stormwater service

Cut back/remove existing hedge to allow for clear view of entire entry of entry gate at 19a Milton Crescent, West Moonah at 2.5m from road surface - see Img 1

**GLENORCHY CITY COUNCIL  
PLANNING SERVICES**  
**APPLICATION No. : PLN-24-229**  
**DATE RECEIVED: 23 December 2024**

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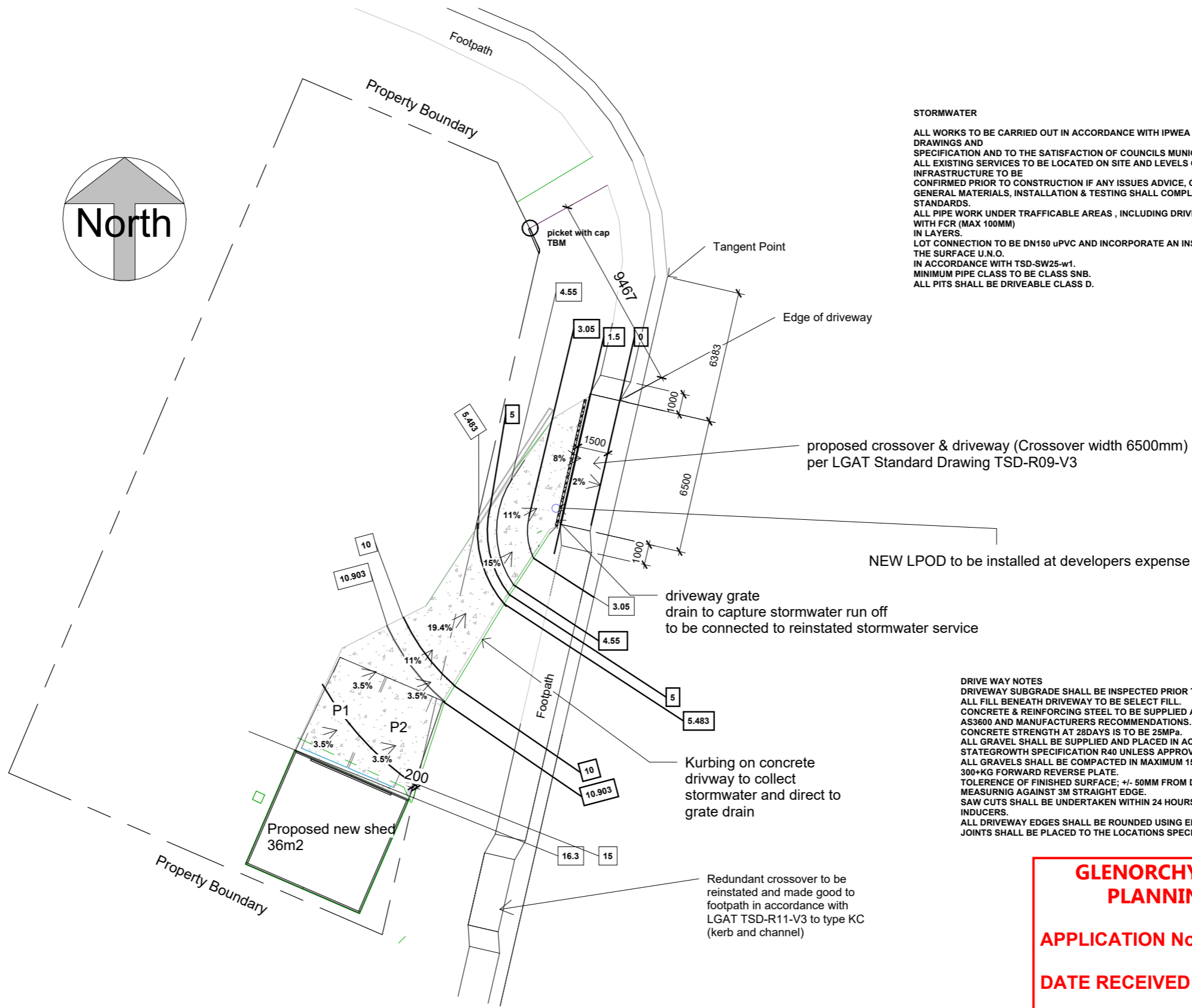
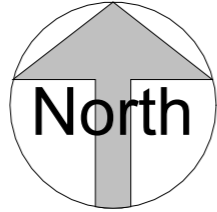
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CLIENT NAME	Rebecca White			DRAWING TITLE	SITE PLAN		
PROJECT ADDRESS	21 Milton Crescent, Moonah			DATE	13/11/2024	SCALE	1 : 200
PROJECT	New shed			REVISION No	2	SHEET SIZE	A3
				JOB No	SNH24-053	DRAWN BY	BH
				SHEET No			C02.0



**STORMWATER**

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proposed crossover & driveway (Crossover width 6500mm) per LGAT Standard Drawing TSD-R09-V3

NEW LPOD to be installed at developers expense

driveway grate drain to capture stormwater run off to be connected to reinstated stormwater service

Kurbing on concrete driveway to collect stormwater and direct to grate drain

Redundant crossover to be reinstated and made good to footpath in accordance with LGAT TSD-R11-V3 to type KC (kerb and channel)

**DRIVE WAY NOTES**

DRIVEWAY SUBGRADE SHALL BE INSPECTED PRIOR TO PLACING OF GRAVEL. ALL FILL BENEATH DRIVEWAY TO BE SELECT FILL. CONCRETE & REINFORCING STEEL TO BE SUPPLIED AND INSTALLED IN ACCORDANCE WITH AS3600 AND MANUFACTURERS RECOMMENDATIONS. CONCRETE STRENGTH AT 28DAYS IS TO BE 25MPa. ALL GRAVEL SHALL BE SUPPLIED AND PLACED IN ACCORDANCE WITH PREVIOUS STATEGROWTH SPECIFICATION R40 UNLESS APPROVED OTHERWISE. ALL GRAVELS SHALL BE COMPACTED IN MAXIMUM 150MM LAYERS USING A 2.5T ROLLER OR 300+KG FORWARD REVERSE PLATE. TOLERANCE OF FINISHED SURFACE; +/- 50MM FROM DESIGN LEVEL, +/- 10MM DEVIATION WHEN MEASURING AGAINST 3M STRAIGHT EDGE. SAW CUTS SHALL BE UNDERTAKEN WITHIN 24 HOURS AND CUT DIRECTLY ABOVE THE CRACK INDUCERS. ALL DRIVEWAY EDGES SHALL BE ROUNDED USING EDGING TOOL. JOINTS SHALL BE PLACED TO THE LOCATIONS SPECIFIED.

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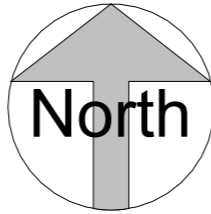
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CLIENT NAME	Rebecca White			DRAWING TITLE	Driveway		
PROJECT ADDRESS	21 Milton Crescent, Moonah			DATE	13/11/2024	SCALE	1 : 200
PROJECT	New shed			REVISION No.	2	SHEET SIZE	A3
				JOB No.	SNH24-053	DRAWN BY	BH
				SHEET No.	C02.1		

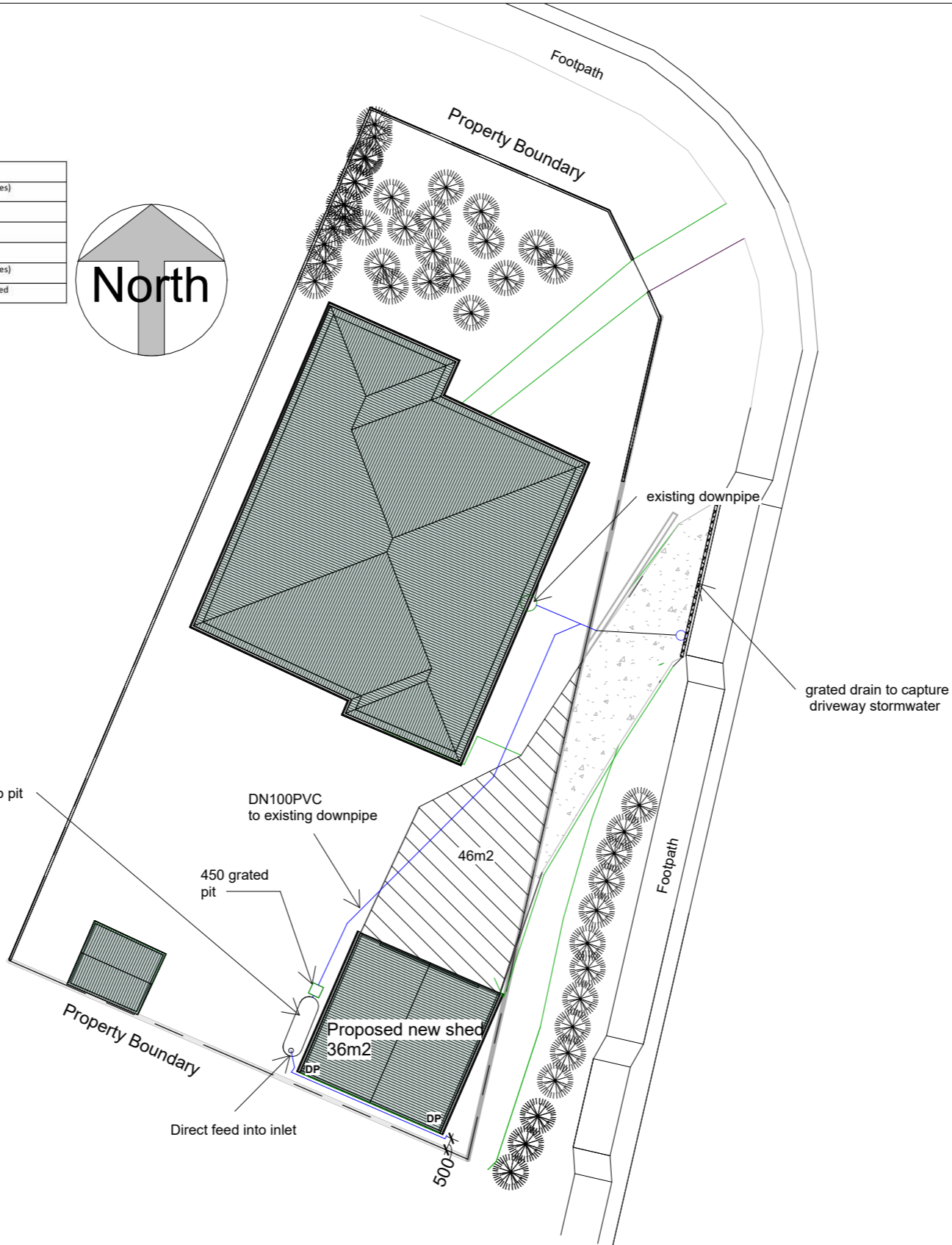
New impervious area  
82m<sup>2</sup>

Onsite detention required in accordance with  
GCC stormwater policy - 2,500ltrs

Additional Impervious Surface Proposed	On site Detention Required
40 to 65m <sup>2</sup>	A minimum of 1.8m <sup>3</sup> (1,800 litres)
65m <sup>2</sup> to 100m <sup>2</sup>	2.5m <sup>3</sup> (2,500 litres)
100m <sup>2</sup> to 150m <sup>2</sup>	3.0m <sup>3</sup> (3,000 litres)
150m <sup>2</sup> to 200m <sup>2</sup>	3.5m <sup>3</sup> (3,500 litres)
200m <sup>2</sup> to 250m <sup>2</sup>	A minimum of 4.0m <sup>3</sup> (4,000 litres)
Over 250m <sup>2</sup>	Engineering calculations required



**3000ltr water tank**  
Tank overflow into pit  
25mm outlet near base  
base of tank to discharge into pit



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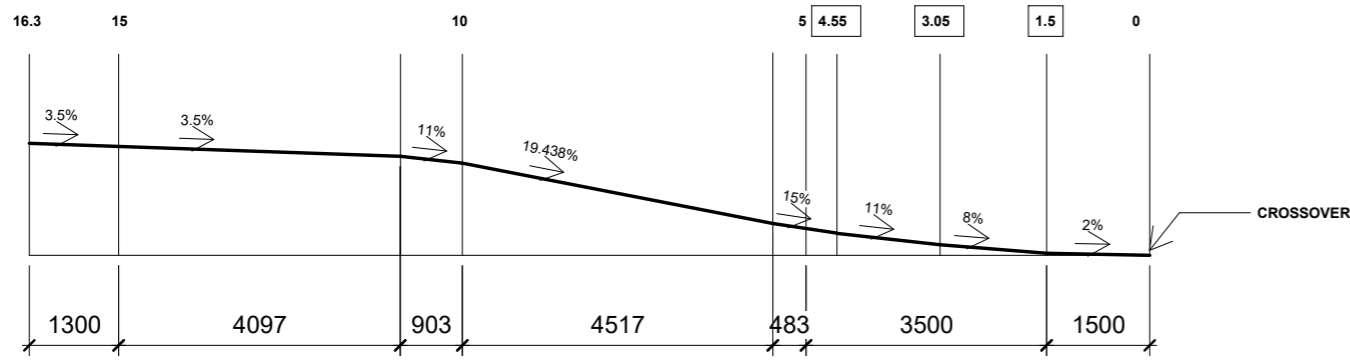
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ABN 52 660 422 159

CLIENT NAME	Rebecca White			DRAWING TITLE	Stormwater plan		
PROJECT ADDRESS	21 Milton Crescent, Moonah			DATE	13/11/2024	SCALE	1 : 200
PROJECT	New shed			REVISION No	1	SHEET SIZE	A3
				JOB No	SNH24-053	SHEET No	C02.2
				DRAWN BY	BH		



**LONG SECTION DRIVEWAY**

**GLENORCHY CITY COUNCIL  
PLANNING SERVICES**

**APPLICATION No. : PLN-24-229**

**DATE RECEIVED: 23 December 2024**

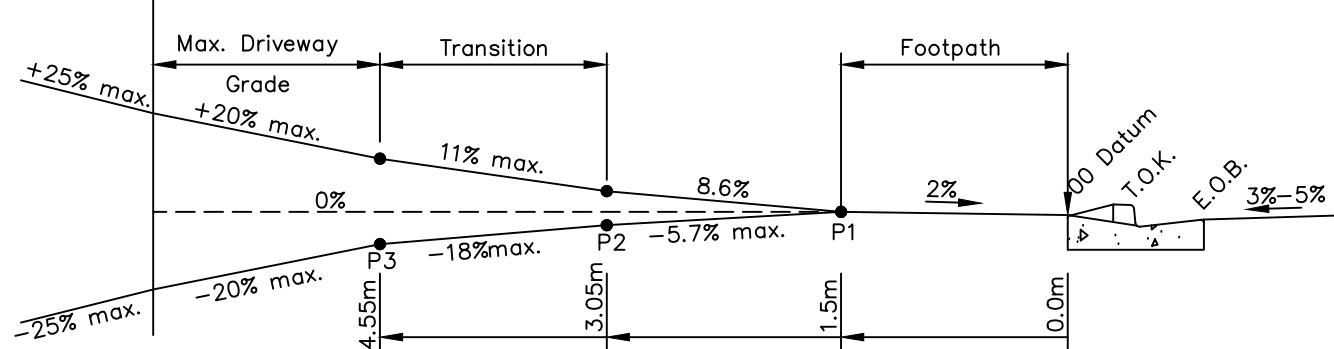
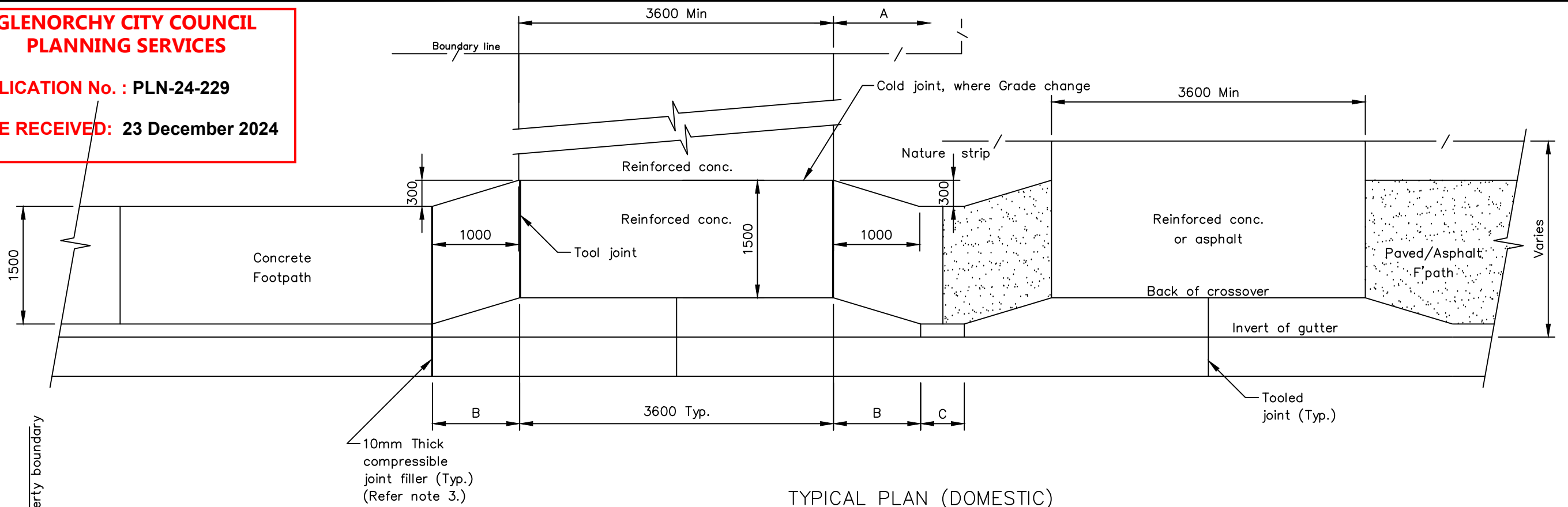
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				<p>PROJECT ADDRESS 21 Milton Crescent, Moonah</p>		<p>DATE 29/10/2024</p>	<p>SCALE 1 : 100</p>	<p>DRAWN BY BH</p>
				<p>PROJECT New shed</p>		<p>REVISION No</p>	<p>SHEET SIZE A3</p>	<p>JOB No SNH24-053</p>



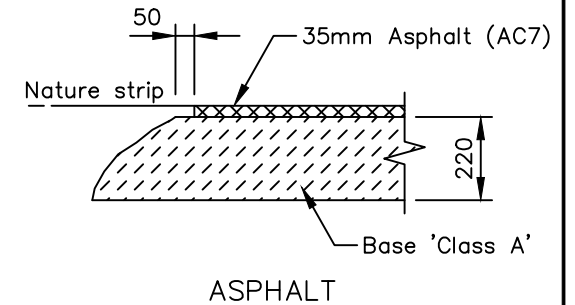
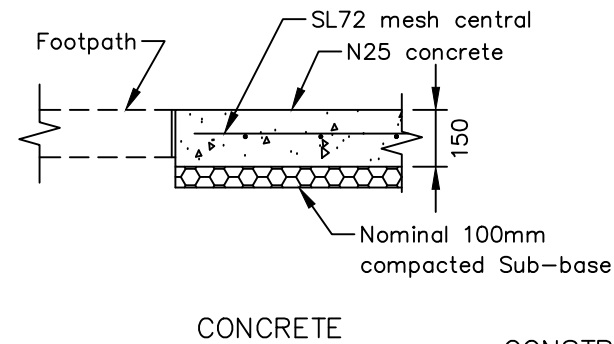
**GLENORCHY CITY COUNCIL  
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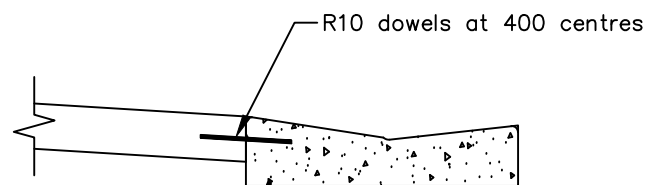
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**TYPICAL PLAN (DOMESTIC)  
( 'TYPE KC' KERB SHOWN)**



**TYPICAL DRIVEWAY PROFILE  
SUITS 'B85' / 'B99' VEHICLES  
( 'TYPE KC' KERB / FOOTPATH AT KERB SHOWN)**



DIMENSION TABLE – PLAN VIEW		
Dim.	Description	Notes
A	Boundary Offset	New Subdivisions – 1000mm min. Established areas – Match existing
B	Transition (Wing)	Types 'KC' and 'KCM': B = 1000mm
C	Min. kerb Length	Delete transitions and construct continuous crossing if 'C' IS < 500mm

**CONSTRUCTION NOTES**

1. Concrete surfaces – Edge tooled, broom finish.
2. The Principal may increase depth of base course(s) for subgrade strength (C.B.R. < 4.0%)
3. Extend 10mm compressible joint filler through concrete footpaths only (Refer sheet TSD-R11, Footpaths).

**DESIGN NOTES**

4. Design driveway profiles (tabulated) are in accordance with the requirements of 'AS/NZS 2890.1 : 2004' using 'Standard Design Vehicles':
  - B85 Vehicle – Domestic driveways (including 1 – 2 units)
  - B99 Vehicle – Light commercial, large unit development.
5. An approved engineering design is required for varying site conditions and for driveways used by 'Non Standard' vehicles, detailing the structural, plan geometry and vertical profile requirements.
6. Maximum driveway width to be determined by a Council Officer
7. Fibre reinforcement is permissible but must be approved by the General Manager's delegated officer and the local council

SCALES: AS SHOWN  
(All scales are correct at A3)

XRef File: TSD-R09-v3.dwg

REFERENCES

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**IPWEA**  
INSTITUTE OF PUBLIC WORKS  
ENGINEERING AUSTRALASIA

TAS Division



**STANDARD DRAWING  
URBAN ROADS  
DRIVEWAYS**

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ISSUE DATE: 18-09-2020 DWG No.

TSD-R09-v3