

DEVELOPMENT APPLICATION

APPLICATION NUMBER:	PLN-24-245
PROPOSED DEVELOPMENT:	Multiple Dwellings (4 new)
LOCATION:	38 Maroubra Circle Chigwell
APPLICANT:	Homes Tasmania (Hobart)
ADVERTISING START DATE:	15/01/2025
ADVERTISING EXPIRY DATE:	29/01/2025

Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and the plans are available on Glenorchy City Council's website (www.gcc.tas.gov.au) until **29/01/2025**.

During this time, any person may make representations relating to the applications by letter addressed to the Chief Executive Officer, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to gccmail@gcc.tas.gov.au.

Representations must be received by no later than 11.59 pm on **29/01/2025**, or for postal and hand delivered representations, by 5.00 pm on **29/01/2025**.

Multiple Dwellings

PROJECT SPECIFIC:

Homes Tasmaina

38 Maroubra Circle

CHIGWELL

Tasmanian Planning Scheme
Title Reference : Vol 64912 / Folio 40

NCC DEEMED TO SATISFY Mr Marcus Ralph CC1317F

Climate Zone 7

Layout	Drawing		Last Updated	Scale
	ID	Name		
997-01 Cover Page	1	Sub Floor (4)	12/12/2024 9:32 ...	1:100
	2	Drawing List (6)	12/12/2024 9:32 ...	1:1.22
997-02 Floor Plan	1	Sub Floor (64)	25/09/2024 1:04 ...	1:100
997-03 Elevations unit 1	1	Sub Floor (65)	25/09/2024 1:04 ...	1:100
997-04 Elevations Unit 2	1	Sub Floor (65)	25/09/2024 1:04 ...	1:100
997-05 Elevations Unit 3	1	Sub Floor (65)	25/09/2024 1:04 ...	1:100
997-06 Elevations Unit 4	1	Sub Floor (65)	25/09/2024 1:04 ...	1:100
997-07 Long Section	1	Sub Floor (65)	25/09/2024 1:04 ...	1:100
997-08 Site Plan	1	Sub Floor (73)	25/09/2024 1:06 ...	1:200
997-09 Site Plan	1	Sub Floor (71)	12/12/2024 9:28 ...	1:200
997-10 Setbacks	1	Sub Floor (71)	12/12/2024 9:28 ...	1:200
997-11 Driveway Levels	1	Sub Floor (71)	12/12/2024 9:30 ...	1:200
997-12 Long Section	1	Sub Floor (78)	25/09/2024 1:04 ...	1:200
997-13 Driveway Levels	1	Sub Floor (78)	12/12/2024 9:30 ...	1:200
997-14 Drainage Plan	1	Sub Floor (78)	12/12/2024 9:30 ...	1:200
997-15 Drainage Plan	1	Sub Floor (78)	12/12/2024 9:30 ...	1:200
997-16 Landscaping plan	1	Sub Floor (77)	25/09/2024 1:04 ...	1:200
997-17 Landscaping Plan	1	Sub Floor (77)	12/12/2024 9:30 ...	1:200
997-18 Sunshade Diagrams	1	Sub Floor (80)	12/12/2024 9:30 ...	1:200
997-19 Sunshade Diagrams	1	Sub Floor (80)	12/12/2024 9:31 ...	1:200
997-20 Turning Templates	1	Sub Floor (84)	12/12/2024 9:31 ...	1:200
997-21 Turning Templates	1	Sub Floor (84)	12/12/2024 9:31 ...	1:200
997-22 Turning Templates	1	Sub Floor (84)	12/12/2024 9:31 ...	1:200

SITE INFORMATION

Lot: 40
 Title: 64912 folio 40
 Land Size: 720.80 sqm
 Council: Glenorchy Council
 Zoning: 8.0General Residential
 Overlays:
 D.A APPROVAL:REQUIRED
 BAL:
 WIND CLASSISFICATION :
 CLIMATE ZONE: 7
 ENERGY RATING :Na
 BUILDING CLASSISFICATION: tba

Calculations

Unit 1 floor area	40.0 sqm
Site Coverage unit 1	62.80sqm
Unit 2 floor area	40.0 sqm
Site Coverage Unit 2	62.80sqm
Unit 3 floor area	40.0 sqm
Site Coverage unit 3	62.80sqm
Unit 4 floor area	40.0 sqm
Site Coverage Unit 4	62.80sqm
Concrete Driveway	309.00 sqm
Site Area	720.80 sqm
site coverage	251.00 sqm
Site Coverage	34.80%



LOCATION PLAN



DO NOT SCALE DRAWINGS.
 DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED FOR CONSTRUCTION.
 ALL BOUNDARIES AND CONTOURS SUBJECT TO SURVEY. COPYRIGHT © THIS DOCUMENT IS AND SHALL REMAIN THE PROPERTY OF PODMATRIX P/L. THIS DOCUMENT MAY ONLY BE USED FOR THE PURPOSE FOR WHICH IT WAS COMMISSIONED AND IN ACCORDANCE WITH THE TERMS OF ENGAGEMENT FOR THE COMMISSION. UNAUTHORISED USE OF THIS DOCUMENT IS PROHIBITED. THE AUTHOR IS NOT RESPONSIBLE FOR ANY MISUSE OF THE DOCUMENT.
 ANY DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF THE AUTHOR.

DESIGN APPROVAL

PM-09.41GR-01 = chassis

© Copyright property of PODMATRIX CAMBRIDGE TASMANIA

revision-date

ISSUE DRAWING A01

Campania 09.41

PROJECT NAME :

Multiple Dwellings

CLIENT :

Homes Tasmaina

SITE :

38 Maroubra Circle

CHIGWELL

Date: 12/12/2024

DRAWN BY : Marcus Ralph

Cover Page

PROJECT NO.

2024-997

DRAWING NO.

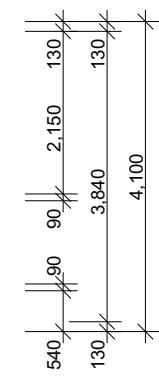
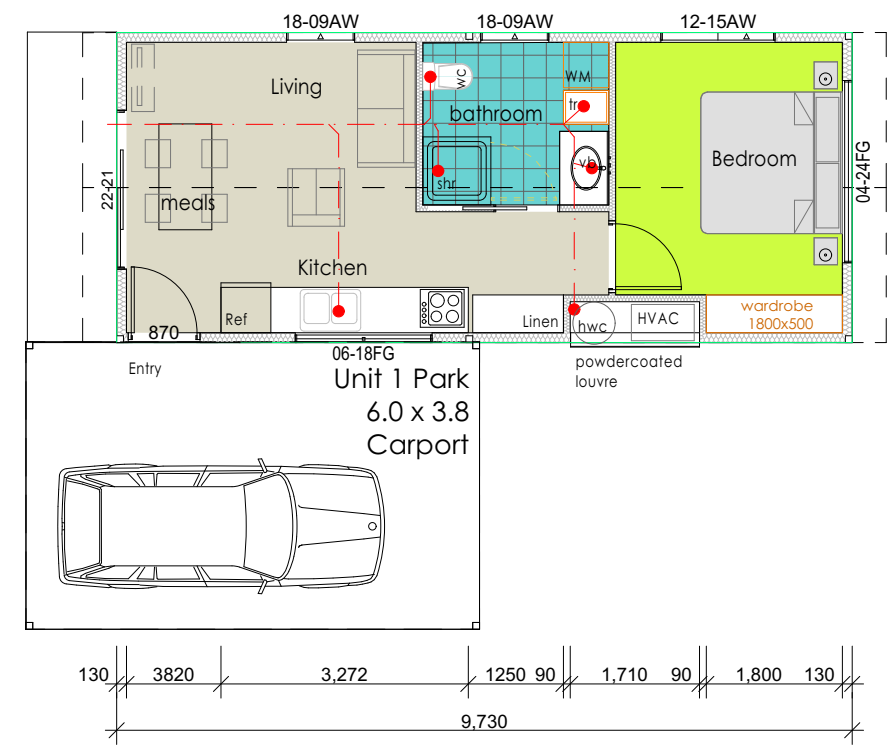
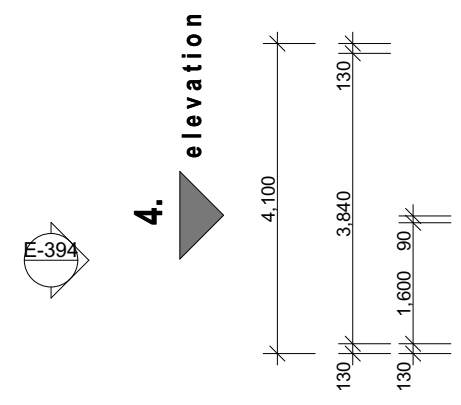
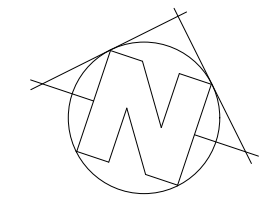
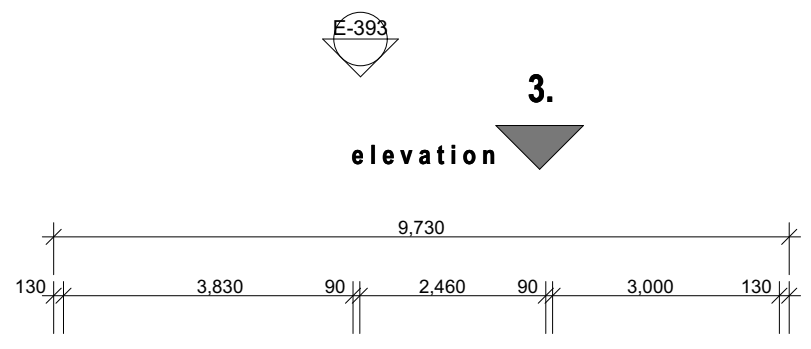
997-01

SCALE : 1:100, 1:1.22

Unit

- LEGEND**
- smoke detector hard wired to electrical system
 - ⊕ extractor fan with heating elements optional
 - DP downpipe
 - AJ articulation joint
 - METER BOX meter box
- LEGEND:**
- dw - dishwasher
 - hp - hot plates
 - ubo - under bench oven
 - wo - wall oven bank
 - sink - stainless kitchen sink
 - sh - shower
 - bth - bath
 - wc - toilet
 - spa - spa bath
 - vb - vanity basin
 - tr - laundry trough
 - wm - washing machine
 - mh - manhole
 - ds or shs-structural support
- 820 door width

- UNIT 1
ffi 28.00
- UNIT 2
ffi 27.70
- UNIT 3
ffi 27.40
- UNIT 4
ffi 27.20



**Campania 09.41
PM-09.41GR-01
1 Bed**

Floor area	40.00 Sqm
Carport	22.80 Sqm

Unit 1 floor area	40.0 sqm
Site Coverage unit 1	62.80sqm
Unit 2 floor area	40.0 sqm
Site Coverage Unit 2	62.80sqm
Unit 3 floor area	40.0 sqm
Site Coverage unit 3	62.80sqm
Unit 4 floor area	40.0 sqm
Site Coverage Unit 4	62.80sqm

Concrete Driveway	309.00 sqm
Site Area	770.80 sqm

FINISHES TAG	DESCRIPTION
RS	Metal roof sheet (Colorbond) Profile: Trimdek Colour: as selected by owner. Fixing method: crest fixing with roofzips M6-11x65 (or equal)
FCS	Fibre Cement sheet (James Hardie) Profile: Axon (Vertical) Paint Colour: as selected by owner. Fixing method: To manufacturers specs
Decking & Landings:	Spotted Gum bushfire resistant timber, BAL 29 compliant
Stairs:	Bushfire resistant Timber or Non-combustible material
Under Cladding:	6mm Fibre Cement sheet (James Hardie) Fixing method: To manufacturers specs

FINISHES TAG	DESCRIPTION	M ² Totals
VT	VINYL TILE	45.35m ²
CAR	CARPET	16.6m ²
TIM	TIMBER DECKING	2.8m ²

Legend TAG	DESCRIPTION
P	Pantry
F	Fridge
HP	Heat Pump
HWC	Hot Water Cylinder



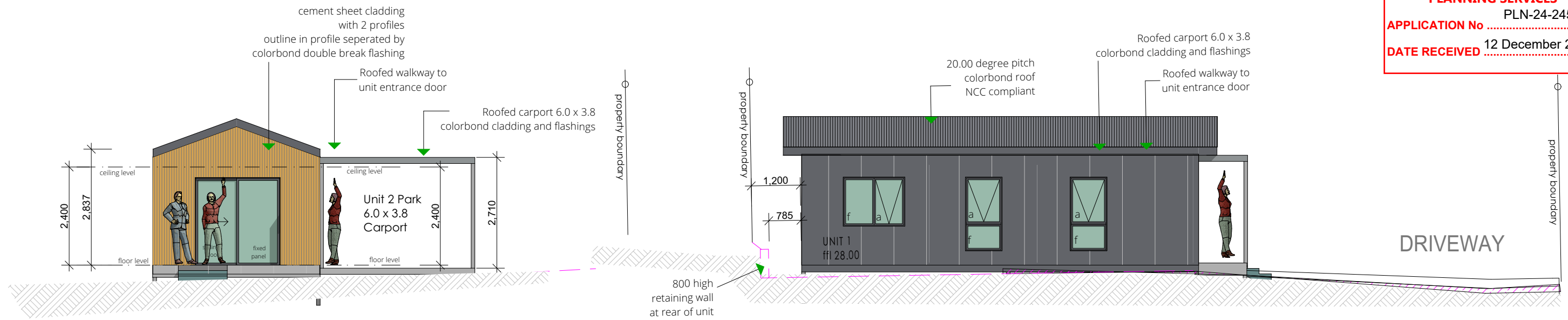
DO NOT SCALE DRAWINGS. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED FOR CONSTRUCTION. ALL BOUNDARIES AND CONTOURS SUBJECT TO SURVEY. COPYRIGHT © THIS DOCUMENT IS AND SHALL REMAIN THE PROPERTY OF PODMATRIX P/L. THIS DOCUMENT MAY ONLY BE USED FOR THE PURPOSE FOR WHICH IT WAS COMMISSIONED AND IN ACCORDANCE WITH THE TERMS OF ENGAGEMENT FOR THE COMMISSION. UNAUTHORISED USE OF THIS DOCUMENT IS PROHIBITED. THE AUTHOR IS NOT RESPONSIBLE FOR ANY MISUSE OF THE DOCUMENT. ANY DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF THE AUTHOR.

DESIGN APPROVAL
PM-09.41GR-01 = chassis
Copyright property of PODMATRIX CAMBRIDGE TASMANIA

revision-date
ISSUE DRAWING A01
Campania 09.41

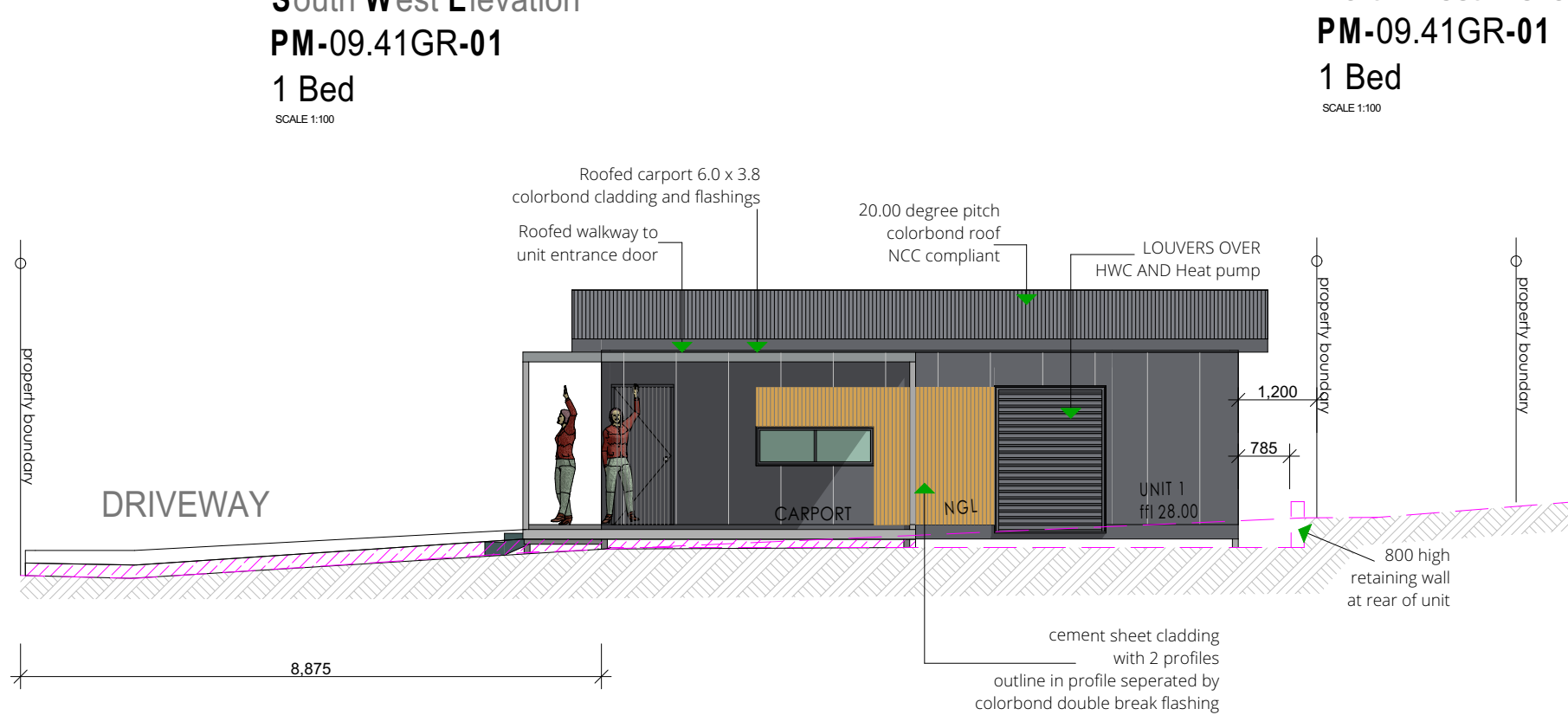
PROJECT NAME : Multiple Dwellings
CLIENT : Homes Tasmaina
SITE : 38 Maroubra Circle
CHIGWELL
Date: 12/12/2024
DRAWN BY : Marcus Ralph

Floor Plan
PROJECT NO. 2024-997
DRAWING NO. 997-02
SCALE : 1:100



ELEVATION 04
South West Elevation
PM-09.41GR-01
1 Bed
SCALE 1:100

ELEVATION 03
North West Elevation
PM-09.41GR-01
1 Bed
SCALE 1:100



ELEVATION 01
South East Elevation
PM-09.41GR-01
1 Bed
SCALE 1:100

ELEVATION 02
North East Elevation
PM-09.41GR-01
1 Bed
SCALE 1:100



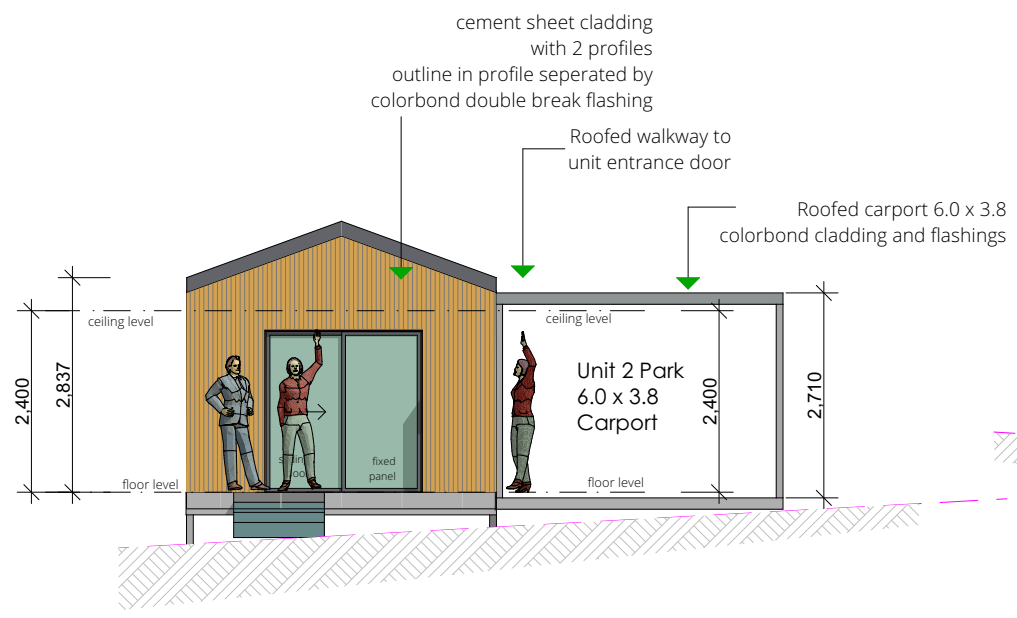
DO NOT SCALE DRAWINGS.
DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED FOR CONSTRUCTION.
ALL BOUNDARIES AND CONTOURS SUBJECT TO SURVEY. COPYRIGHT © THIS DOCUMENT IS AND SHALL REMAIN THE PROPERTY OF PODMATRIX P/L. THIS DOCUMENT MAY ONLY BE USED FOR THE PURPOSE FOR WHICH IT WAS COMMISSIONED AND IN ACCORDANCE WITH THE TERMS OF ENGAGEMENT FOR THE COMMISSION. UNAUTHORISED USE OF THIS DOCUMENT IS PROHIBITED. THE AUTHOR IS NOT RESPONSIBLE FOR ANY MISUSE OF THE DOCUMENT.
ANY DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF THE AUTHOR.

DESIGN APPROVAL
PM-09.41GR-01 = chassis
© Copyright property of PODMATRIX CAMBRIDGE TASMANIA

revision-date
ISSUE DRAWING A01
Campania 09.41

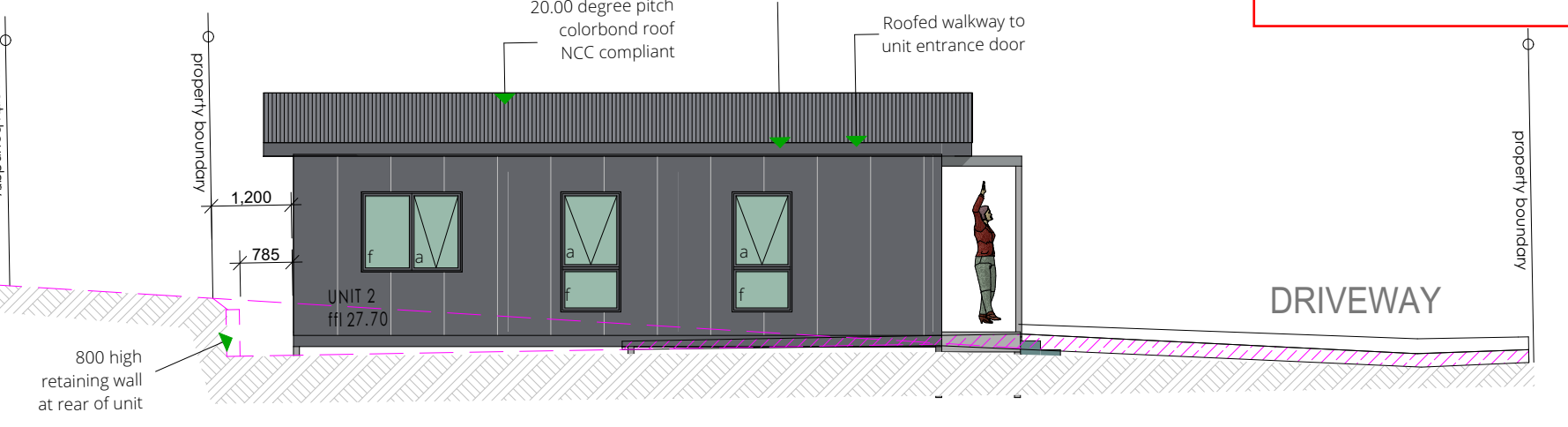
PROJECT NAME :
Multiple Dwellings
CLIENT :
Homes Tasmaina
SITE :
38 Maroubra Circle
CHIGWELL
Date: 12/12/2024
DRAWN BY : Marcus Ralph

Elevations unit 1
PROJECT NO. 2024-997
DRAWING NO. 997-03
SCALE : 1:100



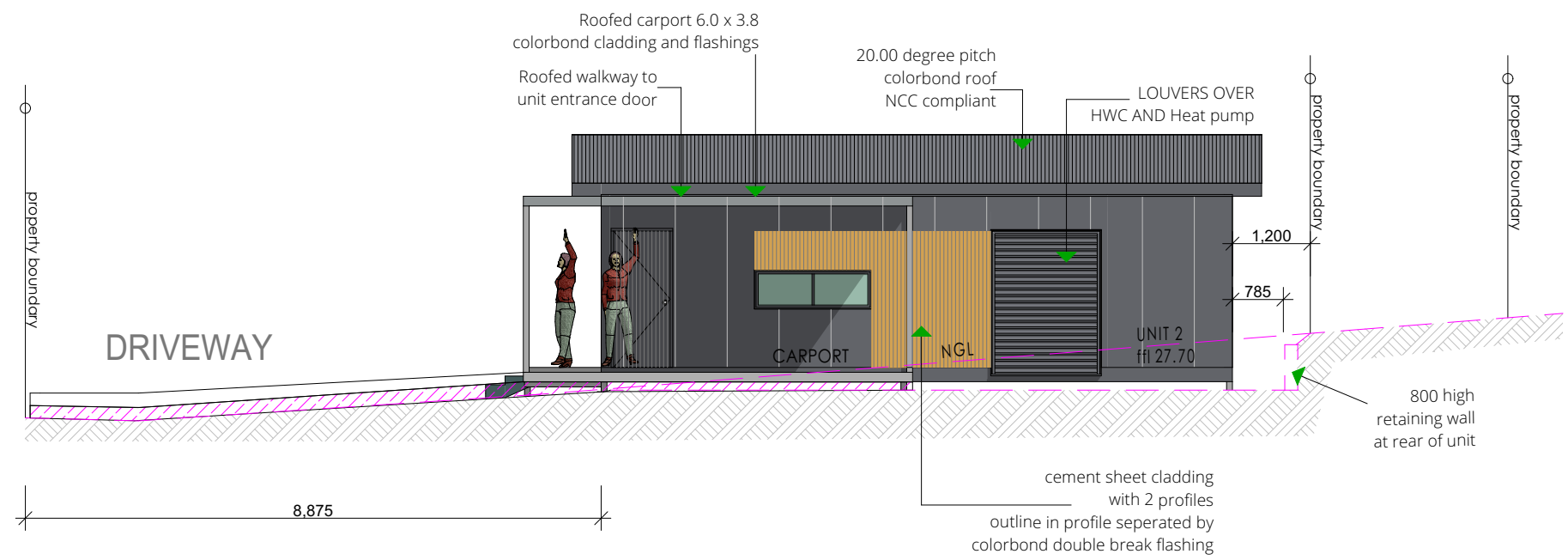
ELEVATION 04
South West Elevation
PM-09.41GR-01
 1 Bed

SCALE 1:100

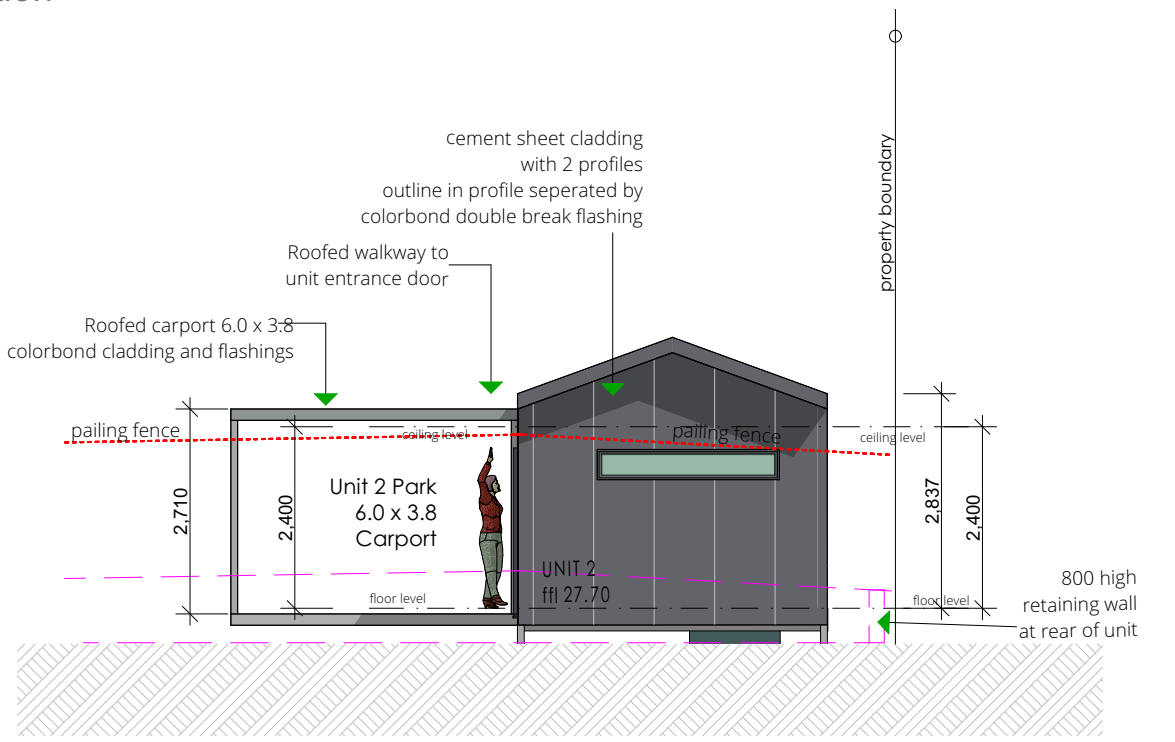


ELEVATION 03
North West Elevation
PM-09.41GR-01
 1 Bed

SCALE 1:100



ELEVATION 01
South East Elevation
PM-09.41GR-01
 1 Bed



ELEVATION 02
North East Elevation
PM-09.41GR-01
 1 Bed

SCALE 1:100



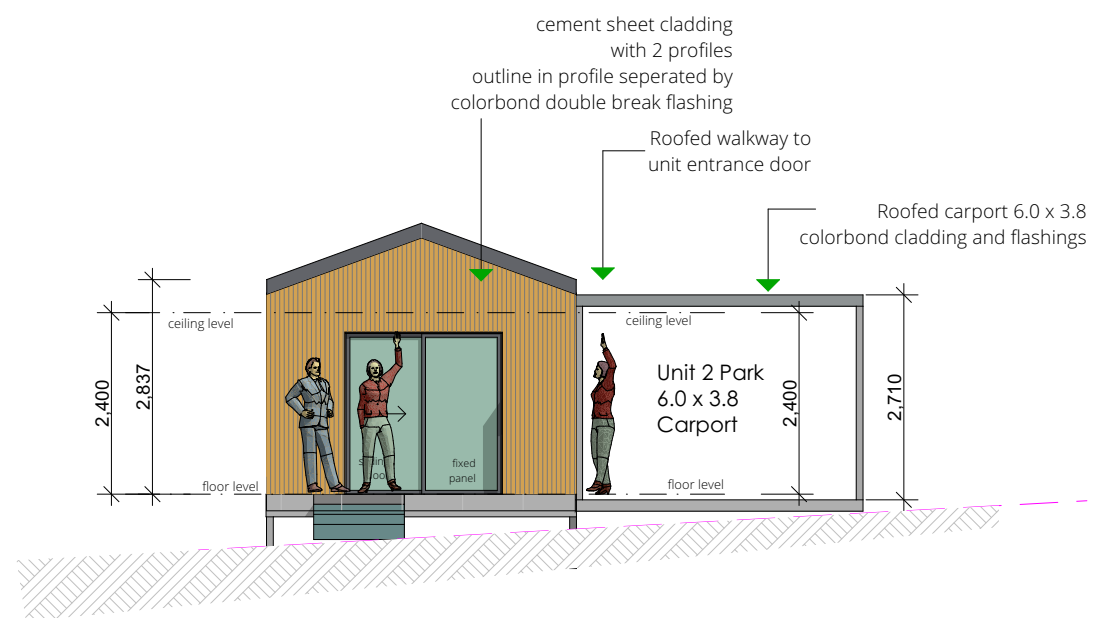
DO NOT SCALE DRAWINGS.
 DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED FOR CONSTRUCTION.
 ALL BOUNDARIES AND CONTOURS SUBJECT TO SURVEY. COPYRIGHT © THIS DOCUMENT IS AND SHALL REMAIN THE PROPERTY OF PODMATRIX P/L. THIS DOCUMENT MAY ONLY BE USED FOR THE PURPOSE FOR WHICH IT WAS COMMISSIONED AND IN ACCORDANCE WITH THE TERMS OF ENGAGEMENT FOR THE COMMISSION. UNAUTHORISED USE OF THIS DOCUMENT IS PROHIBITED. THE AUTHOR IS NOT RESPONSIBLE FOR ANY MISUSE OF THE DOCUMENT.
 ANY DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF THE AUTHOR.

DESIGN APPROVAL
PM-09.41GR-01 = chassis
 Copyright property of PODMATRIX CAMBRIDGE TASMANIA

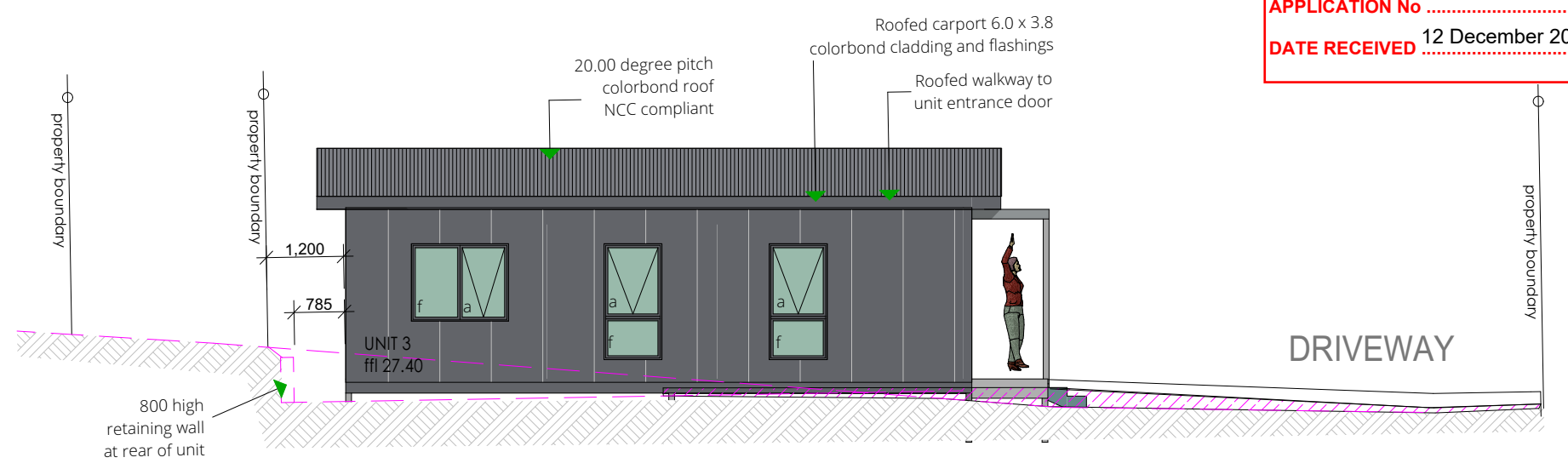
revision-date
ISSUE DRAWING A01
Campania 09.41

PROJECT NAME : Multiple Dwellings
 CLIENT : Homes Tasmaina
 SITE : 38 Maroubra Circle
CHIGWELL
 Date: 12/12/2024
 DRAWN BY : Marcus Ralph

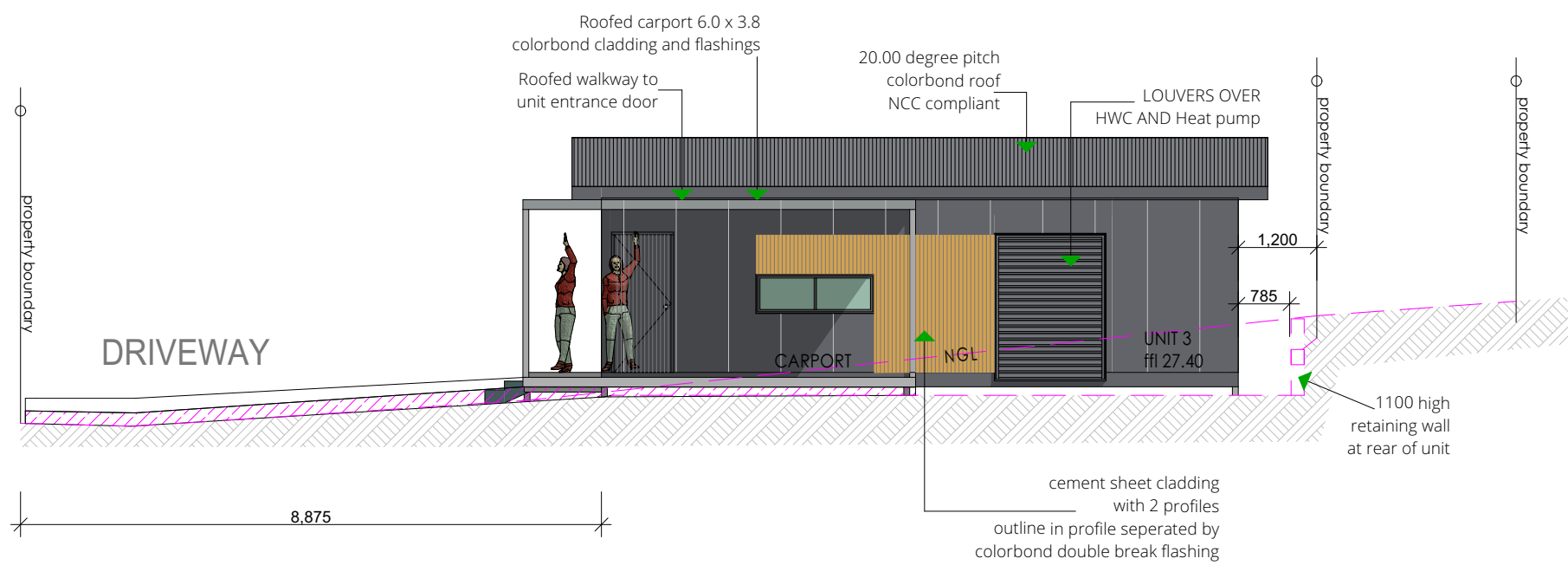
Elevations Unit 2
 PROJECT NO. 2024-997
 DRAWING NO. 997-04
 SCALE : 1:100



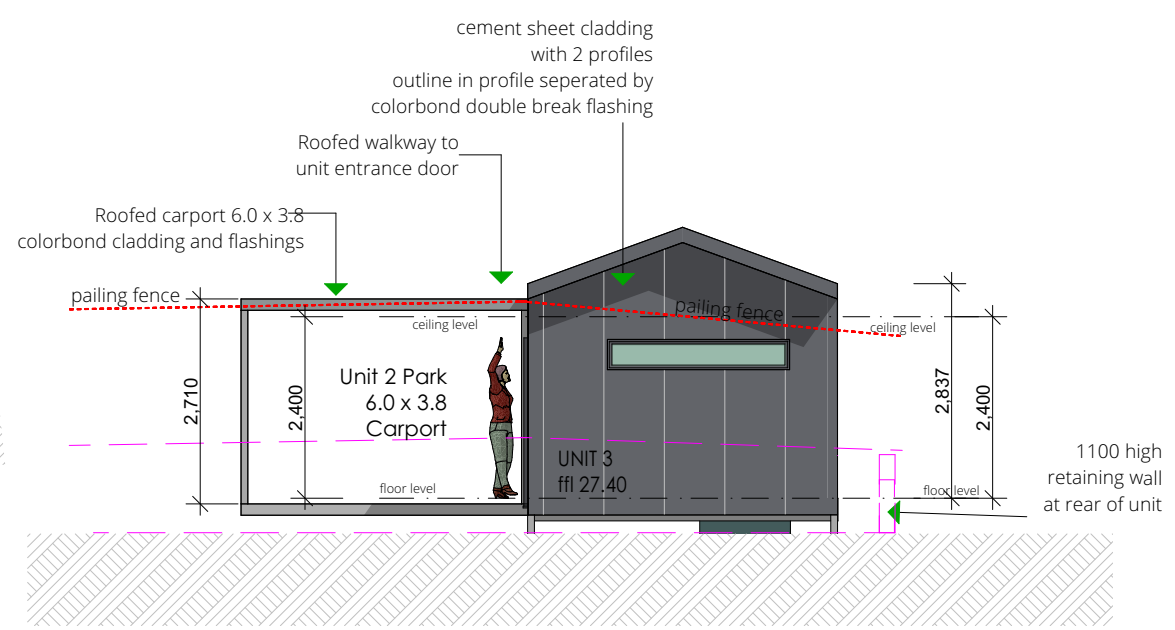
ELEVATION 04
South West Elevation
PM-09.41GR-01
1 Bed
SCALE 1:100



ELEVATION 03
North West Elevation
PM-09.41GR-01
1 Bed
SCALE 1:100



ELEVATION 01
South East Elevation
PM-09.41GR-01
1 Bed
SCALE 1:100



ELEVATION 02
North East Elevation
PM-09.41GR-01
1 Bed
SCALE 1:100



DO NOT SCALE DRAWINGS.
DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED FOR CONSTRUCTION.
ALL BOUNDARIES AND CONTOURS SUBJECT TO SURVEY. COPYRIGHT © THIS DOCUMENT IS AND SHALL REMAIN THE PROPERTY OF PODMATRIX P/L. THIS DOCUMENT MAY ONLY BE USED FOR THE PURPOSE FOR WHICH IT WAS COMMISSIONED AND IN ACCORDANCE WITH THE TERMS OF ENGAGEMENT FOR THE COMMISSION. UNAUTHORISED USE OF THIS DOCUMENT IS PROHIBITED. THE AUTHOR IS NOT RESPONSIBLE FOR ANY MISUSE OF THE DOCUMENT.
ANY DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF THE AUTHOR.

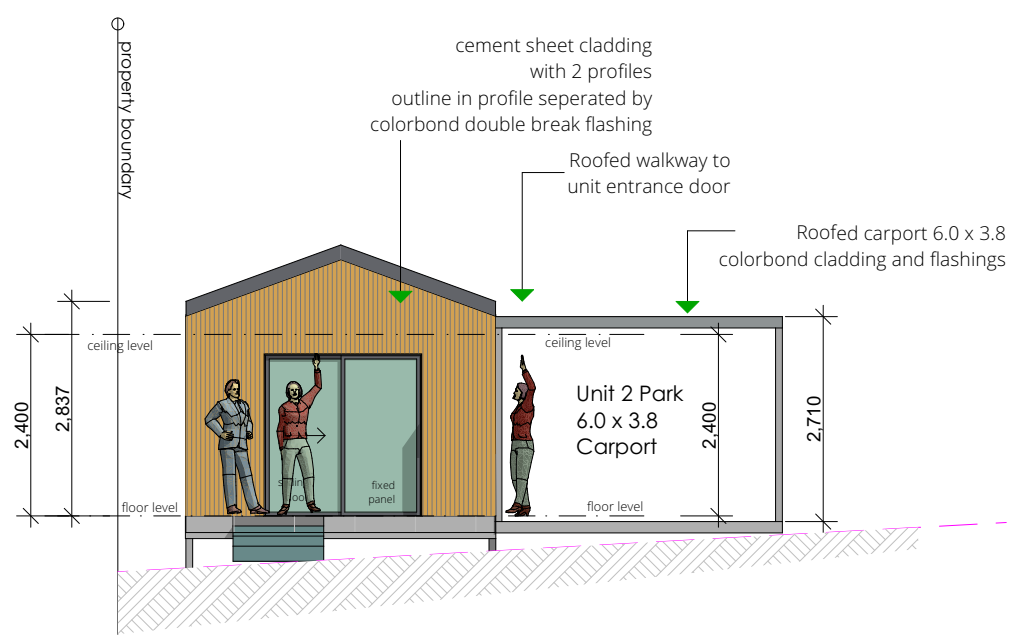
DESIGN APPROVAL
PM-09.41GR-01 = chassis
© Copyright property of PODMATRIX CAMBRIDGE TASMANIA

revision-date
ISSUE DRAWING A01
Campania 09.41

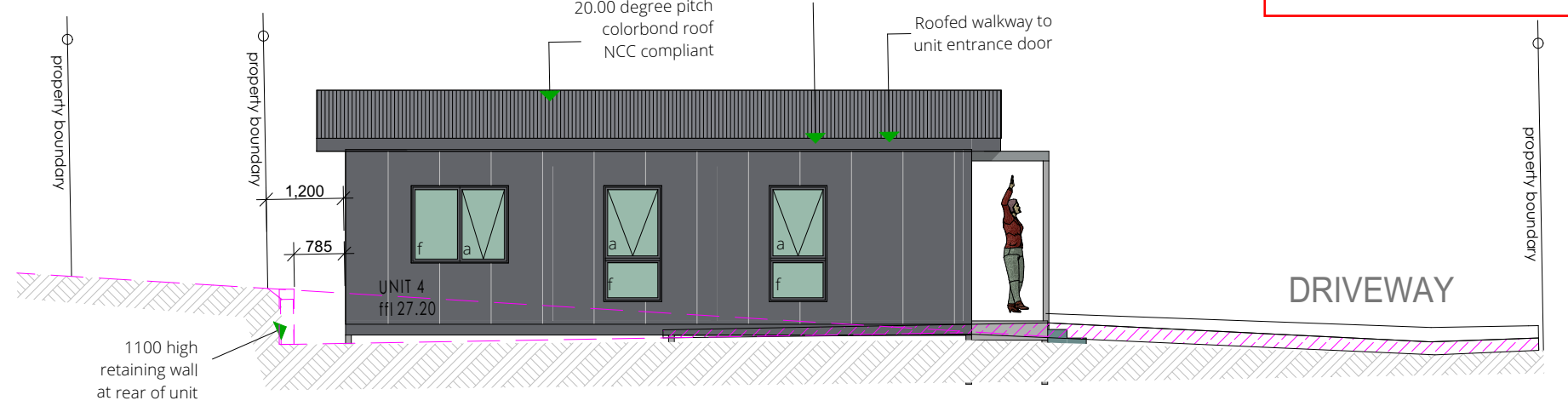
PROJECT NAME :
Multiple Dwellings
CLIENT :
Homes Tasmaina
SITE :
38 Maroubra Circle

CHIGWELL
Date: 12/12/2024
DRAWN BY : Marcus Ralph

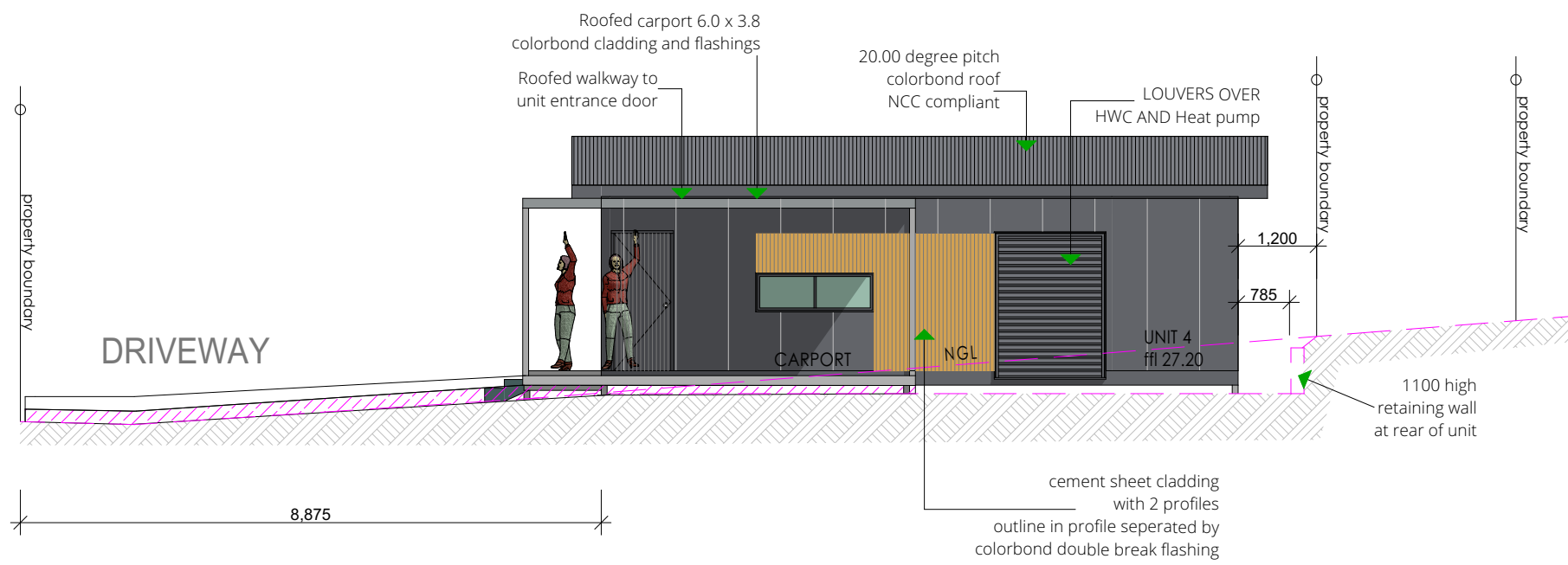
Elevations Unit 3
PROJECT NO. 2024-997
DRAWING NO. 997-05
SCALE : 1:100



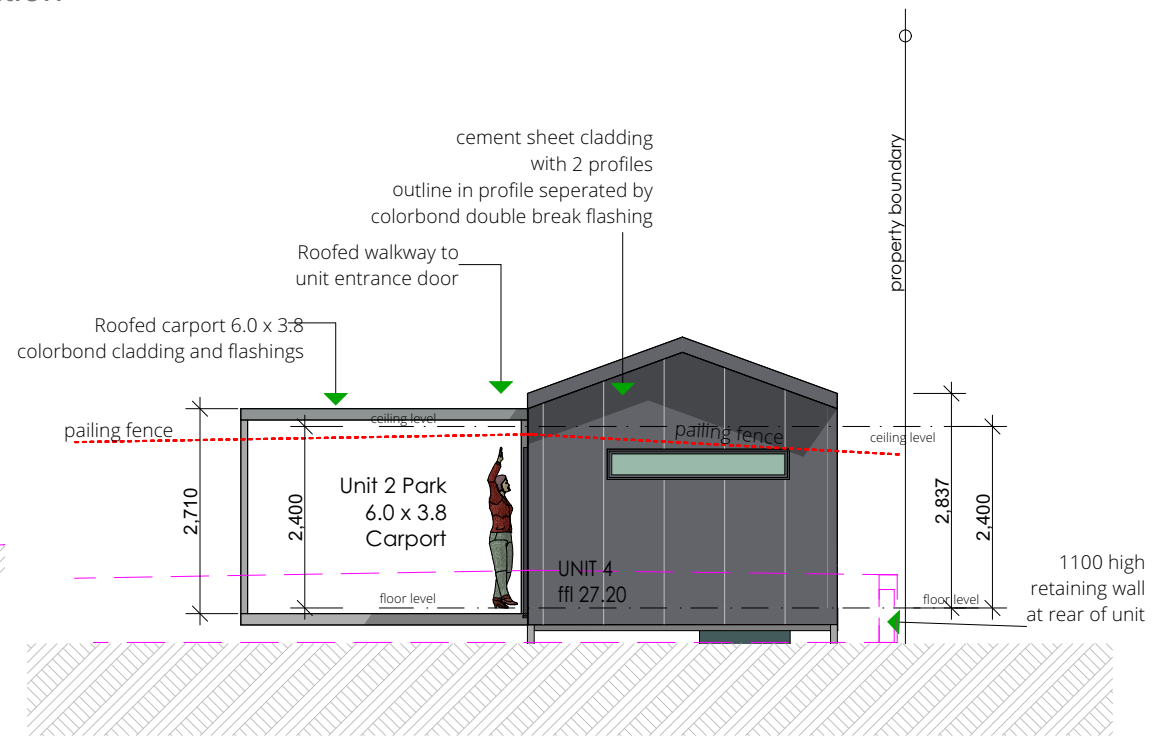
ELEVATION 04
South West Elevation
PM-09.41GR-01
 1 Bed
 SCALE 1:100



ELEVATION 03
North West Elevation
PM-09.41GR-01
 1 Bed
 SCALE 1:100



ELEVATION 01
South East Elevation
PM-09.41GR-01
 1 Bed
 SCALE 1:100



ELEVATION 02
North East Elevation
PM-09.41GR-01
 1 Bed
 SCALE 1:100



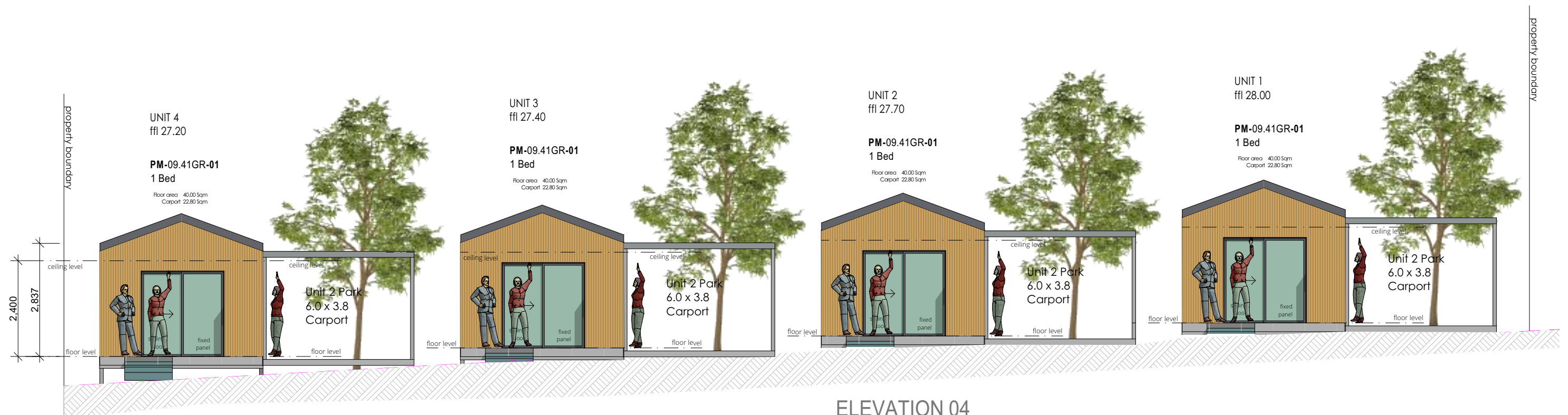
DO NOT SCALE DRAWINGS.
 DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED FOR CONSTRUCTION.
 ALL BOUNDARIES AND CONTOURS SUBJECT TO SURVEY. COPYRIGHT © THIS DOCUMENT IS AND SHALL REMAIN THE PROPERTY OF PODMATRIX P/L. THIS DOCUMENT MAY ONLY BE USED FOR THE PURPOSE FOR WHICH IT WAS COMMISSIONED AND IN ACCORDANCE WITH THE TERMS OF ENGAGEMENT FOR THE COMMISSION. UNAUTHORISED USE OF THIS DOCUMENT IS PROHIBITED. THE AUTHOR IS NOT RESPONSIBLE FOR ANY MISUSE OF THE DOCUMENT.
 ANY DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF THE AUTHOR.

DESIGN APPROVAL
PM-09.41GR-01 = chassis
 Copyright property of PODMATRIX CAMBRIDGE TASMANIA

revision-date
ISSUE DRAWING A01
Campania 09.41

PROJECT NAME :
 Multiple Dwellings
 CLIENT :
 Homes Tasmaina
 SITE :
 38 Maroubra Circle
CHIGWELL
 Date: 12/12/2024
 DRAWN BY : Marcus Ralph

Elevations Unit 4
 PROJECT NO. 2024-997
 DRAWING NO. 997-06
 SCALE : 1:100



ELEVATION 04
South West Elevation
PM-09.41GR-01
 1 Bed
 SCALE 1:100

ELEVATION 04
South West Elevation
PM-09.41GR-01
 1 Bed
 SCALE 1:100

Long Section through site



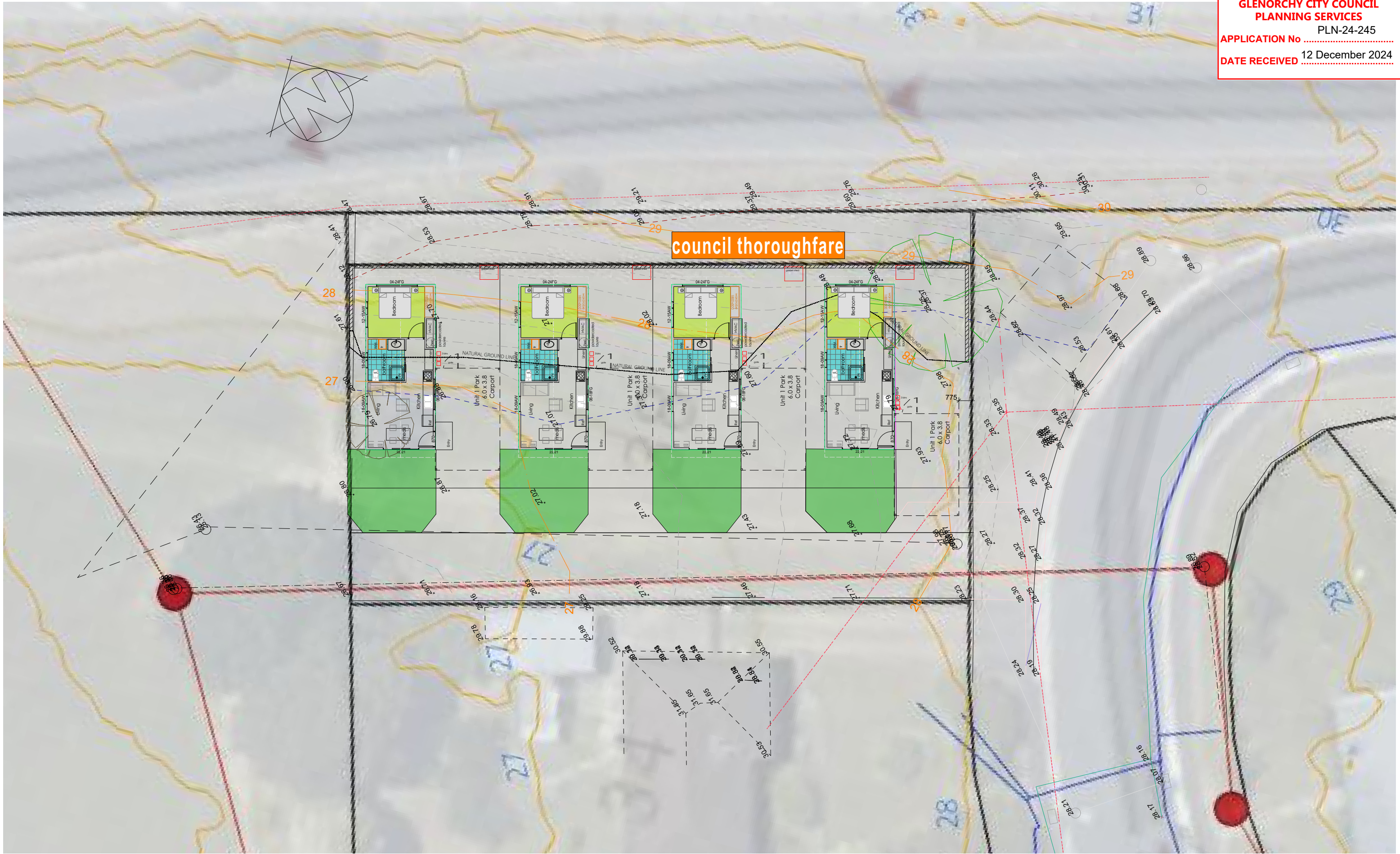
DO NOT SCALE DRAWINGS.
 DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED FOR CONSTRUCTION.
 ALL BOUNDARIES AND CONTOURS SUBJECT TO SURVEY. COPYRIGHT © THIS DOCUMENT IS AND SHALL REMAIN THE PROPERTY OF PODMATRIX P/L. THIS DOCUMENT MAY ONLY BE USED FOR THE PURPOSE FOR WHICH IT WAS COMMISSIONED AND IN ACCORDANCE WITH THE TERMS OF ENGAGEMENT FOR THE COMMISSION. UNAUTHORISED USE OF THIS DOCUMENT IS PROHIBITED. THE AUTHOR IS NOT RESPONSIBLE FOR ANY MISUSE OF THE DOCUMENT.
 ANY DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF THE AUTHOR.

DESIGN APPROVAL
PM-09.41GR-01 = chassis
 © Copyright property of PODMATRIX CAMBRIDGE TASMANIA

revision-date
ISSUE DRAWING A01
Campania 09.41

PROJECT NAME :
 Multiple Dwellings
 CLIENT :
 Homes Tasmaina
 SITE :
 38 Maroubra Circle
CHIGWELL
 Date: 12/12/2024
 DRAWN BY : Marcus Ralph

Long Section
 PROJECT NO. 2024-997
 DRAWING NO. 997-07
 SCALE : 1:100



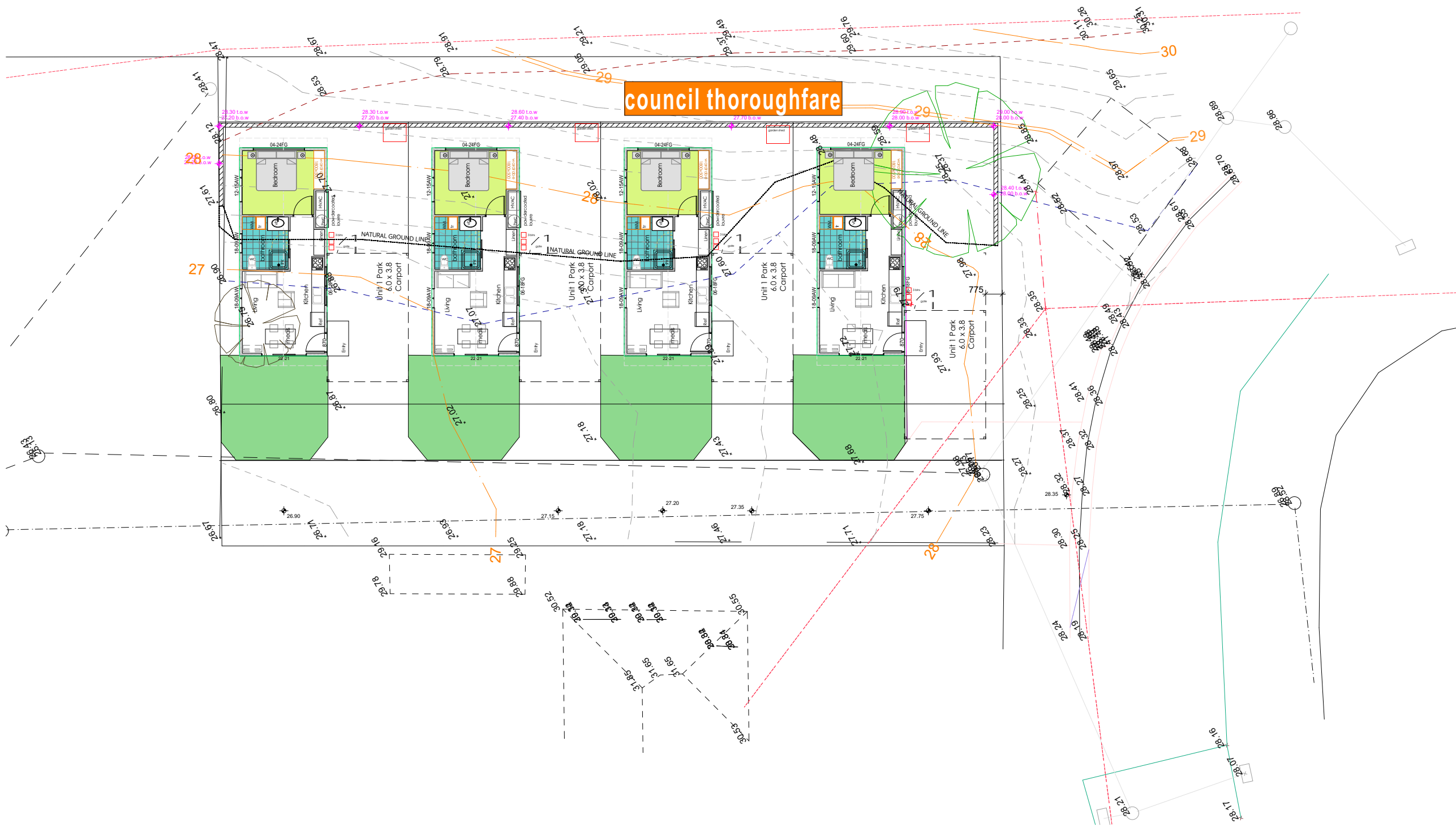
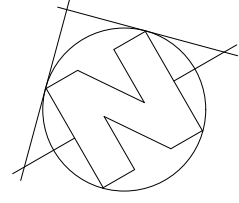
DO NOT SCALE DRAWINGS.
 DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED FOR CONSTRUCTION.
 ALL BOUNDARIES AND CONTOURS SUBJECT TO SURVEY. COPYRIGHT © THIS DOCUMENT IS AND SHALL REMAIN THE PROPERTY OF PODMATRIX P/L. THIS DOCUMENT MAY ONLY BE USED FOR THE PURPOSE FOR WHICH IT WAS COMMISSIONED AND IN ACCORDANCE WITH THE TERMS OF ENGAGEMENT FOR THE COMMISSION. UNAUTHORISED USE OF THIS DOCUMENT IS PROHIBITED. THE AUTHOR IS NOT RESPONSIBLE FOR ANY MISUSE OF THE DOCUMENT.
 ANY DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF THE AUTHOR.

DESIGN APPROVAL
PM-09.41GR-01 = chassis
 Copyright property of PODMATRIX CAMBRIDGE TASMANIA

revision-date
ISSUE DRAWING A01
Campania 09.41

PROJECT NAME :
 Multiple Dwellings
 CLIENT :
 Homes Tasmaina
 SITE :
 38 Maroubra Circle
CHIGWELL
 Date: 12/12/2024
 DRAWN BY : Marcus Ralph

Site Plan
 PROJECT NO. 2024-997
 DRAWING NO. 997-08
 SCALE : 1:200



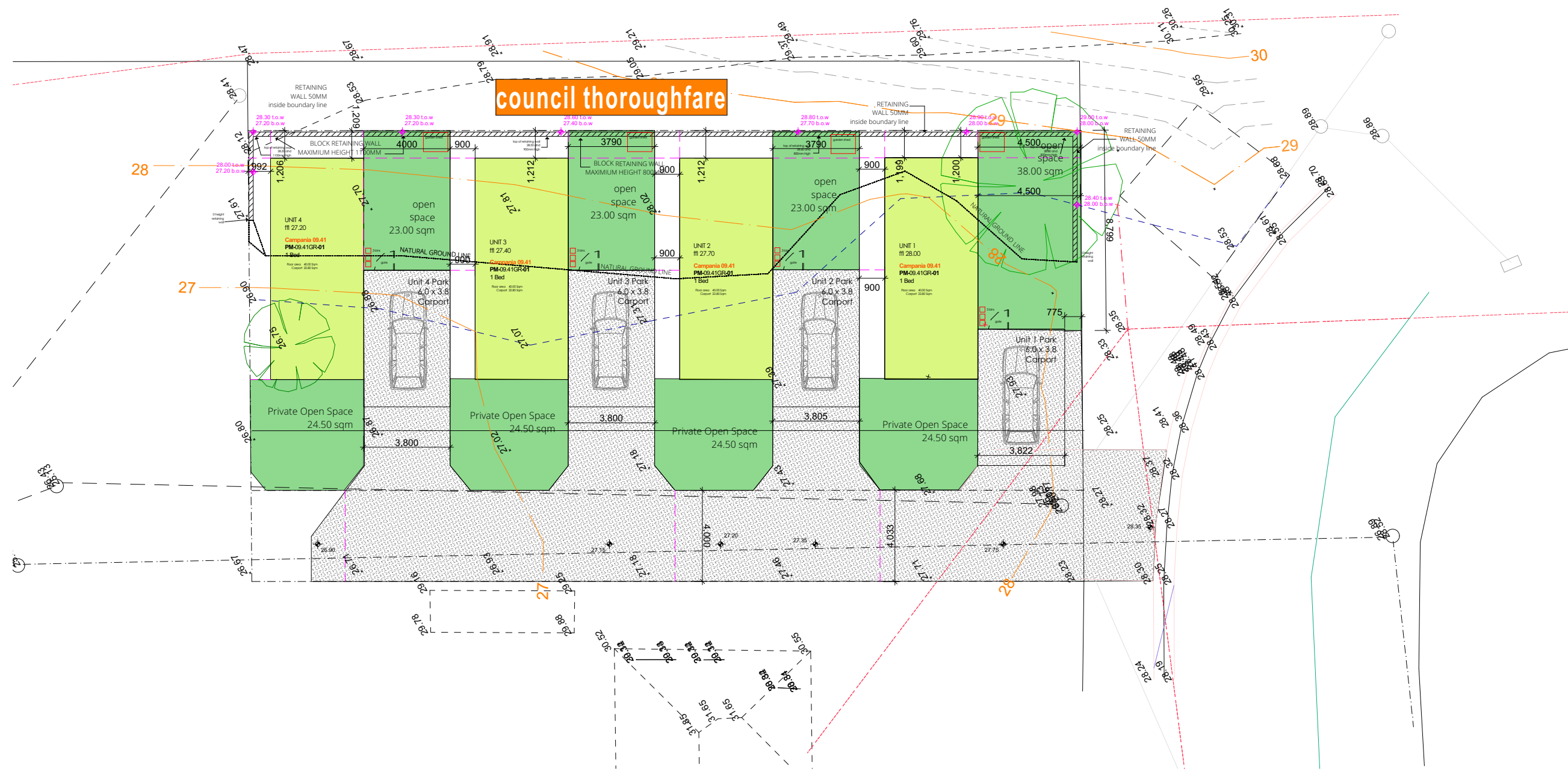
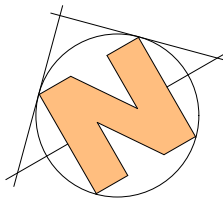
DO NOT SCALE DRAWINGS.
 DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED FOR CONSTRUCTION.
 ALL BOUNDARIES AND CONTOURS SUBJECT TO SURVEY. COPYRIGHT © THIS DOCUMENT IS AND SHALL REMAIN THE PROPERTY OF PODMATRIX P/L. THIS DOCUMENT MAY ONLY BE USED FOR THE PURPOSE FOR WHICH IT WAS COMMISSIONED AND IN ACCORDANCE WITH THE TERMS OF ENGAGEMENT FOR THE COMMISSION. UNAUTHORISED USE OF THIS DOCUMENT IS PROHIBITED. THE AUTHOR IS NOT RESPONSIBLE FOR ANY MISUSE OF THE DOCUMENT.
 ANY DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF THE AUTHOR.

DESIGN APPROVAL
PM-09.41GR-01 = chassis
 Copyright property of PODMATRIX CAMBRIDGE TASMANIA

revision-date
ISSUE DRAWING A01
Campania 09.41

PROJECT NAME :
 Multiple Dwellings
 CLIENT :
 Homes Tasmaina
 SITE :
 38 Maroubra Circle
CHIGWELL
 Date: 12/12/2024
 DRAWN BY : Marcus Ralph

Site Plan
 PROJECT NO. 2024-997
 DRAWING NO. 997-09
 SCALE : 1:200



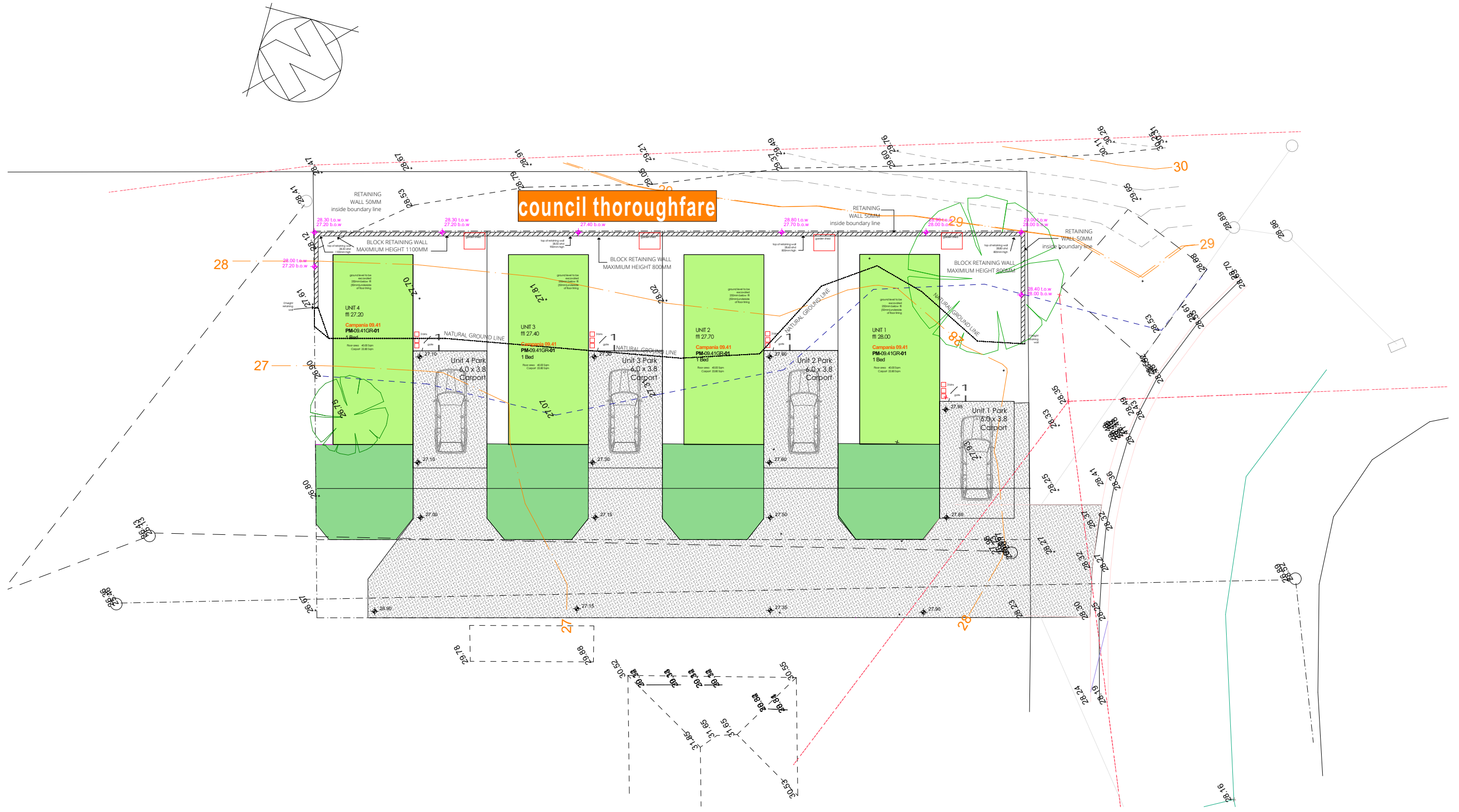
DO NOT SCALE DRAWINGS.
 DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED FOR CONSTRUCTION.
 ALL BOUNDARIES AND CONTOURS SUBJECT TO SURVEY. COPYRIGHT © THIS DOCUMENT IS AND SHALL REMAIN THE PROPERTY OF PODMATRIX P/L. THIS DOCUMENT MAY ONLY BE USED FOR THE PURPOSE FOR WHICH IT WAS COMMISSIONED AND IN ACCORDANCE WITH THE TERMS OF ENGAGEMENT FOR THE COMMISSION. UNAUTHORISED USE OF THIS DOCUMENT IS PROHIBITED. THE AUTHOR IS NOT RESPONSIBLE FOR ANY MISUSE OF THE DOCUMENT.
 ANY DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF THE AUTHOR.

DESIGN APPROVAL
 PM-09.41GR-01 = chassis
 © Copyright property of PODMATRIX CAMBRIDGE TASMANIA

revision-date
ISSUE DRAWING A01
Campania 09.41

PROJECT NAME:
 Multiple Dwellings
 CLIENT:
 Homes Tasmaina
 SITE:
 38 Maroubra Circle
CHIGWELL
 Date: 12/12/2024
 DRAWN BY: Marcus Ralph

Setbacks
 PROJECT NO. 2024-997
 DRAWING NO. 997-10
 SCALE: 1:200



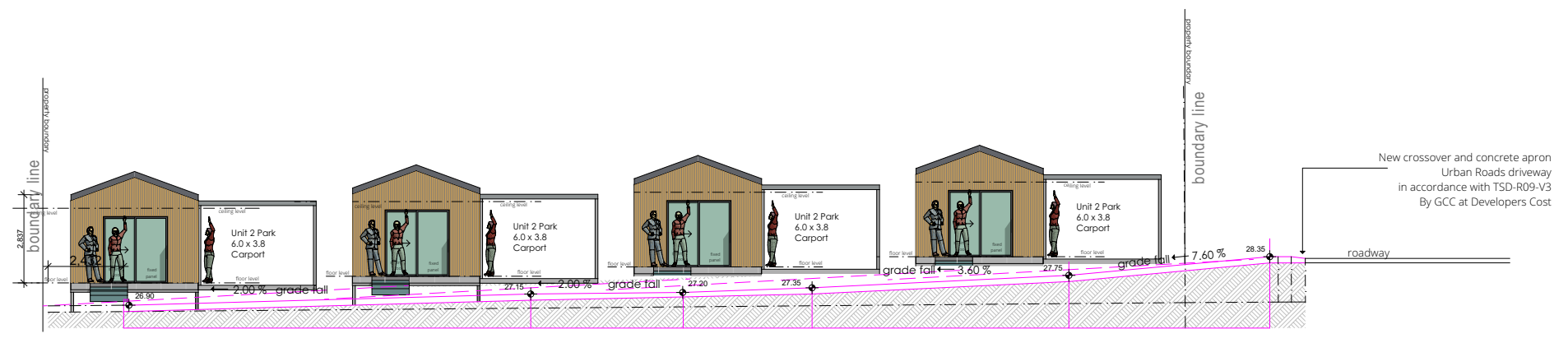
DO NOT SCALE DRAWINGS.
 DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED FOR CONSTRUCTION.
 ALL BOUNDARIES AND CONTOURS SUBJECT TO SURVEY. COPYRIGHT © THIS DOCUMENT IS AND SHALL REMAIN THE PROPERTY OF PODMATRIX P/L. THIS DOCUMENT MAY ONLY BE USED FOR THE PURPOSE FOR WHICH IT WAS COMMISSIONED AND IN ACCORDANCE WITH THE TERMS OF ENGAGEMENT FOR THE COMMISSION. UNAUTHORISED USE OF THIS DOCUMENT IS PROHIBITED. THE AUTHOR IS NOT RESPONSIBLE FOR ANY MISUSE OF THE DOCUMENT.
 ANY DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF THE AUTHOR.

DESIGN APPROVAL
 PM-09.41GR-01 = chassis
 Copyright property of PODMATRIX CAMBRIDGE TASMANIA

revision-date
ISSUE DRAWING A01
Campania 09.41

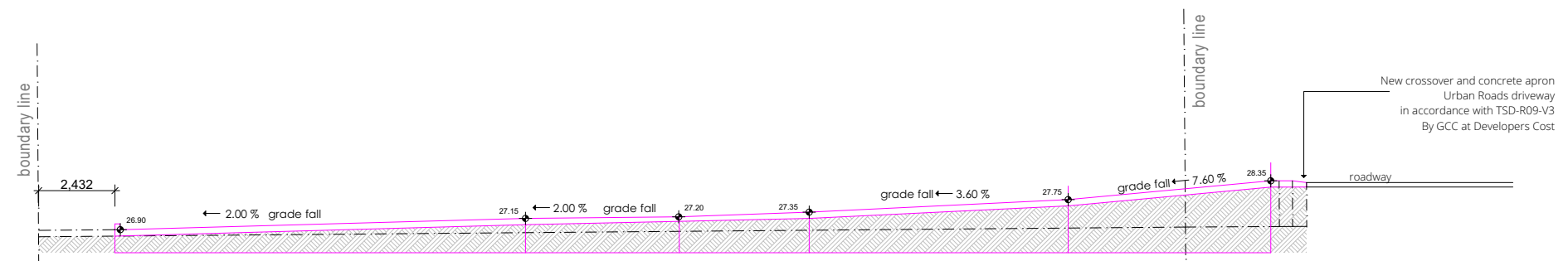
PROJECT NAME :
 Multiple Dwellings
 CLIENT :
 Homes Tasmaina
 SITE :
 38 Maroubra Circle
CHIGWELL
 Date: 12/12/2024
 DRAWN BY : Marcus Ralph

Driveway Levels
 PROJECT NO. 2024-997
 DRAWING NO. 997-11
 SCALE : 1:200



ELEVATION 04
 South West Elevation
 PM-09.41GR-01
 1 Bed
 100:1:120

Design Drawing driveway levels



Design Drawing driveway levels

Generally
 32 Mpa concrete, 100mm compacted (80% compaction)
 125mm concrete pavement on grade SL 82 TOP 30 COVER
 sub-base to be for, 100 thick
 compacted to 85% to reduce surface cracking

PROPOSED SURFACE	28.90	27.15	27.20	27.35	27.75	28.35	28.30
EXISTING GROUND	28.90	27.18	27.20	27.50	27.85	28.35	28.30
GRADE		← 2.00% grade fall	← 2.00% grade fall	grade fall ← 3.60%	grade fall ← 3.60%	grade fall ← 7.60%	
DISTANCE	38,000mm	24915mm	20000mm	15865mm	7600mm	1145mm	

Longitudinal Section through driveway

DOWN CENTRELINE



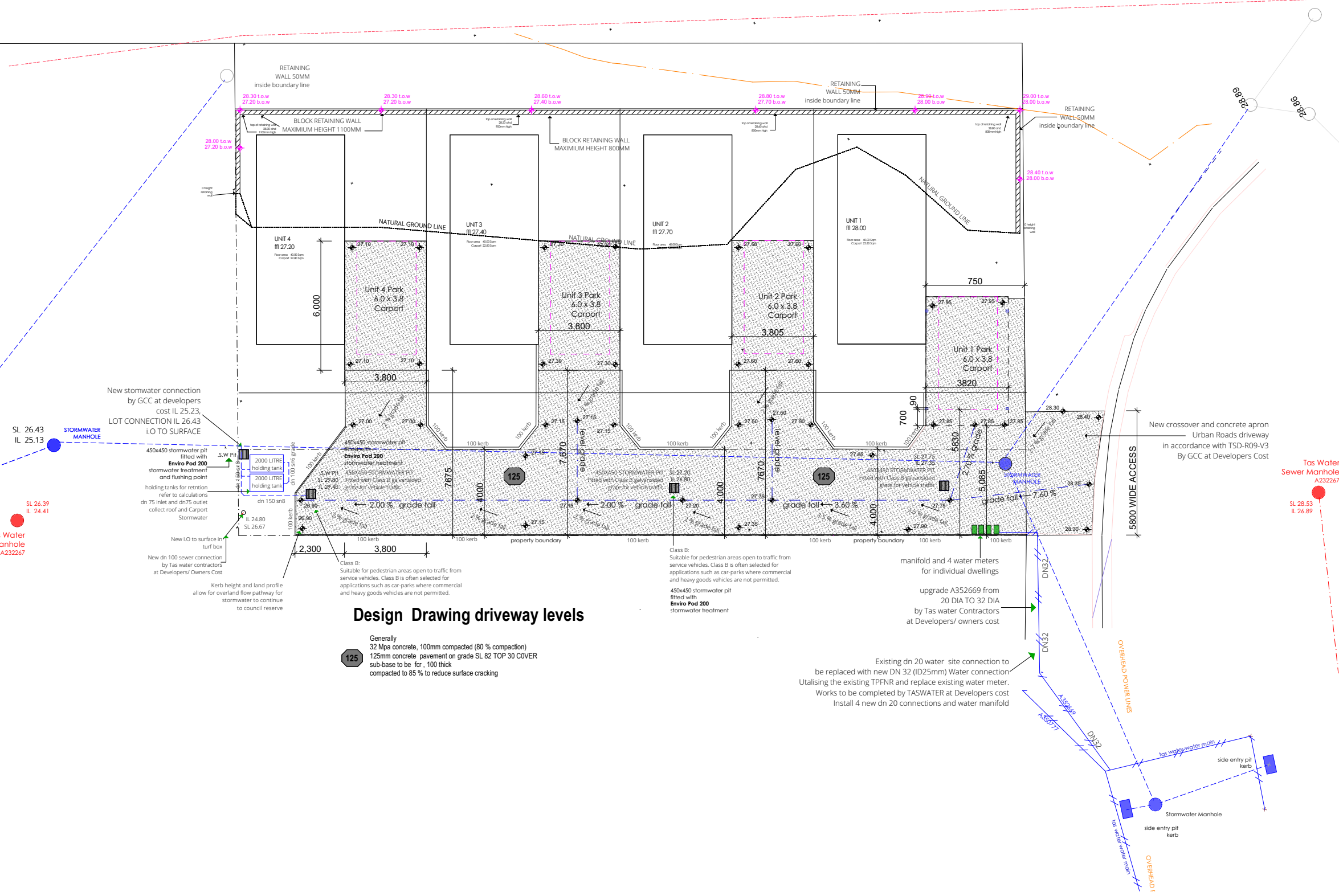
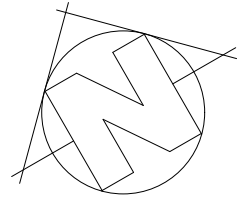
DO NOT SCALE DRAWINGS.
 DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED FOR CONSTRUCTION.
 ALL BOUNDARIES AND CONTOURS SUBJECT TO SURVEY. COPYRIGHT © THIS DOCUMENT IS AND SHALL REMAIN THE PROPERTY OF PODMATRIX P/L. THIS DOCUMENT MAY ONLY BE USED FOR THE PURPOSE FOR WHICH IT WAS COMMISSIONED AND IN ACCORDANCE WITH THE TERMS OF ENGAGEMENT FOR THE COMMISSION. UNAUTHORISED USE OF THIS DOCUMENT IS PROHIBITED. THE AUTHOR IS NOT RESPONSIBLE FOR ANY MISUSE OF THE DOCUMENT.
 ANY DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF THE AUTHOR.

DESIGN APPROVAL
 PM-09.41GR-01 = chassis
 Copyright property of PODMATRIX CAMBRIDGE TASMANIA

revision-date
ISSUE DRAWING A01
Campania 09.41

PROJECT NAME :
 Multiple Dwellings
 CLIENT :
 Homes Tasmaina
 SITE :
 38 Maroubra Circle
CHIGWELL
 Date: 12/12/2024
 DRAWN BY : Marcus Ralph

Long Section
 PROJECT NO. 2024-997
 DRAWING NO. 997-12
 SCALE : 1:200



Design Drawing driveway levels

Generally
 32 Mpa concrete, 100mm compacted (80% compaction)
 125mm concrete pavement on grade SL 82 TOP 30 COVER
 sub-base to be for 100 thick
 compacted to 85% to reduce surface cracking

Class B:
 Suitable for pedestrian areas open to traffic from service vehicles. Class B is often selected for applications such as car-parks where commercial and heavy goods vehicles are not permitted.

Existing dn 20 water site connection to be replaced with new DN 32 (D25mm) Water connection Utilising the existing TPFNR and replace existing water meter. Works to be completed by TASWATER at Developers cost Install 4 new dn 20 connections and water manifold



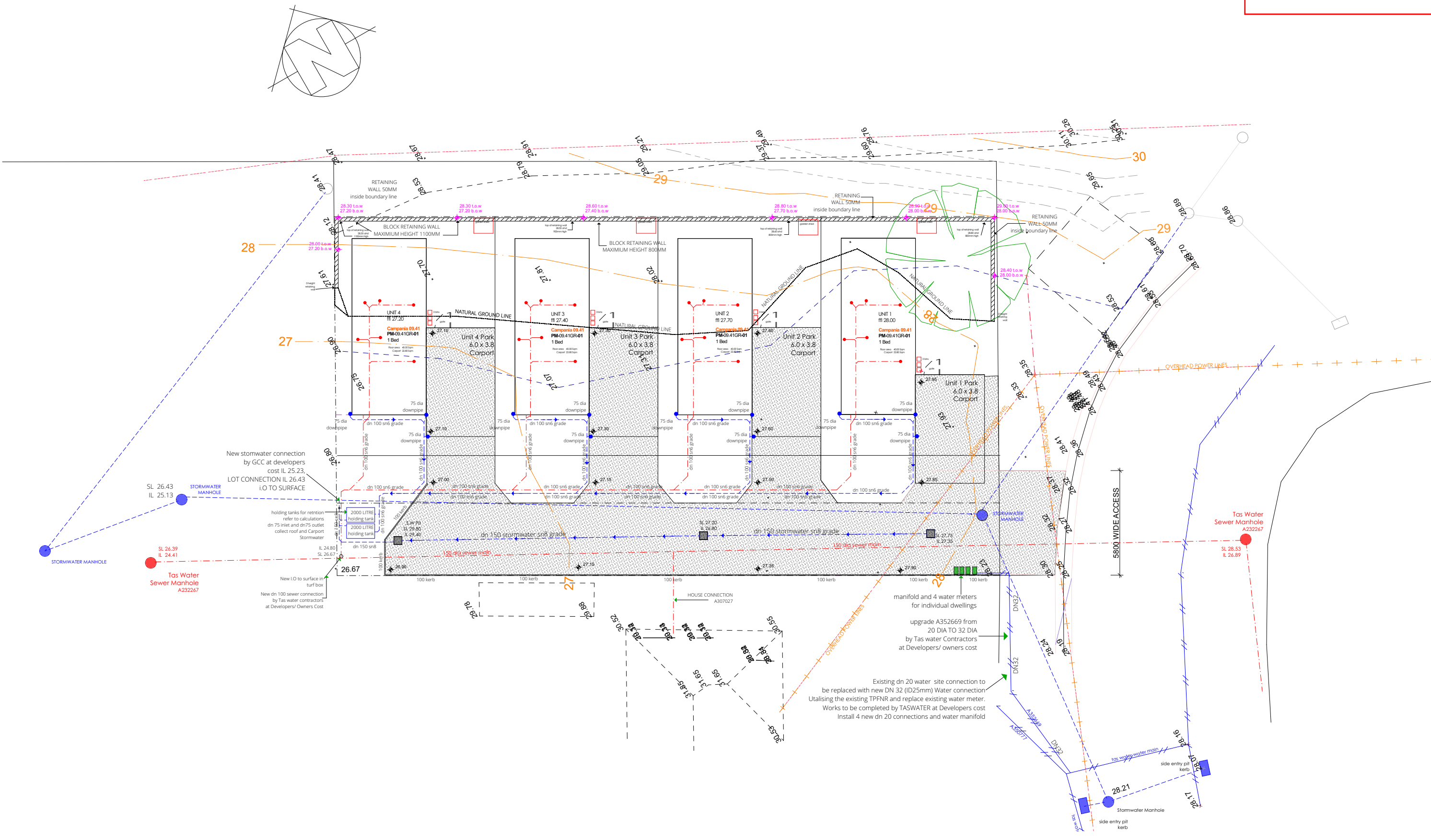
DO NOT SCALE DRAWINGS.
 DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED FOR CONSTRUCTION.
 ALL BOUNDARIES AND CONTOURS SUBJECT TO SURVEY. COPYRIGHT © THIS DOCUMENT IS AND SHALL REMAIN THE PROPERTY OF PODMATRIX P/L. THIS DOCUMENT MAY ONLY BE USED FOR THE PURPOSE FOR WHICH IT WAS COMMISSIONED AND IN ACCORDANCE WITH THE TERMS OF ENGAGEMENT FOR THE COMMISSION. UNAUTHORISED USE OF THIS DOCUMENT IS PROHIBITED. THE AUTHOR IS NOT RESPONSIBLE FOR ANY MISUSE OF THE DOCUMENT.
 ANY DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF THE AUTHOR.

DESIGN APPROVAL
 PM-09.41GR-01 = chassis
 Copyright property of PODMATRIX CAMBRIDGE TASMANIA

revision-date
ISSUE DRAWING A01
Campania 09.41

PROJECT NAME :
Multiple Dwellings
 CLIENT :
Homes Tasmaina
 SITE :
38 Maroubra Circle
CHIGWELL
 Date: 12/12/2024

Driveway Levels
 PROJECT NO. 2024-997
 DRAWING NO. 997-13
 SCALE : 1:200
 DRAWN BY : Marcus Ralph



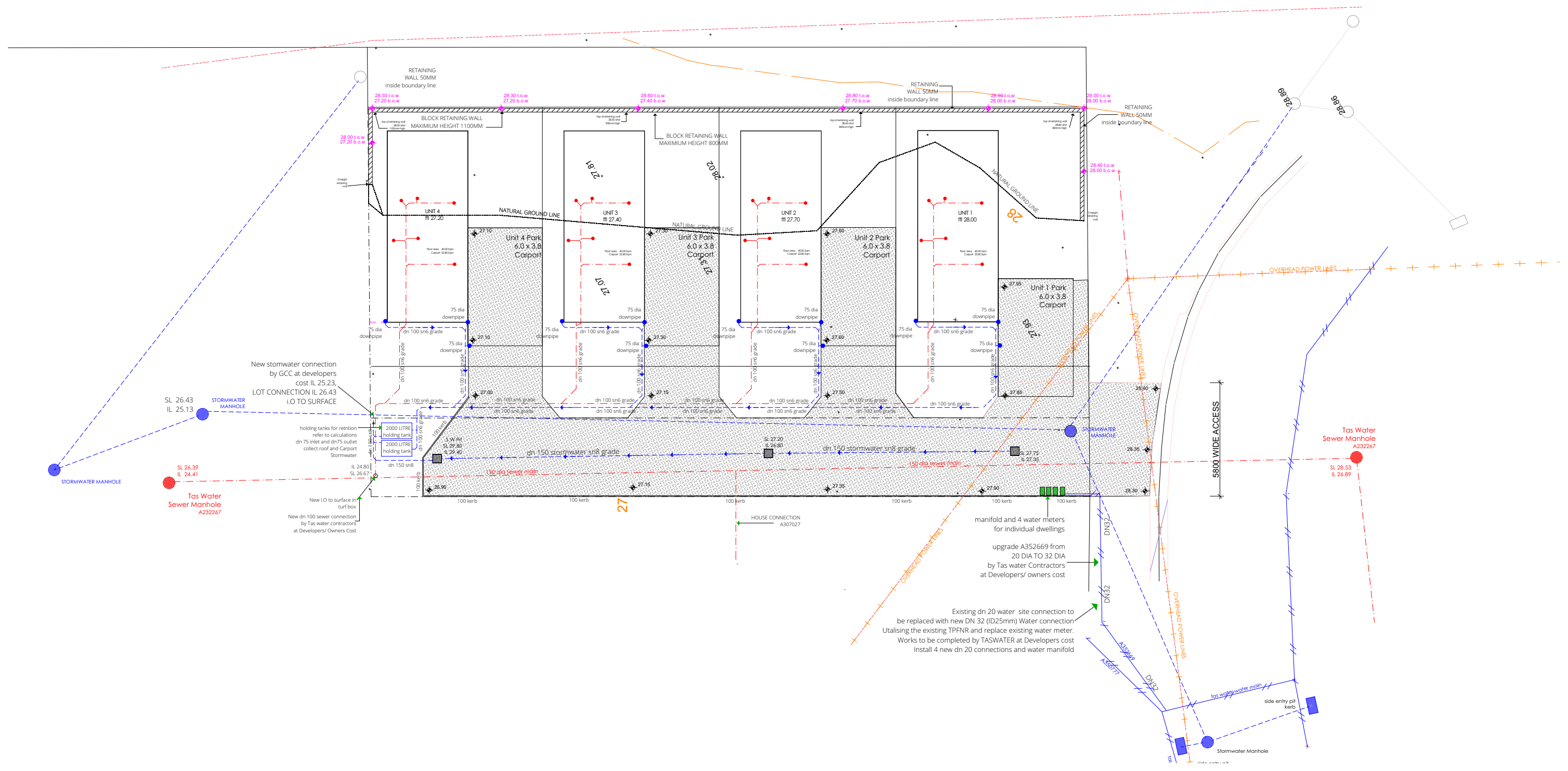
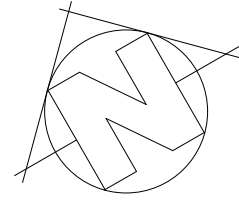
DO NOT SCALE DRAWINGS.
 DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED FOR CONSTRUCTION.
 ALL BOUNDARIES AND CONTOURS SUBJECT TO SURVEY. COPYRIGHT © THIS DOCUMENT IS AND SHALL REMAIN THE PROPERTY OF PODMATRIX P/L. THIS DOCUMENT MAY ONLY BE USED FOR THE PURPOSE FOR WHICH IT WAS COMMISSIONED AND IN ACCORDANCE WITH THE TERMS OF ENGAGEMENT FOR THE COMMISSION. UNAUTHORIZED USE OF THIS DOCUMENT IS PROHIBITED. THE AUTHOR IS NOT RESPONSIBLE FOR ANY MISUSE OF THE DOCUMENT.
 ANY DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF THE AUTHOR.

DESIGN APPROVAL
PM-09.41GR-01 = chassis
 Copyright property of PODMATRIX CAMBRIDGE TASMANIA

revision-date
ISSUE DRAWING A01
Campania 09.41

PROJECT NAME :
Multiple Dwellings
 CLIENT :
Homes Tasmaina
 SITE :
38 Maroubra Circle
CHIGWELL
 Date: 12/12/2024

Drainage Plan
 PROJECT NO. 2024-997
 DRAWING NO. 997-14
 SCALE : 1:200



DO NOT SCALE DRAWINGS.
 DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED FOR CONSTRUCTION.
 ALL BOUNDARIES AND CONTOURS SUBJECT TO SURVEY. COPYRIGHT © THIS DOCUMENT IS AND SHALL REMAIN THE PROPERTY OF PODMATRIX P/L. THIS DOCUMENT MAY ONLY BE USED FOR THE PURPOSE FOR WHICH IT WAS COMMISSIONED AND IN ACCORDANCE WITH THE TERMS OF ENGAGEMENT FOR THE COMMISSION. UNAUTHORISED USE OF THIS DOCUMENT IS PROHIBITED. THE AUTHOR IS NOT RESPONSIBLE FOR ANY MISUSE OF THE DOCUMENT.
 ANY DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF THE AUTHOR.

DESIGN APPROVAL
 PM-09.41GR-01 = chassis
 Copyright property of PODMATRIX CAMBRIDGE TASMANIA

revision-date
ISSUE DRAWING A01
Campania 09.41

PROJECT NAME :
Multiple Dwellings
 CLIENT :
Homes Tasmania
 SITE :
38 Maroubra Circle
CHIGWELL
 Date: 12/12/2024

Drainage Plan
 PROJECT NO. 2024-997
 DRAWING NO. 997-15
 SCALE : 1:200
 DRAWN BY : Marcus Ralph

LANDSCAPING LEGEND:

PROPOSED BUILDING

GARDEN SHED
 2.20 METRES
 1.5 METRES

clothes line

100 thick reinforced concrete pathway

timber paling fence 1500mm high

TREES

Tall tree or small tree

concrete driveway
 Refer to Engineers Drawings

LAWN AREA 100mm loam raked level and rolled compressed seeded with general fescue /rye seed.

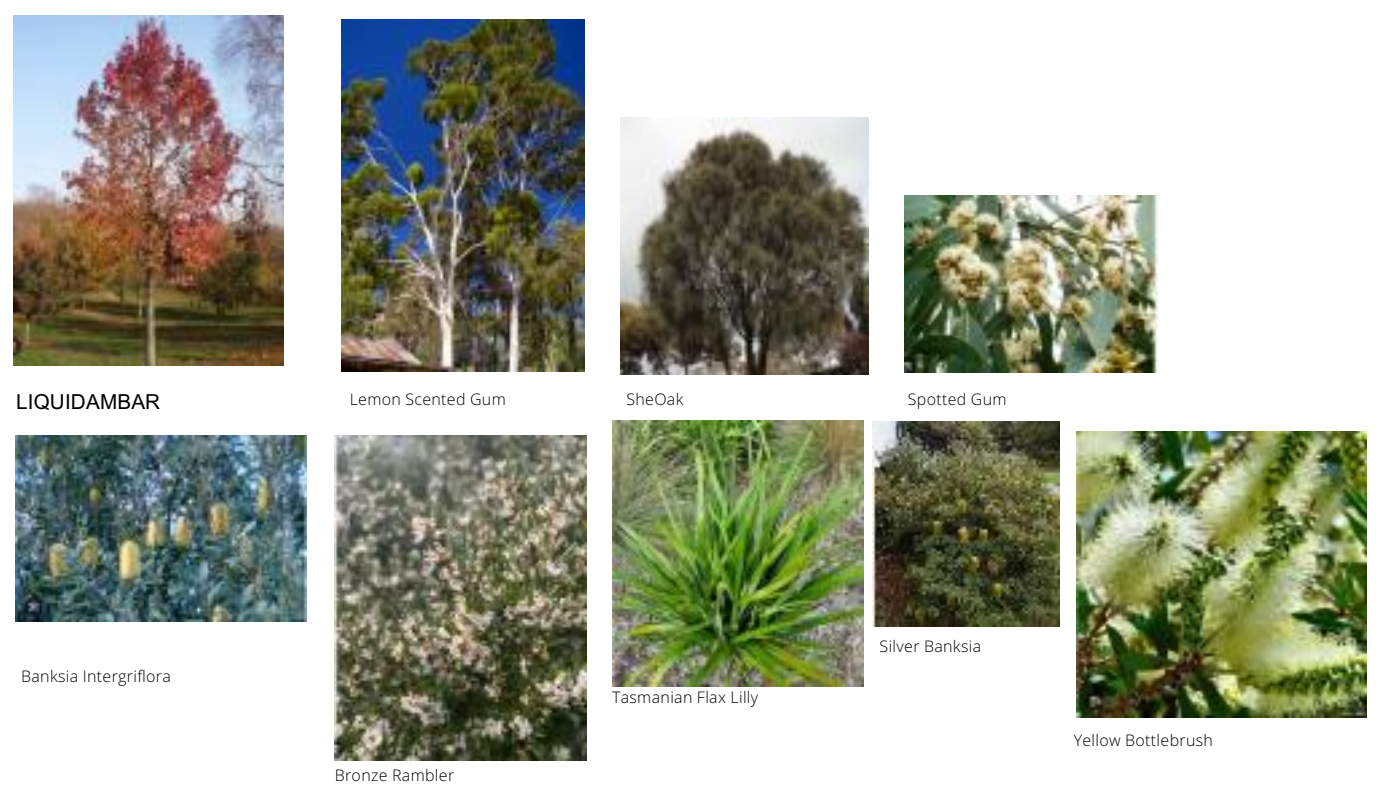
Garden bed cultivated with dynamic lifter pelets topped with GUM MULCH 100MM THICK

Crushed rock garden bed with weed matting to a depth of 75mm.
 20mm clean TASSIE GOLD

Crushed rock garden bed with weed matting to a depth of 75mm.
 20mm clean White ICE ROCK



LANDSCAPING SCHEDULE				
LISTED SPECIES MAY NOT ALL BE APPLICABLE				
COMMON NAME	SCIENTIFIC NAME	HEIGHT	WIDTH	NOTES
TALL FEATURE TREES				
LEMON-SCENTED GUM	EUCALYPTUS CITRIODORA	20m	8m	FEATURE TREES PREDOMINANTLY FRONTING HIGHWAY
SPOTTED GUM	CORYMBIA MACULATA	10m	5m	
SMALL TREES				
SHE OAK	ALLOCASUARINA VERTICILLATA	5m	3m	COPSE PLANTINGS ACROSS SITE
SOUTH ESK PINE	CALLITRIS OBLONGA	4m	2m	
MEDIUM SHRUBS / BUSHES				
WHITE CORREA	CORREA ALBA	1.5m	1.5m	BORDERING SITE ENTRY / DRIVEWAY
SILVER BANKSIA	BANKSIA MARGINATA	3m	2m	SCREENING PLANTINGS AND AREAS OF VISUAL IMPROVEMENT
YELLOW BOTTLEBRUSH	CALLISTEMON PALLIDUS	3m	2m	
NATIVE GRASSES				
TASMAN FLAX LILY	DIANELLA TASMANICA	0.5m	0.5m	BORDERING SITE ENTRY / DRIVEWAY
GROUND COVERS				
BRONZE RAMBLER	GREVILLEA AUSTRALIS	1m	4m	ACROSS DESIGNATED LANDSCAPED AREAS AND EMBANKMENTS
INTEGRIFLORA	BANKSIA INTEGRIFLORA	1m	4m	
LARGE FEATURE TREE				
LIQUIDAMBAR	LIQUIDAMBAR STYRACIFLUA	9.0M	4.0M	AT SPECIFIC LOCATION REQUIRING DYNAMIC SCREENING



PODMATRIX

1102 CAMBRIDGE ROAD, CAMBRIDGE TAS 7170
 P: +03) 6248 4560 | E: INFO@PODMATRIX.COM.AU

DO NOT SCALE DRAWINGS.
 DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED FOR CONSTRUCTION.
 ALL BOUNDARIES AND CONTOURS SUBJECT TO SURVEY. COPYRIGHT © THIS DOCUMENT IS AND SHALL REMAIN THE PROPERTY OF PODMATRIX P/L. THIS DOCUMENT MAY ONLY BE USED FOR THE PURPOSE FOR WHICH IT WAS COMMISSIONED AND IN ACCORDANCE WITH THE TERMS OF ENGAGEMENT FOR THE COMMISSION. UNAUTHORISED USE OF THIS DOCUMENT IS PROHIBITED. THE AUTHOR IS NOT RESPONSIBLE FOR ANY MISUSE OF THE DOCUMENT.
 ANY DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF THE AUTHOR.

DESIGN APPROVAL

PM-09.41GR-01 = chassis

© Copyright property of PODMATRIX CAMBRIDGE TASMANIA

revision-date
ISSUE DRAWING A01
Campania 09.41

PROJECT NAME :
 Multiple Dwellings

CLIENT :
 Homes Tasmaina

SITE :
 38 Maroubra Circle

CHIGWELL
 Date: 12/12/2024

DRAWN BY : Marcus Ralph

Landscaping plan

PROJECT NO. 2024-997
 DRAWING NO. 997-16

SCALE : 1:200

LANDSCAPING LEGEND:

PROPOSED BUILDING

GARDEN SHED

clothes line

100 thick reinforced concrete pathway

timber paling fence 1500mm high



TREES

Tall tree or small tree

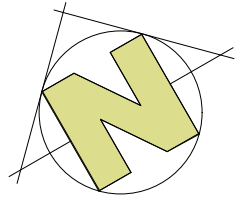
concrete driveway
Refer to Engineers Drawings

LAWN AREA 100mm loam raked level and rolled compressed seeded with general fescue /rye seed.

Garden bed cultivated with dynamic lifter pelets topped with GUM MULCH 100MM THICK

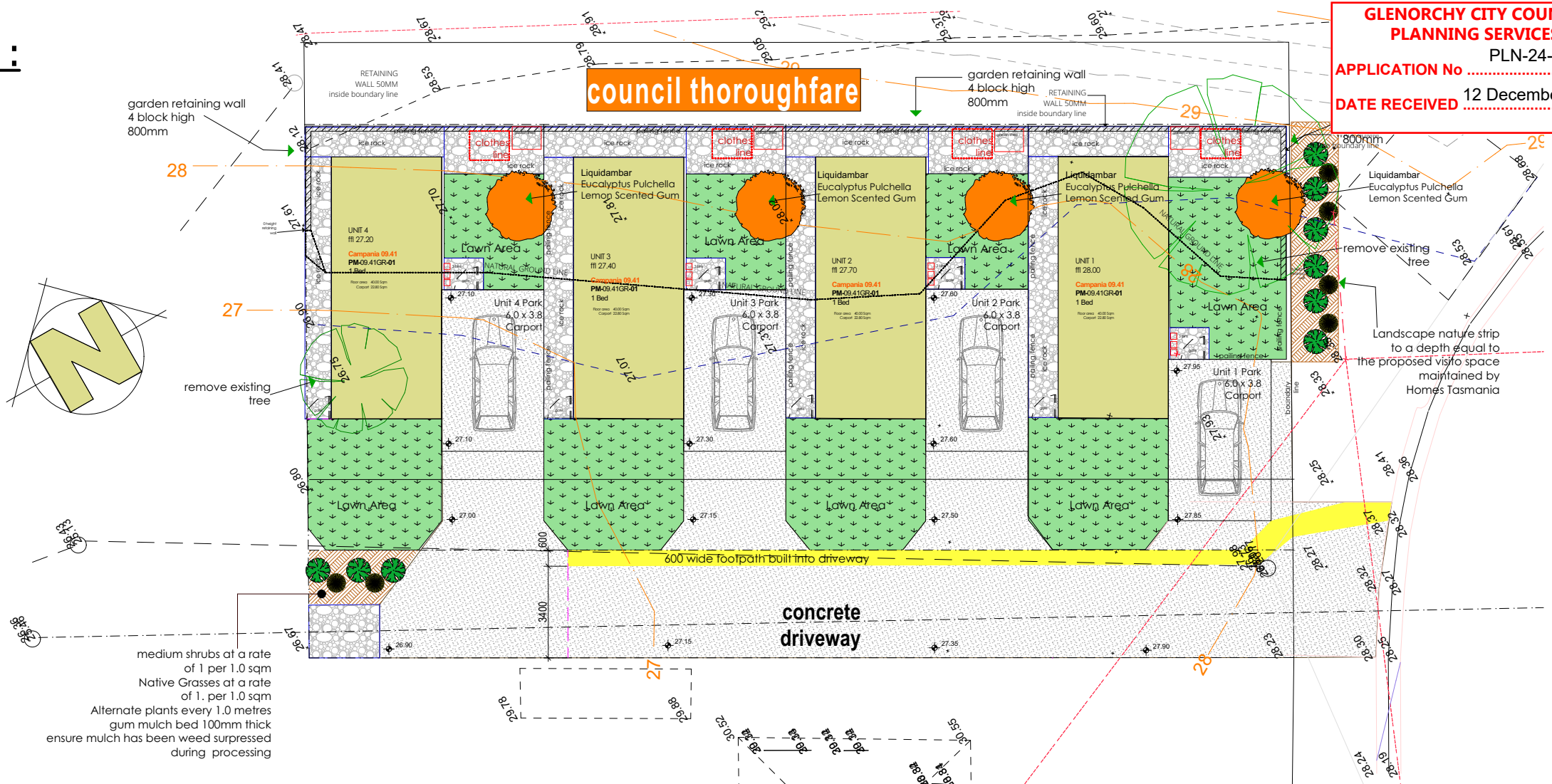
Crushed rock garden bed with weed matting to a depth of 75mm.
20mm clean TASSIE GOLD

Crushed rock garden bed with weed matting to a depth of 75mm.
20mm clean White ICE ROCK



medium shrubs at a rate of 1 per 1.0 sqm
Native Grasses at a rate of 1. per 1.0 sqm
Alternate plants every 1.0 metres
gum mulch bed 100mm thick
ensure mulch has been weed suppressed during processing

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
APPLICATION No. PLN-24-245
DATE RECEIVED 12 December 2024



LANDSCAPING SCHEDULE

LISTED SPECIES MAY NOT ALL BE APPLICABLE					
COMMON NAME	SCIENTIFIC NAME	HEIGHT	WIDTH	NOTES	
TALL FEATURE TREES					
LEMON-SCENTED GUM	EUCALYPTUS CITRIODORA	20m	8m	FEATURE TREES PREDOMINANTLY FRONTING HIGHWAY	
SPOTTED GUM	CORYMBIA MACULATA	10m	5m		
SMALL TREES					
SHE OAK	ALLOCASUARINA VERTICILLATA	5m	3m	COPSE PLANTINGS ACROSS SITE	
SOUTH ESK PINE	CALLITRIS OBLONGA	4m	2m		
MEDIUM SHRUBS / BUSHES					
WHITE CORREA	CORREA ALBA	1.5m	1.5m	BORDERING SITE ENTRY / DRIVEWAY	
SILVER BANKSIA	BANKSIA MARGINATA	3m	2m	SCREENING PLANTINGS AND AREAS OF VISUAL IMPROVEMENT	
YELLOW BOTTLEBRUSH	CALLISTEMON PALLIDUS	3m	2m		
NATIVE GRASSES					
TASMAN FLAX LILY	DIANELLA TASMANICA	0.5m	0.5m	BORDERING SITE ENTRY / DRIVEWAY	
GROUND COVERS					
BRONZE RAMBLER	GREVILLEA AUSTRALIS	1m	4m	ACROSS DESIGNATED LANDSCAPED AREAS AND EMBANKMENTS	
INTEGRIFLORA	BANKSIA INTEGRIFLORA	1m	4m		
LARGE FEATURE TREE					
LIQUIDAMBAR	LIQUIDAMBAR STYRACIFLUA	9.0M	4.0M	AT SPECIFIC LOCATION REQUIRING DYNAMIC SCREENING	



DO NOT SCALE DRAWINGS.
DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED FOR CONSTRUCTION.
ALL BOUNDARIES AND CONTOURS SUBJECT TO SURVEY. COPYRIGHT © THIS DOCUMENT IS AND SHALL REMAIN THE PROPERTY OF PODMATRIX P/L. THIS DOCUMENT MAY ONLY BE USED FOR THE PURPOSE FOR WHICH IT WAS COMMISSIONED AND IN ACCORDANCE WITH THE TERMS OF ENGAGEMENT FOR THE COMMISSION. UNAUTHORIZED USE OF THIS DOCUMENT IS PROHIBITED. THE AUTHOR IS NOT RESPONSIBLE FOR ANY MISUSE OF THE DOCUMENT.
ANY DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF THE AUTHOR.

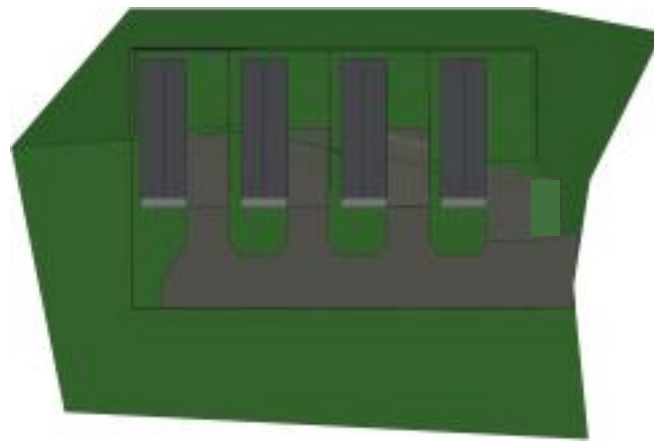
DESIGN APPROVAL
PM-09.41GR-01 = chassis
© Copyright property of PODMATRIX CAMBRIDGE TASMANIA

revision-date
ISSUE DRAWING A01
Campania 09.41

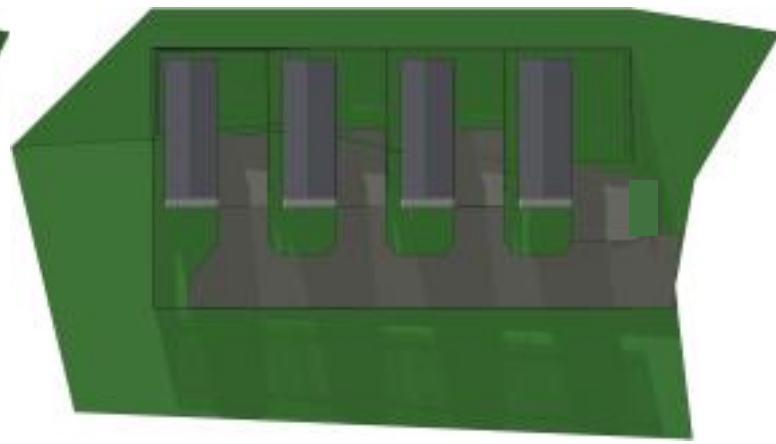
PROJECT NAME:
Multiple Dwellings
CLIENT:
Homes Tasmania
SITE:
38 Maroubra Circle

CHIGWELL
Date: 12/12/2024
DRAWN BY: Marcus Ralph

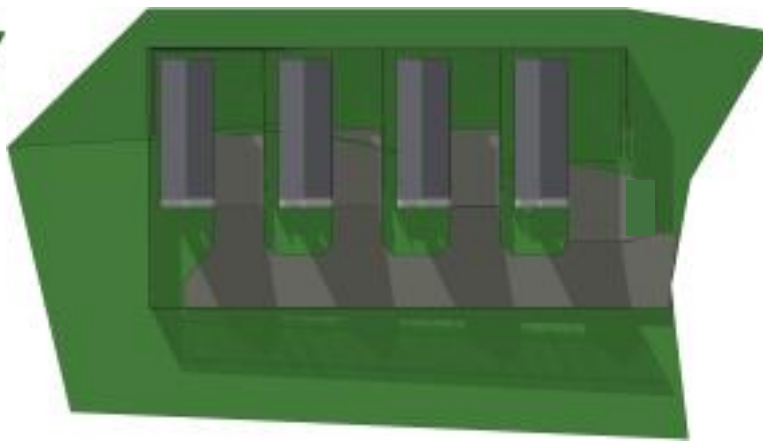
Landscaping Plan
PROJECT NO. 2024-997
DRAWING NO. 997-17
SCALE: 1:200



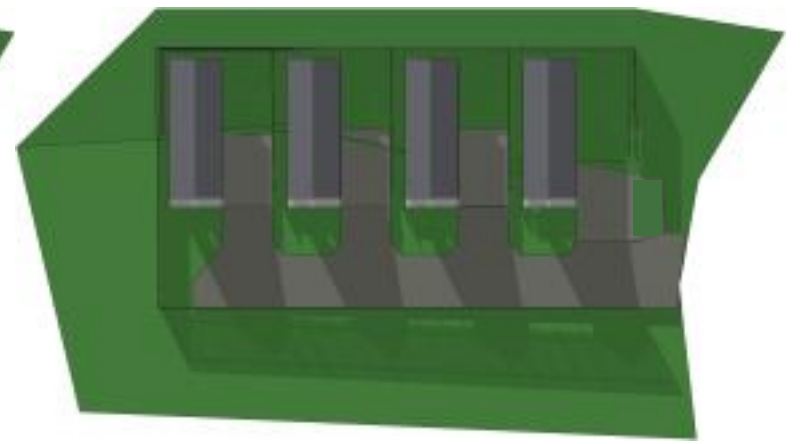
21 June 9.00 am



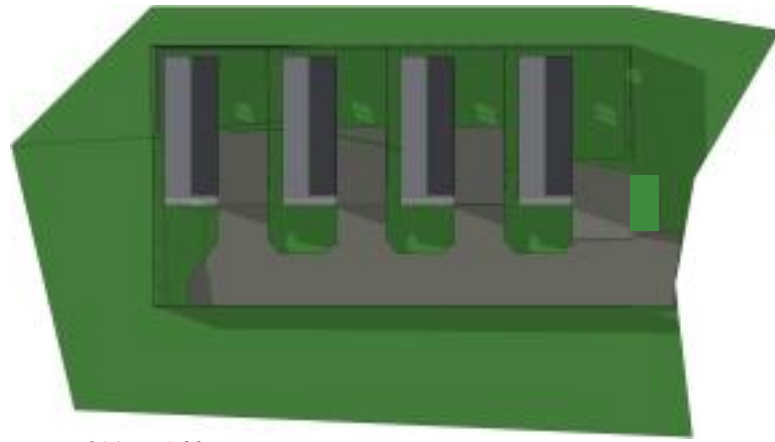
21 June 10.00 am



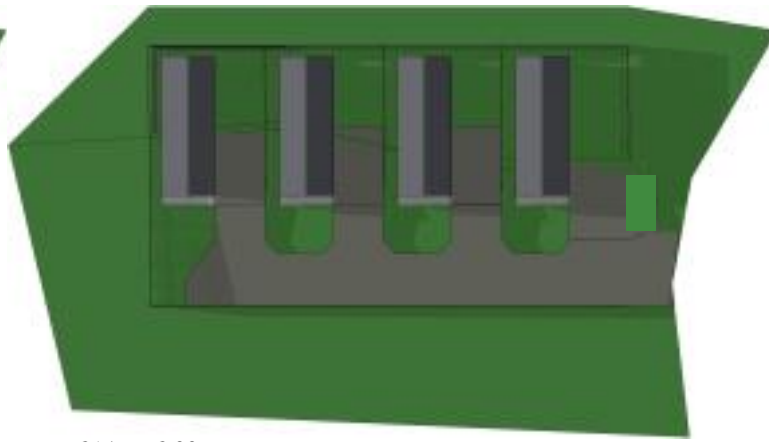
21 June 11.00 am



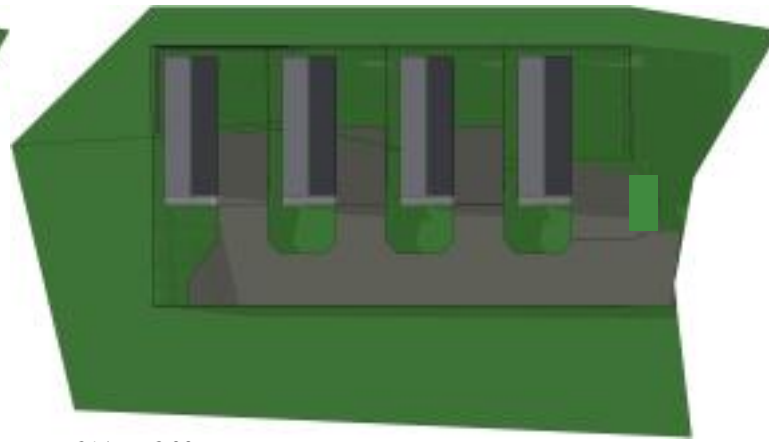
21 June 12.00 pm



21 June 1.00 pm



21 June 2.00 pm



21 June 3.00 pm

SUNSHADE DIAGRAMS 21 JUNE 9.00 AM TO 3.00 PM



public thoroughfare



site photo



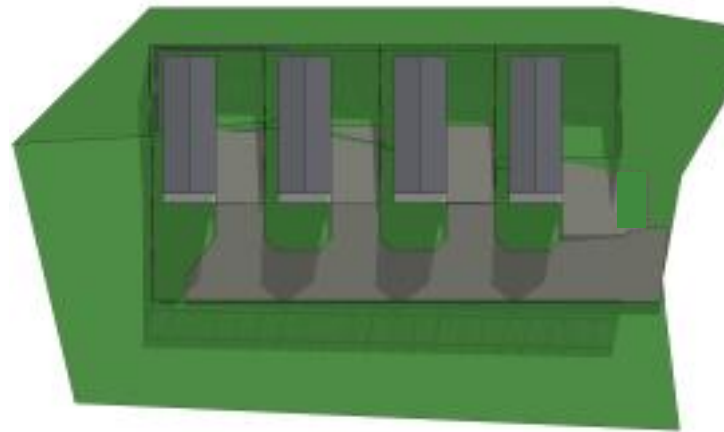
DO NOT SCALE DRAWINGS. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED FOR CONSTRUCTION. ALL BOUNDARIES AND CONTOURS SUBJECT TO SURVEY. COPYRIGHT © THIS DOCUMENT IS AND SHALL REMAIN THE PROPERTY OF PODMATRIX P/L. THIS DOCUMENT MAY ONLY BE USED FOR THE PURPOSE FOR WHICH IT WAS COMMISSIONED AND IN ACCORDANCE WITH THE TERMS OF ENGAGEMENT FOR THE COMMISSION. UNAUTHORISED USE OF THIS DOCUMENT IS PROHIBITED. THE AUTHOR IS NOT RESPONSIBLE FOR ANY MISUSE OF THE DOCUMENT. ANY DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF THE AUTHOR.

DESIGN APPROVAL
PM-09.41GR-01 = chassis
© Copyright property of PODMATRIX CAMBRIDGE TASMANIA

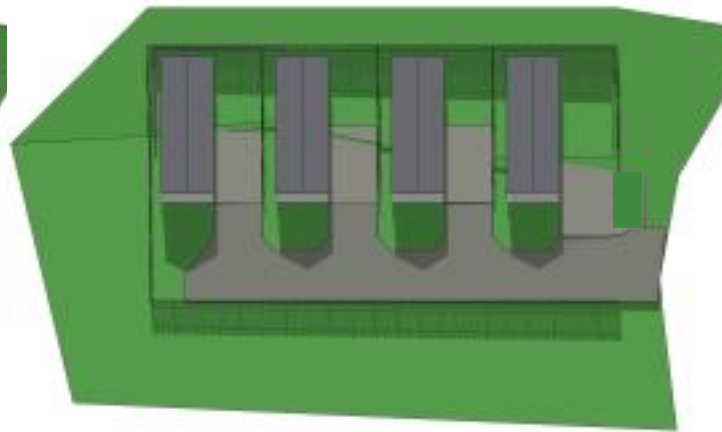
revision-date
ISSUE DRAWING A01
Campania 09.41

PROJECT NAME :
Multiple Dwellings
CLIENT :
Homes Tasmania
SITE :
38 Maroubra Circle
CHIGWELL
Date: 12/12/2024
DRAWN BY : Marcus Ralph

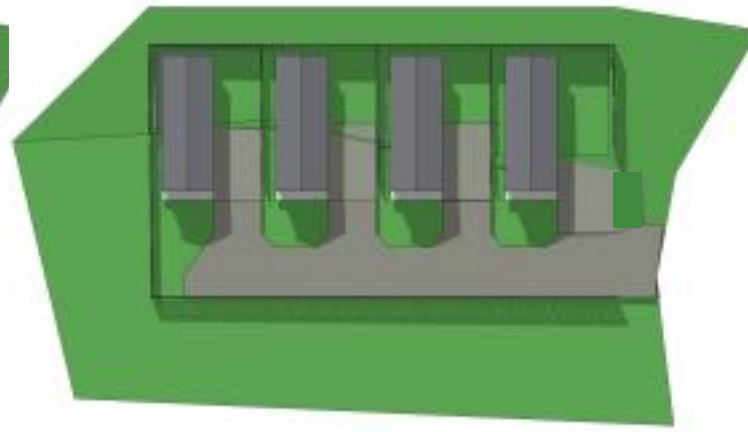
Sunshade Diagrams
PROJECT NO. 2024-997
DRAWING NO. 997-18
SCALE : 1:200



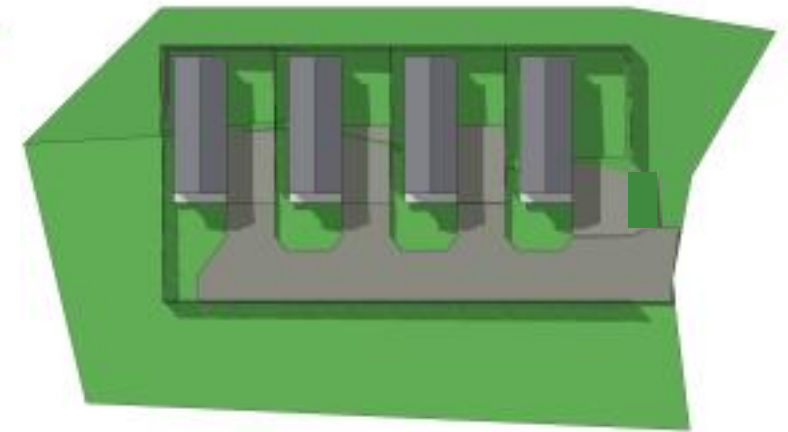
21 september 9.00 am



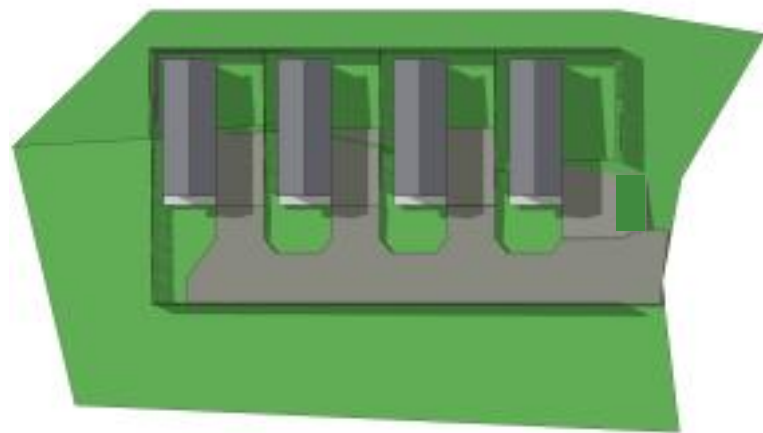
21 september 10.00 am



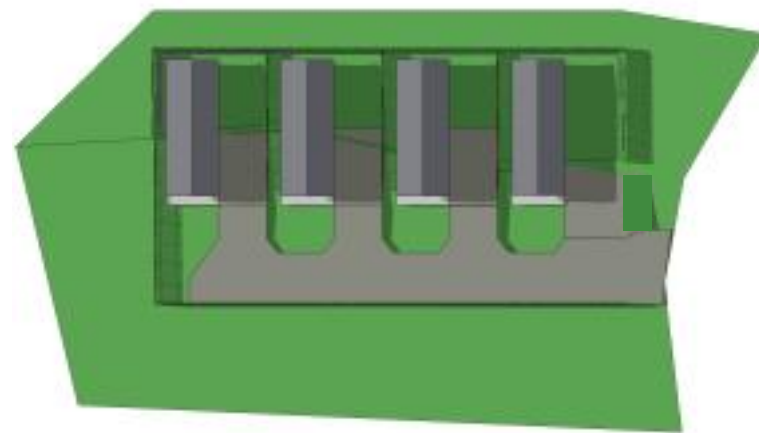
21 september 11.00 am



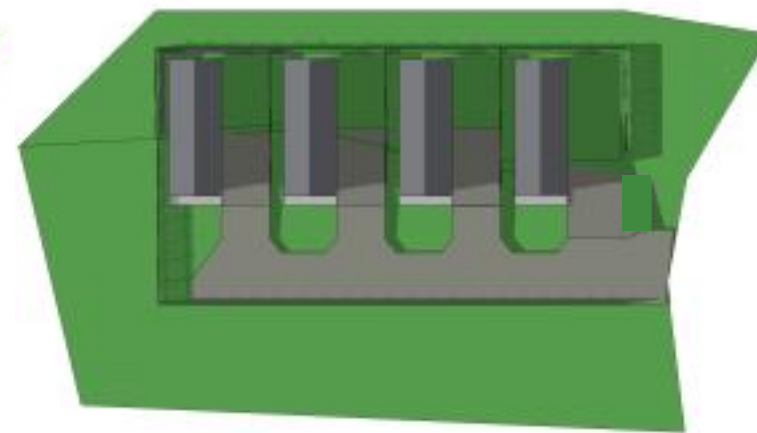
21 september 12.00 pm



21 september 1.00 pm



21 september 2.00 pm



21 september 3.00 pm

SUNSHADE DIAGRAMS 21 SEPTEMBER 9.00 AM TO 3.00 PM



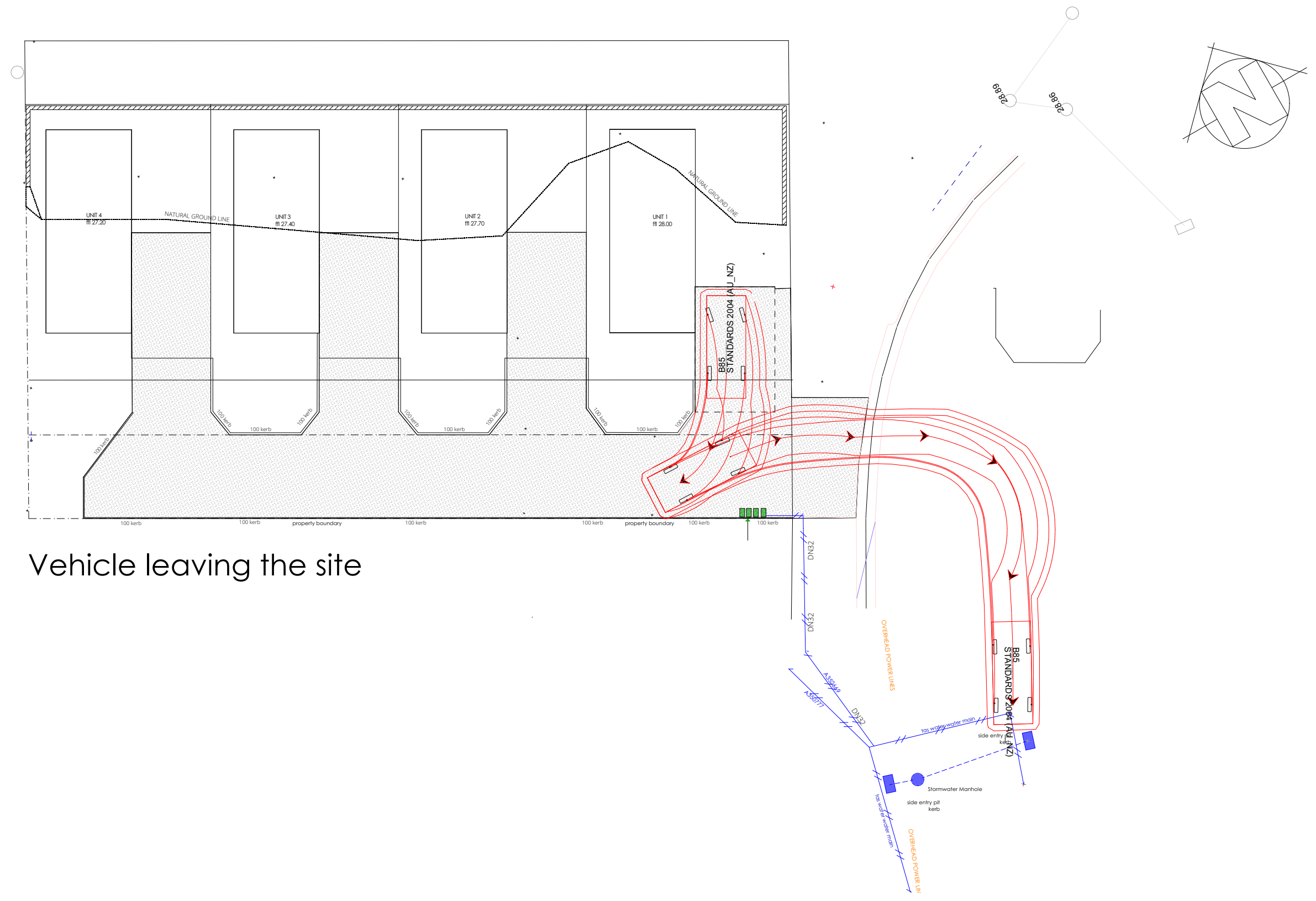
DO NOT SCALE DRAWINGS.
 DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED FOR CONSTRUCTION.
 ALL BOUNDARIES AND CONTOURS SUBJECT TO SURVEY. COPYRIGHT © THIS DOCUMENT IS AND SHALL REMAIN THE PROPERTY OF PODMATRIX P/L. THIS DOCUMENT MAY ONLY BE USED FOR THE PURPOSE FOR WHICH IT WAS COMMISSIONED AND IN ACCORDANCE WITH THE TERMS OF ENGAGEMENT FOR THE COMMISSION. UNAUTHORISED USE OF THIS DOCUMENT IS PROHIBITED. THE AUTHOR IS NOT RESPONSIBLE FOR ANY MISUSE OF THE DOCUMENT.
 ANY DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF THE AUTHOR.

DESIGN APPROVAL
PM-09.41GR-01 = chassis
 © Copyright property of PODMATRIX CAMBRIDGE TASMANIA

revision-date
ISSUE DRAWING A01
Campania 09.41

PROJECT NAME :
 Multiple Dwellings
 CLIENT :
 Homes Tasmaina
 SITE :
 38 Maroubra Circle
CHIGWELL
 Date: 12/12/2024
 DRAWN BY : Marcus Ralph

Sunshade Diagrams
 PROJECT NO. 2024-997
 DRAWING NO. 997-19
 SCALE : 1:200



Vehicle leaving the site



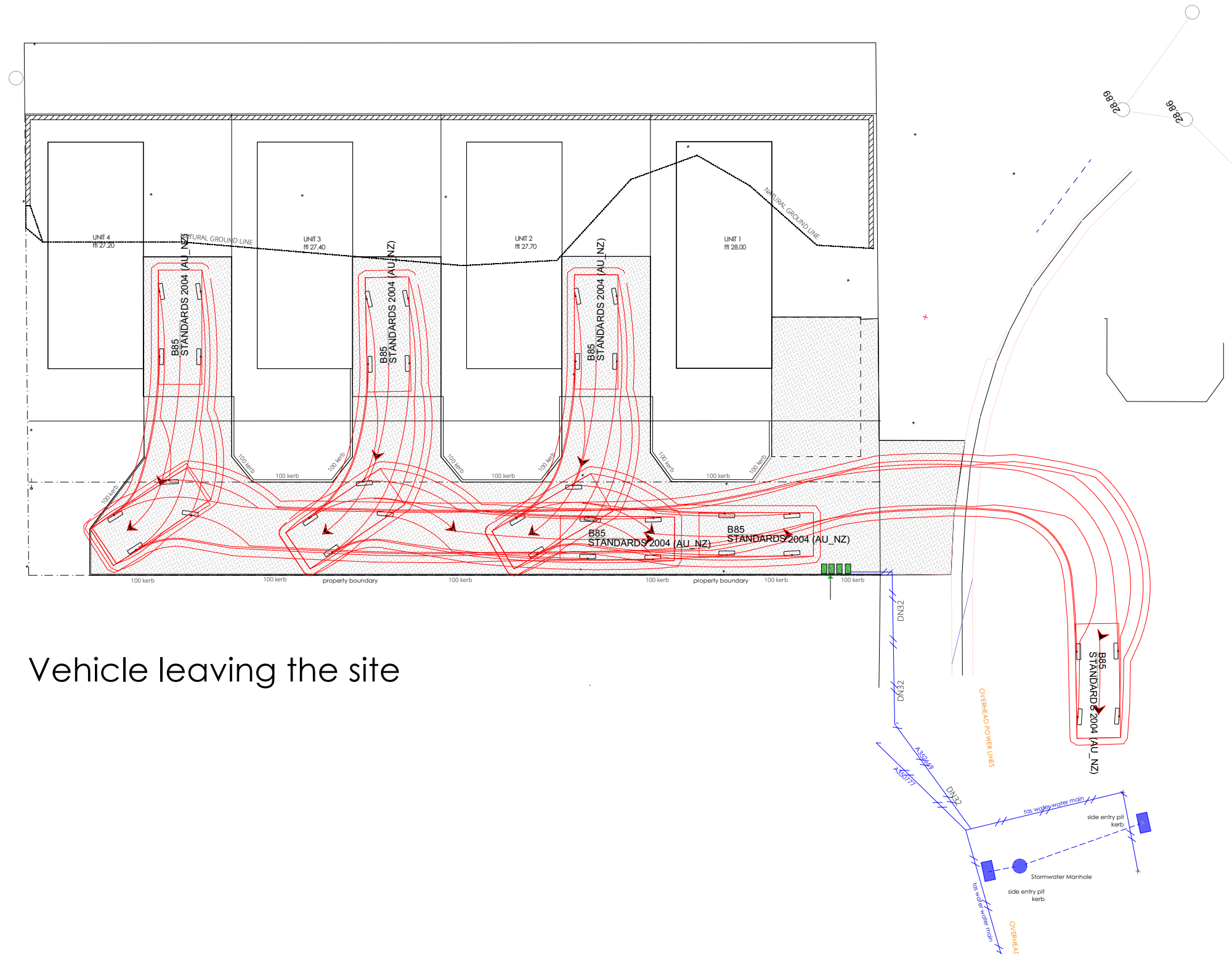
DO NOT SCALE DRAWINGS.
 DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED FOR CONSTRUCTION.
 ALL BOUNDARIES AND CONTOURS SUBJECT TO SURVEY. COPYRIGHT © THIS DOCUMENT IS AND SHALL REMAIN THE PROPERTY OF PODMATRIX P/L. THIS DOCUMENT MAY ONLY BE USED FOR THE PURPOSE FOR WHICH IT WAS COMMISSIONED AND IN ACCORDANCE WITH THE TERMS OF ENGAGEMENT FOR THE COMMISSION. UNAUTHORISED USE OF THIS DOCUMENT IS PROHIBITED. THE AUTHOR IS NOT RESPONSIBLE FOR ANY MISUSE OF THE DOCUMENT.
 ANY DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF THE AUTHOR.

DESIGN APPROVAL
 PM-09.41GR-01 = chassis
 © Copyright property of PODMATRIX CAMBRIDGE TASMANIA

revision-date
ISSUE DRAWING A01
Campania 09.41

PROJECT NAME :
 Multiple Dwellings
 CLIENT :
 Homes Tasmaina
 SITE :
 38 Maroubra Circle
CHIGWELL
 Date: 12/12/2024
 DRAWN BY : Marcus Ralph

Turning Templates
 PROJECT NO. 2024-997
 DRAWING NO. 997-20
 SCALE : 1:200



Vehicle leaving the site



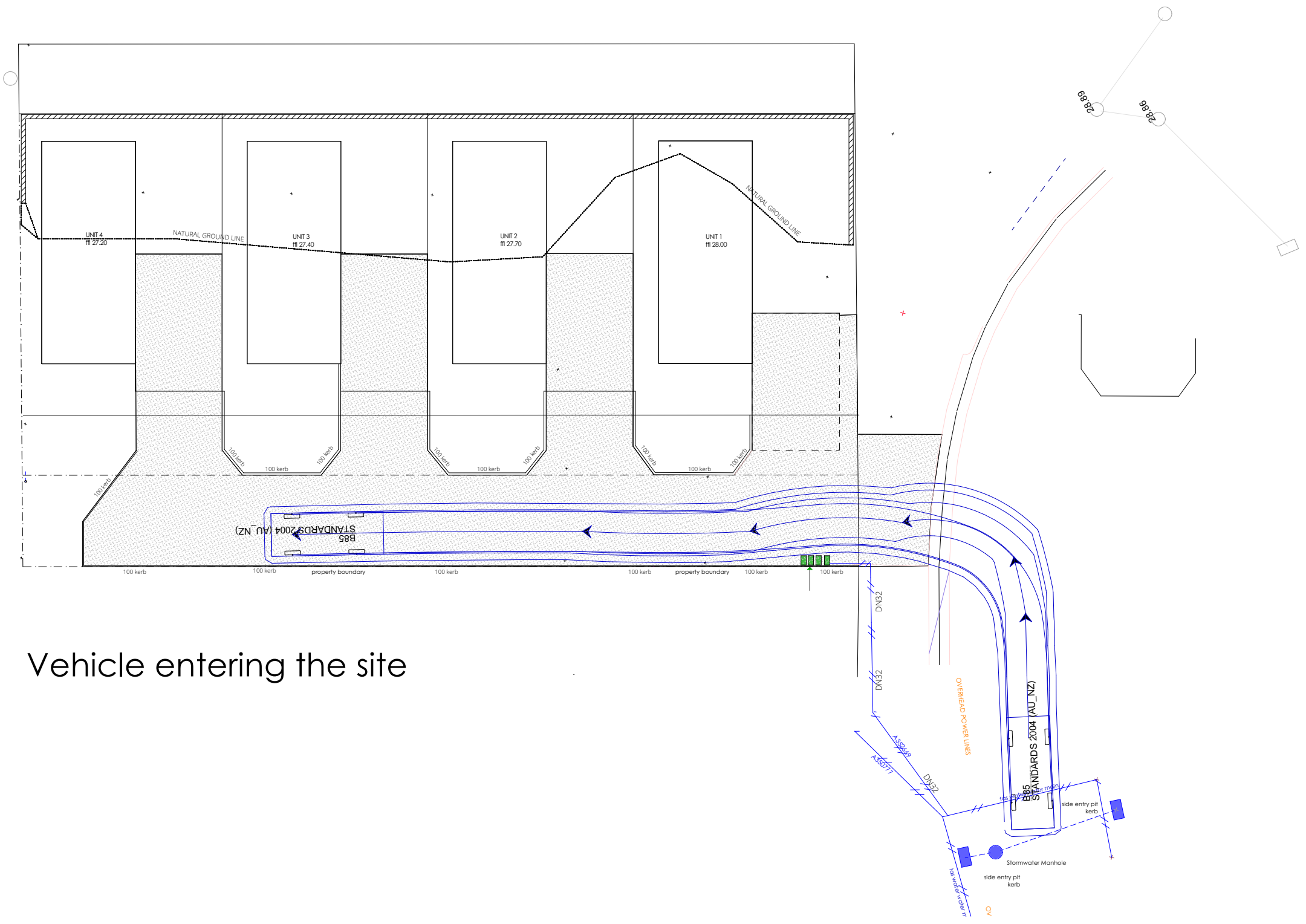
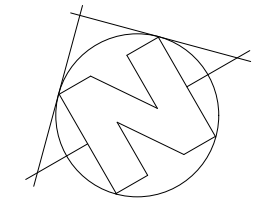
DO NOT SCALE DRAWINGS.
 DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED FOR CONSTRUCTION.
 ALL BOUNDARIES AND CONTOURS SUBJECT TO SURVEY. COPYRIGHT © THIS DOCUMENT IS AND SHALL REMAIN THE PROPERTY OF PODMATRIX P/L. THIS DOCUMENT MAY ONLY BE USED FOR THE PURPOSE FOR WHICH IT WAS COMMISSIONED AND IN ACCORDANCE WITH THE TERMS OF ENGAGEMENT FOR THE COMMISSION. UNAUTHORISED USE OF THIS DOCUMENT IS PROHIBITED. THE AUTHOR IS NOT RESPONSIBLE FOR ANY MISUSE OF THE DOCUMENT.
 ANY DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF THE AUTHOR.

DESIGN APPROVAL
 PM-09.41GR-01 = chassis
 © Copyright property of PODMATRIX CAMBRIDGE TASMANIA

revision-date
ISSUE DRAWING A01
Campania 09.41

PROJECT NAME :
 Multiple Dwellings
 CLIENT :
 Homes Tasmaina
 SITE :
 38 Maroubra Circle
CHIGWELL
 Date: 12/12/2024
 DRAWN BY : Marcus Ralph

Turning Templates
 PROJECT NO. 2024-997
 DRAWING NO. 997-21
 SCALE : 1:200



Vehicle entering the site



DO NOT SCALE DRAWINGS.
 DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED FOR CONSTRUCTION.
 ALL BOUNDARIES AND CONTOURS SUBJECT TO SURVEY. COPYRIGHT © THIS DOCUMENT IS AND SHALL REMAIN THE PROPERTY OF PODMATRIX P/L. THIS DOCUMENT MAY ONLY BE USED FOR THE PURPOSE FOR WHICH IT WAS COMMISSIONED AND IN ACCORDANCE WITH THE TERMS OF ENGAGEMENT FOR THE COMMISSION. UNAUTHORISED USE OF THIS DOCUMENT IS PROHIBITED. THE AUTHOR IS NOT RESPONSIBLE FOR ANY MISUSE OF THE DOCUMENT.
 ANY DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF THE AUTHOR.

DESIGN APPROVAL
 PM-09.41GR-01 = chassis
 © Copyright property of PODMATRIX CAMBRIDGE TASMANIA

revision-date
ISSUE DRAWING A01
Campania 09.41

PROJECT NAME :
 Multiple Dwellings
 CLIENT :
 Homes Tasmaina
 SITE :
 38 Maroubra Circle
CHIGWELL
 Date: 12/12/2024
 DRAWN BY : Marcus Ralph

Turning Templates
 PROJECT NO. 2024-997
 DRAWING NO. 997-22
 SCALE : 1:200

Sent: Mon, 23 Dec 2024 11:20:47 +1100

Please find attached and below information pertaining to the RFI received 12 December 2024 covering off the first four dot points.

- 8.4.1 - Connection will be undertaken as first stage of the development to move the public which currently utilise the site as designated connection. Approval has been gained from Glenorchy City Council Property Division to construct a gravel path on the adjacent council. This will be undertaken prior to any construction on site to move the public currently utilising the site as pedestrian connection. This could potentially covered off as a condition, as I have been advised by Luke Chiu that no planning approval is required – Refer approval from Luke at base of this email.
- 8.4.2 –
 - Retaining wall within 4.5m of the road was a 200mm high garden wall. This has now been deleted with the ground being battered on a slope instead
 - Dwellings and a retaining wall within 3.0m from a secondary frontage. Whilst the adjoining Council walkway land is titled ‘Subdivision Road’, I submit that the narrow width and prescribed footway use of the land exempts this from being classifieds secondary frontage, with no other buildings adjoining to create a streetscape to be consistent with
- 8.4.2 – front street facing carport has been removed deletion discretion – this will also satisfy the TasNetworks referral requirement.
- C3.6.1 – Amended traffic report attached.

Unfortunately the Hydraulic engineers look unlikely to be able to satisfy the full extent of the ‘*General Manager’s Consent for Interference with Public Stormwater Systems*’ this side of Christmas (report and drawings), and more than likely will be the second week in January.

- Noting they have undertook preliminary investigation and have advised the sufficient retention will be able to be provided on site to meet Section 14(1) of the *Urban Drainage Act 2013*... in line with other similar previously completed designs. Requesting accordingly that this be conditioned as part of the approvals permit.

Kind Regards



Attention: Richard Blackwell

38 MAROUBRA CIRCLE — NOISE ASSESSMENT

A residential development is proposed for construction on a currently vacant lot at 38 Maroubra Circle, Chigwell, adjacent to the Brooker Highway. As such, this development triggers the Road and Railway Assets Code, and thus requires a noise assessment to demonstrate likely compliance with the *Tasmanian Planning Scheme* (the Scheme). NVC conducted a noise assessment in February 2023 based on preliminary plans, which have since been revised. This document (L01) presents an updated noise assessment following a revision to the site plant, completed by NVC in December 2024.

1. BACKGROUND

1.1. Site and Surrounding Area

Figure 1.1, below, shows an overview of the site and surrounding area. The site (white outline in Figure 1.1) is located at 38 Maroubra Circle, Chigwell, within a General Residential Zone under the Scheme (red overlay). The site is bounded by Maroubra Circle to the south, residential lots to the west, Recreational Zone to the north (green overlay) and the Brooker Highway to the east within a Utilities Zone (yellow overlay).



FIGURE 1.1: SITE AND SURROUNDING AREA

A slip (exit) lane is located between the site and the Brooker Highway, with an existing barrier 2m high between the slip lane and the site. This barrier is constructed of pine sleepers, nominally 50mm thick. The highway is elevated relative to the site, with an approximate relative height of 1.8m, i.e. 0.2m below the top of the barrier.

The Brooker Highway is a major thoroughfare linking Hobart to the northern suburbs and connects to the Midland Highway, and as a result, it experiences significant light and heavy vehicle traffic. This portion of the highway has a 100 km/h speed limit, with the slip lane experiencing lower vehicle speeds.

1.2. Proposed Development

The proposed development comprises the construction of 4 identical one-bedroom residential units, with the proposed site plan shown below in Figure 1.2.

The building's construction is proposed to be primarily fibre cement sheeting with some glazing on the north-west and south-eastern facades and a typical Colorbond roof. It is noted there is no glazing proposed on the facade directly facing the highway. As far as NVC is aware, glazing specifications have yet to be determined.

The rear of all four units is approximately 1.2 m from the north-east boundary, which comprises a thoroughfare between the site and the Brooker Highway road corridor. As such, the units are located approximately 18 m from the verge of the Brooker Highway.

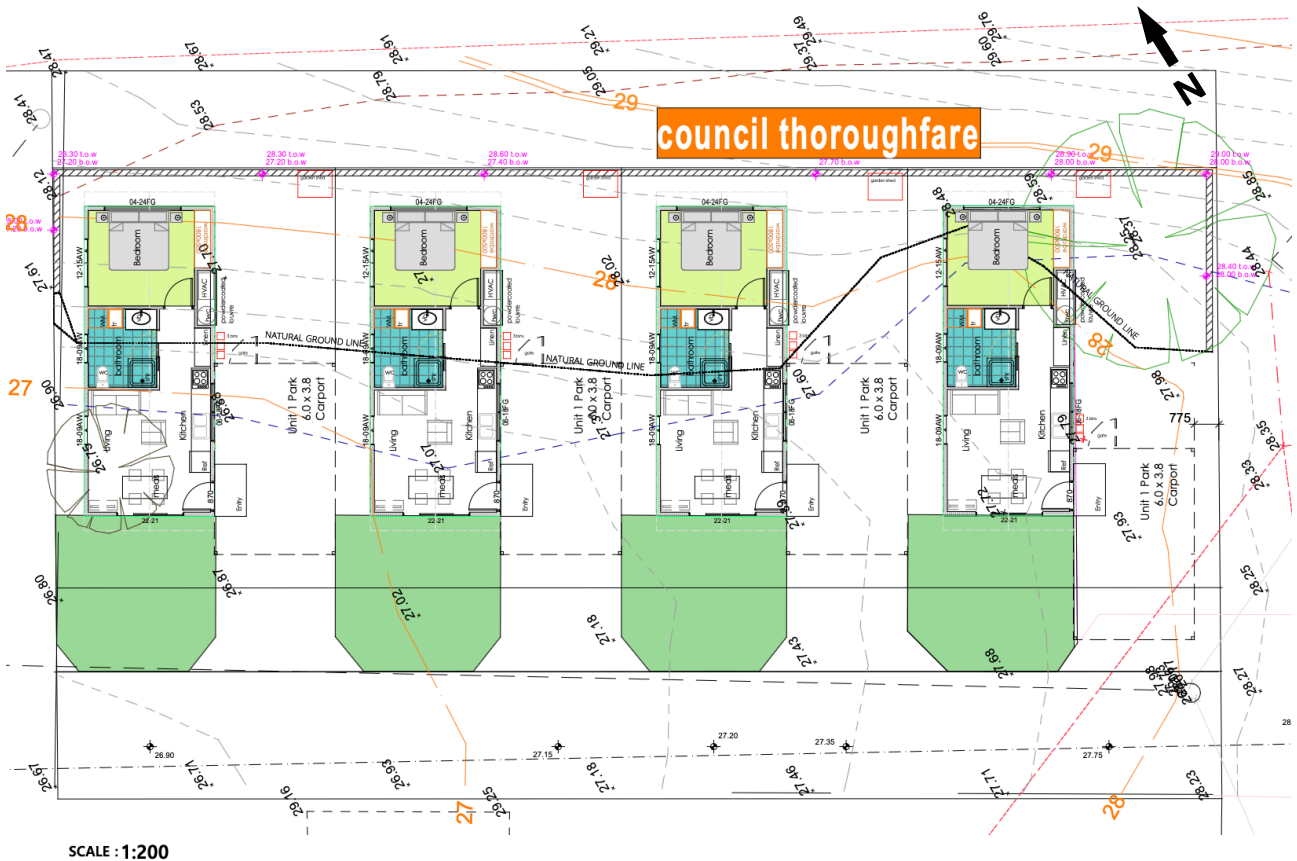


FIGURE 1.2: PROPOSED SITE PLAN

2. CRITERIA

Section C3.0 of the *Tasmanian Planning Scheme* (the Scheme) comprises the Road and Railway Assets Code. Specifically, clause C3.6.1 details requirements for *Habitable buildings for sensitive uses within a road or railway attenuation area*. This clause is reproduced below.

C3.6 Development Standards for Buildings or Works

C3.6.1 Habitable buildings for sensitive uses within a road or railway attenuation area

Objective:	
To minimise the effects of noise, vibration, light and air emissions on sensitive uses within a road or railway attenuation area, from existing and future major roads and the rail network.	
Acceptable Solutions	Performance Criteria
A1	P1
<p>Unless within a building area on a sealed plan approved under this planning scheme, habitable buildings for a sensitive use within a road or railway attenuation area, must be:</p> <p>(a) within a row of existing habitable buildings for sensitive uses and no closer to the existing or future major road or rail network than the adjoining habitable building;</p> <p>(b) an extension which extends no closer to the existing or future major road or rail network than:</p> <p style="padding-left: 20px;">(i) the existing habitable building; or</p> <p style="padding-left: 20px;">(ii) an adjoining habitable building for a sensitive use; or</p> <p>(c) located or designed so that external noise levels are not more than the level in Table C3.2 measured in accordance with Part D of the <i>Noise Measurement Procedures Manual, 2nd edition, July 2008</i>.</p>	<p>Habitable buildings for sensitive uses within a road or railway attenuation area, must be sited, designed or screened to minimise adverse effects of noise, vibration, light and air emissions from the existing or future major road or rail network, having regard to:</p> <p>(a) the topography of the site;</p> <p>(b) the proposed setback;</p> <p>(c) any buffers created by natural or other features;</p> <p>(d) the location of existing or proposed buildings on the site;</p> <p>(e) the frequency of use of the rail network;</p> <p>(f) the speed limit and traffic volume of the road;</p> <p>(g) any noise, vibration, light and air emissions from the rail network or road;</p> <p>(h) the nature of the road;</p> <p>(i) the nature of the development;</p> <p>(j) the need for the development;</p> <p>(k) any traffic impact assessment;</p> <p>(l) any mitigating measures proposed;</p> <p>(m) any recommendations from a suitably qualified person for mitigation of noise; and</p> <p>(n) any advice received from the rail or road authority.</p>

Table C3.2 Acceptable noise levels within a road or railway attenuation area

Roads	Railways
The arithmetic average of the A-weighted L10 sound pressure levels for each of the one-hour periods between 6:00am and midnight on any day [L10 (18-hour)] of 63 dB(A).	A 24-hour Leq and Lmax noise level of 65 dB(A) and 87dB(A) Lmax assessed as a single event maximum sound pressure level.

Regarding indoor amenity, AS2107¹ is referred to for indoor noise level criteria. For houses or apartments near major roads, criteria are specified as:

- Living areas (day time) 35 – 45 dBA Leq
- Sleeping areas (night time) 35 – 40 dBA Leq

Indoor noise levels of 35 – 40 dBA are then deemed appropriate for both day and night time periods.

It is noted that these criteria are applicable at a height of 1.2 m, and a distance of 1 m from the nearest residential facade, as per the Tas. Noise Measurement Procedures Manual 2008².

2.1. Project Criteria

As such, the applicable criteria for this project are taken as:

- External Noise Level L10_{18-hour} ≤ 63 dBA, and
- Internal Noise Level Leq ≤ 40 dBA.

3. TRAFFIC NOISE LEVELS

On-site measurements were made over a 30-minute period on Friday the 6th of January 2023, at peak hour in the morning (around 9:00AM). Measurements used Svan Type 1 sound level meters, logging in A-weighted decibels with a *Fast* response time. The data set comprised overall levels, one-third octave spectra and full statistical data. Two measurement locations were used, as shown in Figure 1.1, and described as follows.

Location A - North-East site boundary, 2.2m above ground level (0.2m above barrier).

Location B - 3m inside the boundary, 1.2m above existing ground level.

Location A has direct line of sight to highway traffic, and thus represents worst-case. However, Location B has no direct line of sight to the highway traffic being shielded by the existing barrier.

The measured noise levels are summarised in Table 3.1 below.

TABLE 3.1: SUMMARY OF MEASURED NOISE LEVELS

Location	Sound Pressure Level, [dBA]		
	L10 _{30-min}	Leq _{30-min}	L10 _{18-hour,Adj}
A	73.3	70.7	74.7
B	61.3	58.5	61.6

The CoRTN³ algorithms were used to predict the difference between the peak-hour noise level (Leq) and the L10_{18-hour}. The predicted L10_{18-hour} was 1.1 dB lower than the peak hour level, and thus the L10_{18-hour} is taken as 72.2 dBA_{Adj}. As per the Tas Noise Measurements Procedure Manual, an adjustment of +2.5 dBA must be applied due to the measurements being obtained in free space. This adjustment is to account for reflections from the facade once the residential dwellings have been constructed and is applied prior to assessment against the criteria. Adjustments are applied to both locations A and B. The resulting, adjusted noise levels are presented in the right hand column of Table 3.1. The measured noise spectrum for locations A and B after adjustments is shown below in Figure 3.1, this Figure shows the attenuation due to the existing barrier.

¹ AS/NZS 2107:2016 *Acoustics - Recommended design sound levels and reverberation times for building interiors*, Standards Australia, 2016.

² Noise Measurement Procedures Manual, Tasmania, 2008

³ Calculation of Road Traffic Noise (CoRTN), UK Department of Transport, 1988

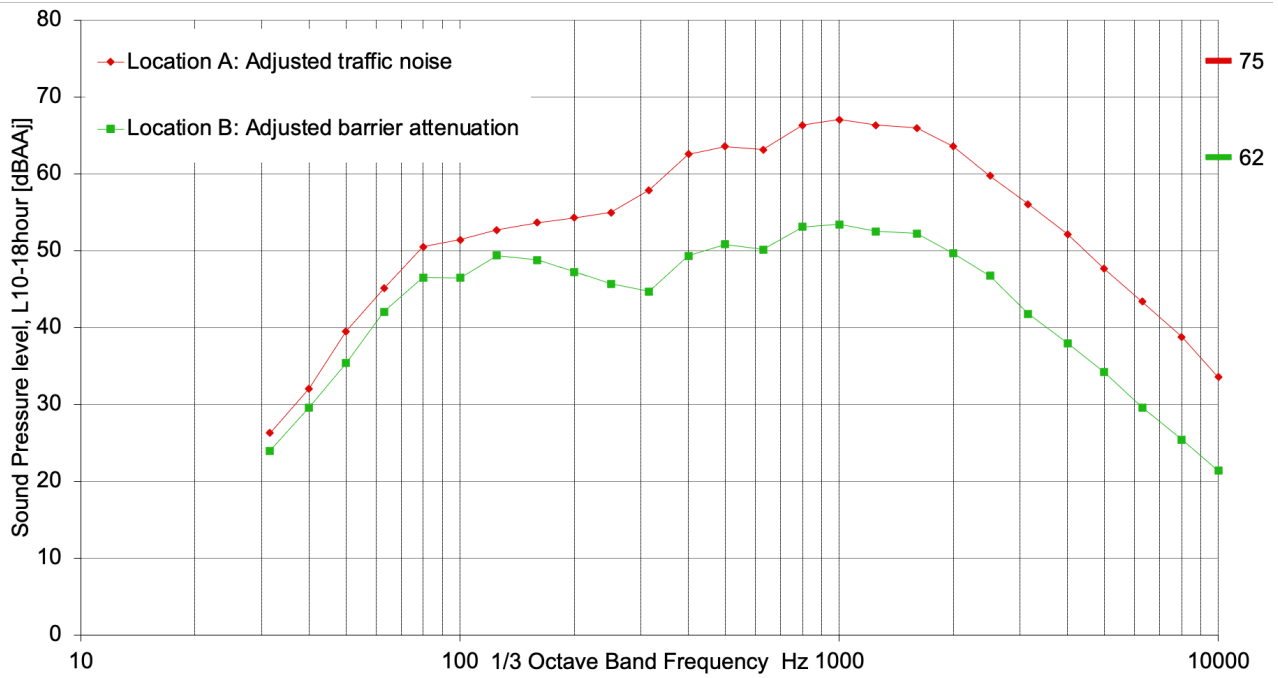


FIGURE 3.1: MEASURED TRAFFIC NOISE SPECTRUM

Figure 3.2, below, shows the site with the existing barrier along the eastern boundary.



FIGURE 3.2: SITE AND EXISTING BARRIER - LOOKING NORTH

4. DISCUSSION

The measurements demonstrate that the (adjusted) noise levels on the boundary of the site, and at the location of the nearest proposed residential facade are 74.7 and 62.6 dBA_{Adj}, L10_{18hour}, respectively. As such, the existing barrier is providing sufficient screening to reduce external noise levels to below the relevant external criterion from Table C3.2 of the Scheme.

The peak-hour ambient noise level at the location of the nearest proposed facade is 61.6 dBA_{Adj}, and thus, a noise level reduction of nominally 21.6 dB is required to achieve appropriate internal noise levels under AS2107.

5. RECOMMENDATIONS

It is noted that the traffic noise from the Tasman Highway is broadband, with noise in the 1000Hz to 2000Hz range being dominant (see Figure 3.1) typical of high-speed tyre noise. Therefore, the following mitigation measures are required:

- The existing barrier along the eastern boundary of the site (bordering the Booker Highway) must remain in place.

As the external noise levels are below the Acceptable Solutions criteria, no additional noise mitigation is required to demonstrate compliance with the Scheme. However, the following is *recommended* to ensure a high level of occupant amenity:

- The facade construction on the northern, eastern and southern sides of the proposed dwellings must achieve a minimum sound isolation rating of R_w 35. This may be achieved by various combinations of the building construction layout, with the following constructions appropriate.
 - 6mm Float / 12mm gap / 6mm Float is appropriate. Note that any operable windows will require full perimeter seals.
 - Typical wall construction with Colorbond, timber or cement sheet external linings, 90 mm cavity with insulations, and 10 mm plasterboard internal linings will achieve this rating.
 - Doors facing the highway should have solid core and seals around all jambs.
- It is recommended that outdoor entertainment areas be on the opposite side of the dwelling to the highway. Note that this is not strictly required.

6. ASSESSMENT

Provided the construction requirements outlined in section 5 are implemented, it is concluded that the site satisfies the external and internal noise level criteria, and there the proposal is deemed to comply with clause C3.6.1 of the *Tasmanian Planning Scheme - Glenorchy*.

Should you have any queries, please do not hesitate to contact me directly.

Kind regards,



Samuel Williamson