

## DEVELOPMENT APPLICATION

<b>APPLICATION NUMBER:</b>	PLN-24-309
<b>PROPOSED DEVELOPMENT:</b>	New outbuilding, addition to driveway and demolition
<b>LOCATION:</b>	39 Goodwood Road Goodwood
<b>APPLICANT:</b>	P & J Sheds Pty Ltd
<b>ADVERTISING START DATE:</b>	08/01/2025
<b>ADVERTISING EXPIRY DATE:</b>	21/01/2025

Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and the plans are available on Glenorchy City Council's website ([www.gcc.tas.gov.au](http://www.gcc.tas.gov.au)) until **21/01/2025**.

During this time, any person may make representations relating to the applications by letter addressed to the Chief Executive Officer, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to [gccmail@gcc.tas.gov.au](mailto:gccmail@gcc.tas.gov.au).

Representations must be received by no later than 11.59 pm on **21/01/2025**, or for postal and hand delivered representations, by 5.00 pm on **21/01/2025**.

DEMOLITION OF EXISTING OUTBUILDINGS  
NEW OUTBUILDING / GARAGE  
39 GOODWOOD ROAD, GOODWOOD, 7010  
FOR R. GRIFFIN & HOMES TASMANIA

CERTIFICATE OF TITLE: VOLUME - 59735 FOLIO - 19  
PID: 5371732  
LAND AREA: 617m<sup>2</sup>

PLANNING SCHEME: TASMANIAN PLANNING SCHEME  
GLENORCHY LOCAL PROVISIONS SCHEDULE  
ZONE: 8. GENERAL RESIDENTIAL  
OVERLAYS: NIL

SOIL CLASSIFICATION: ASSUMED M  
WIND REGION: A  
TERRAIN CATEGORY: TC 2.38  
IMPORTANCE LEVEL: 2 (DOMESTIC)  
SHIELDING: 0.85  
TOPOGRAPHY: 1  
BAL: NOT REQUIRED (CLASS 10A STRUCTURE NOT WITHIN AN AREA IDENTIFIED  
BY COUNCIL BUSHFIRE MAPP AS BEING BUSHFIRE PRONE)

INDEX OF DRAWINGS - BY ADRIAN BROWN CC6003R

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PAGE 7 - STORMWATER CONCEPT PLAN 1:200

ADDITIONAL DRAWINGS / ENGINEERING  
BY NORTHERN CONSULTING ENGINEERS

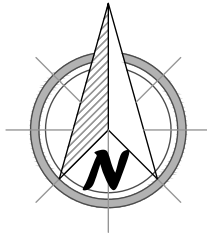
JOB NO - 100606



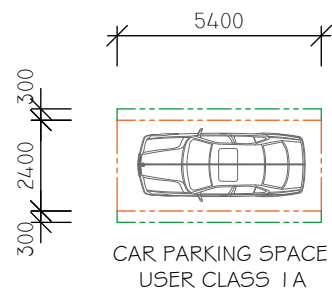
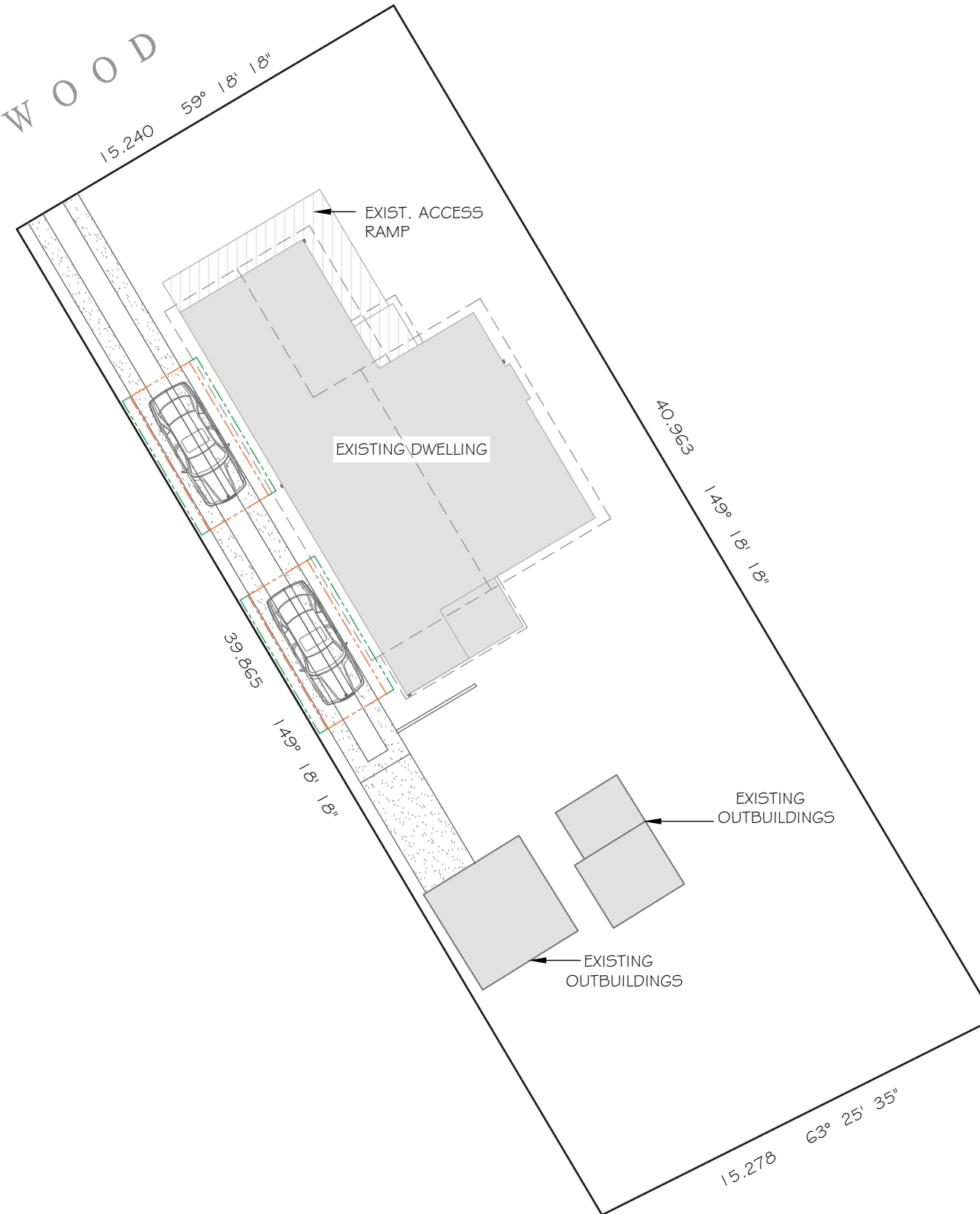
LOT AREA: 617m<sup>2</sup>

EXISTING DWELLING AREA: 108m<sup>2</sup>  
" ACCESS RAMP & LANDING AREA: 15.2m<sup>2</sup>  
" OUTBUILDINGS: 27.4m<sup>2</sup>

EXISTING SITE COVER: 150.6m<sup>2</sup> OR 24.4%



GOODWOOD ROAD



THE GRADIENT OF EXISTING PARKING AREAS ARE APPROXIMATELY 1-2%

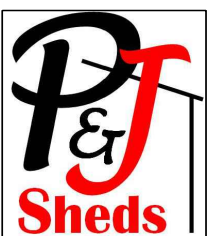
VOL : 59735  
FOLIO: 19  
617m<sup>2</sup>

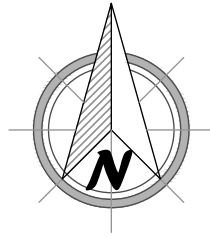
SITE PLAN PREPARED FROM CERTIFICATE OF TITLE INFORMATION AND MEASUREMENTS TAKEN ON SITE. CONFIRMATION OF BOUNDARY LOCATION BY REGISTERED SURVEYOR IS ALWAYS RECOMMENDED PRIOR TO CONSTRUCTION AND IS THE RESPONSIBILITY OF THE PROPERTY OWNER.

**SITE PLAN (EXISTING) 1:200**

PROPOSAL : DEMOLITION OF EXISTING OUTBUILDINGS  
NEW OUTBUILDING / GARAGE

OWNER : R. GRIFFIN & HOMES TASMANIA  
ADDRESS: 39 GOODWOOD ROAD, GOODWOOD, 7010  
SCALE: 1:200  
DATE: 16th DECEMBER 2024  
AMENDED:  
DRAWN BY: A. BROWN CCG003R  
PAGE: 01/07  
JOB NO : 100606





LOT AREA: 617m<sup>2</sup>

EXISTING DWELLING AREA: 108m<sup>2</sup>

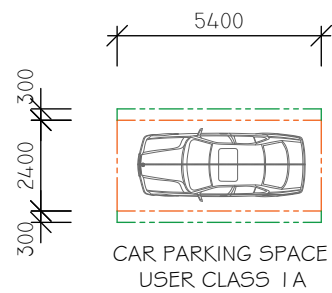
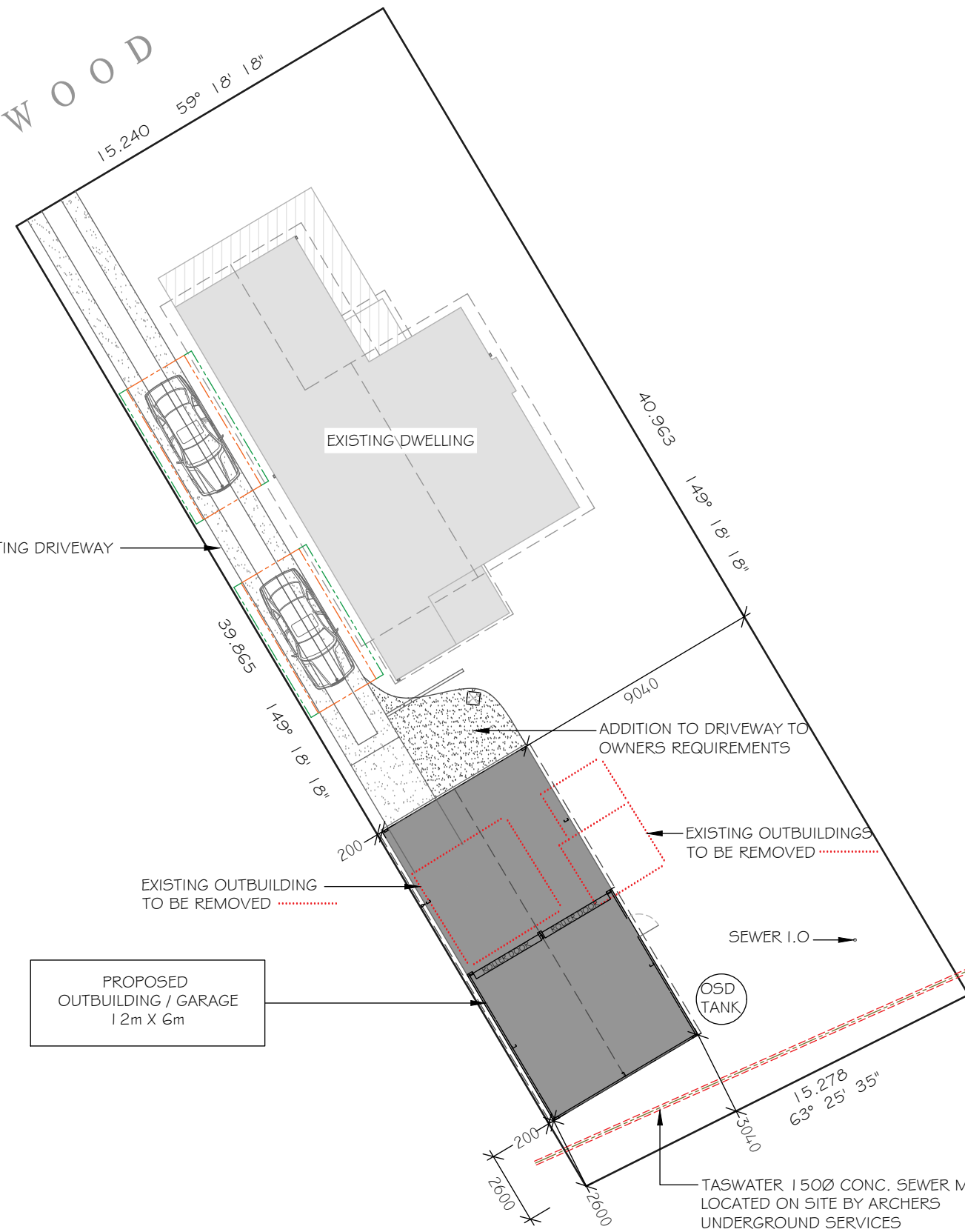
" ACCESS RAMP & LANDING AREA: 15.2m<sup>2</sup>

EXISTING OUTBUILDINGS TO BE REMOVED: 27.4m<sup>2</sup>

PROPOSED OUTBUILDING / GARAGE AREA: 72m<sup>2</sup>

PROPOSED SITE COVER: 195.2m<sup>2</sup> or 31.6%

GOODWOOD ROAD



THE GRADIENT OF EXISTING PARKING AREAS ARE APPROXIMATELY 1-2%

PROPOSED  
OUTBUILDING / GARAGE  
12m X 6m

VOL : 59735  
FOLIO: 19  
617m<sup>2</sup>

SITE PLAN PREPARED FROM CERTIFICATE OF TITLE INFORMATION AND MEASUREMENTS TAKEN ON SITE. CONFIRMATION OF BOUNDARY LOCATION BY REGISTERED SURVEYOR IS ALWAYS RECOMMENDED PRIOR TO CONSTRUCTION AND IS THE RESPONSIBILITY OF THE PROPERTY OWNER.

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NEW OUTBUILDING / GARAGE

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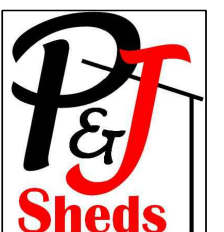
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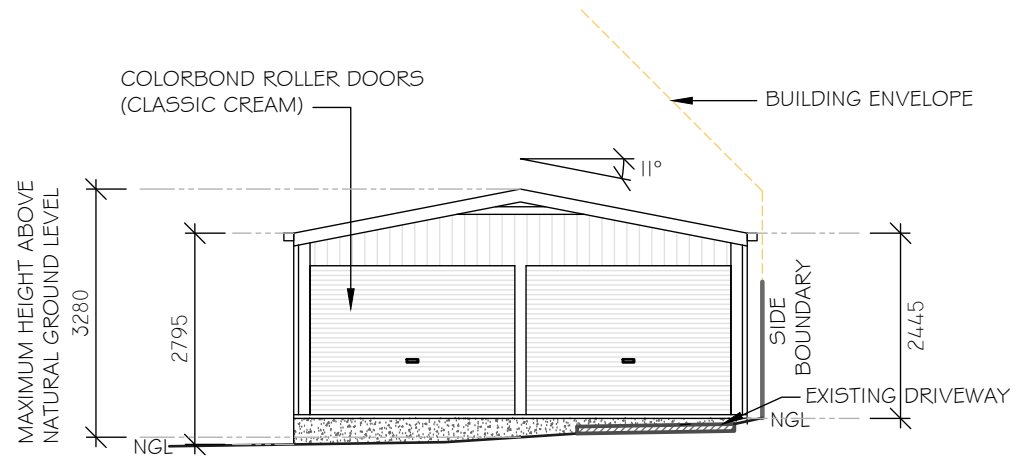
AMENDED:

DRAWN BY: A. BROWN CC6003R

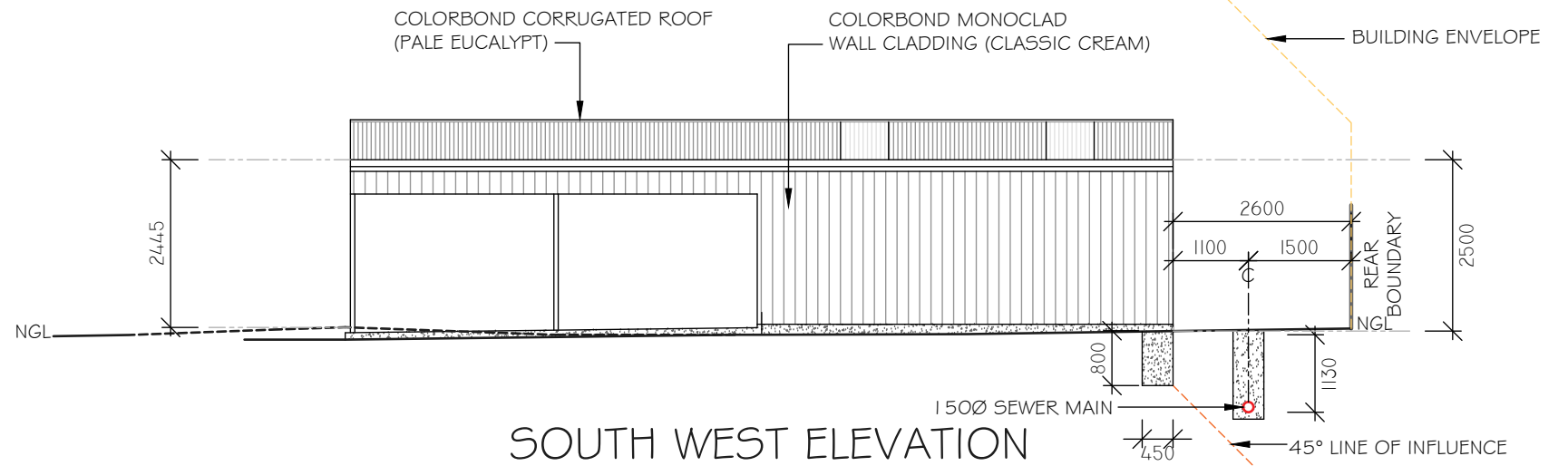
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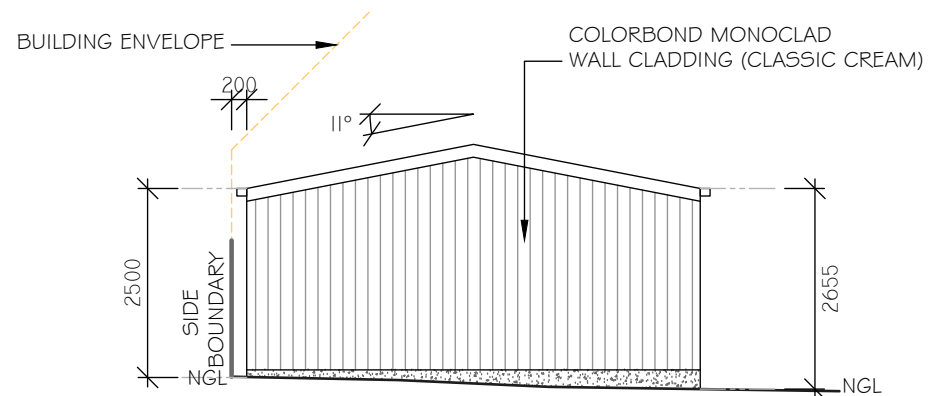
**NORTH WEST ELEVATION**



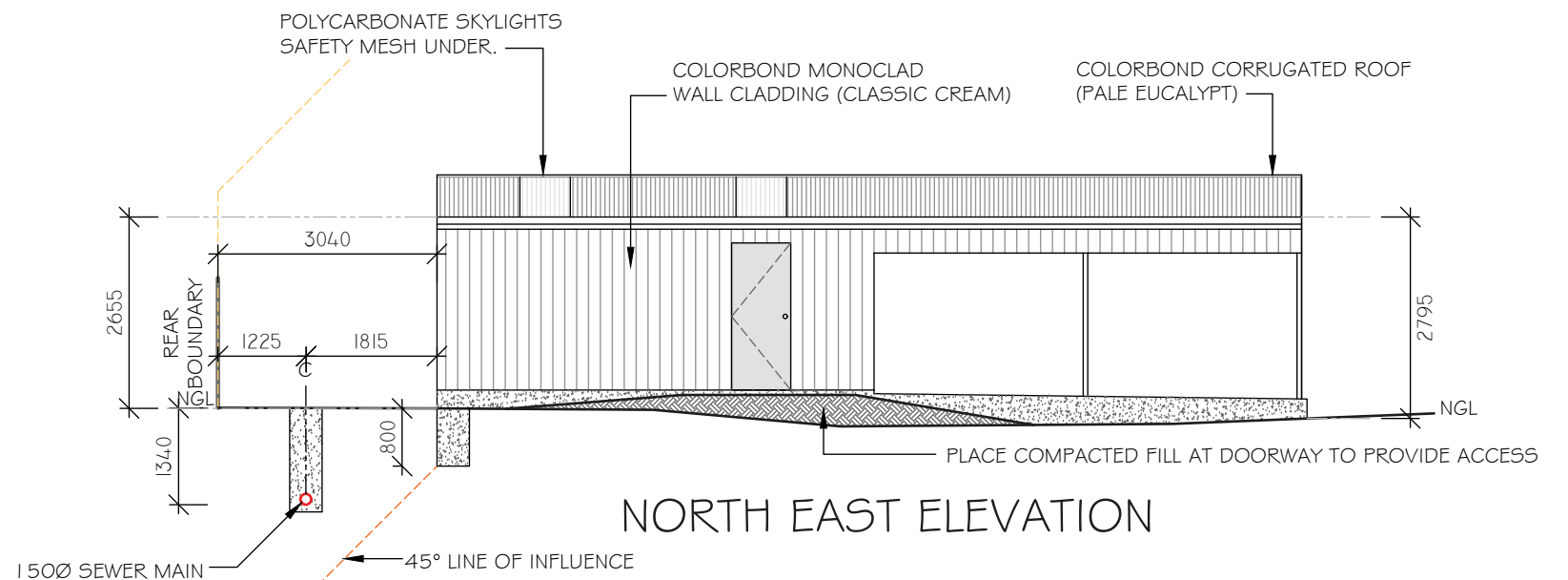
**SOUTH WEST ELEVATION**

TASWATER 1500 CONC. SEWER MAIN  
LOCATED ON SITE BY ARCHERS  
UNDERGROUND SERVICES  
15.10.2024

SEE SEWER MAIN  
DETAIL ON PAGE  
05/06



**SOUTH EAST ELEVATION**



**NORTH EAST ELEVATION**

TASWATER 1500 CONC. SEWER MAIN  
LOCATED ON SITE BY ARCHERS  
UNDERGROUND SERVICES  
15.10.2024

- COLOURS (COLORBOND®):**
- EXT. WALLS - CLASSIC CREAM
  - ROOF - PALE EUCALYPT
  - ROLLER DOORS - PALE EUCALYPT
  - PA DOOR - PALE EUCALYPT
  - GUTTER - PALE EUCALYPT
  - CORNER FLASH - CLASSIC CREAM
  - BARGE FLASHING - PALE EUCALYPT
  - OPENING FLASH - PALE EUCALYPT

REFER TO DRAWINGS BY NORTHERN CONSULTING FOR ALL MEMBER AND MATERIAL DETAILS AS WELL AS FOOTING DESIGN AND SPECIFICATIONS.

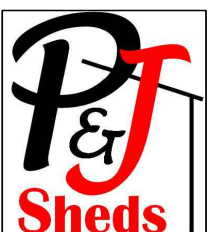
**ELEVATIONS 1:100**

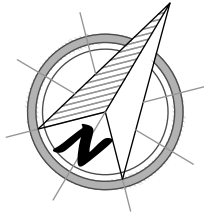
ALL HEIGHTS SHOWN ARE ABOVE NATURAL GROUND LEVEL.

ACTUAL HEIGHTS OF WALLS ABOVE CONCRETE SLAB ARE:  
SIDE WALL HEIGHT - 2400mm  
END WALL HEIGHT TO APEX - 2983mm

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NEW OUTBUILDING / GARAGE

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SCALE: 1:100  
DATE: 16th DECEMBER 2024  
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DRAWN BY: A. BROWN CC6003R  
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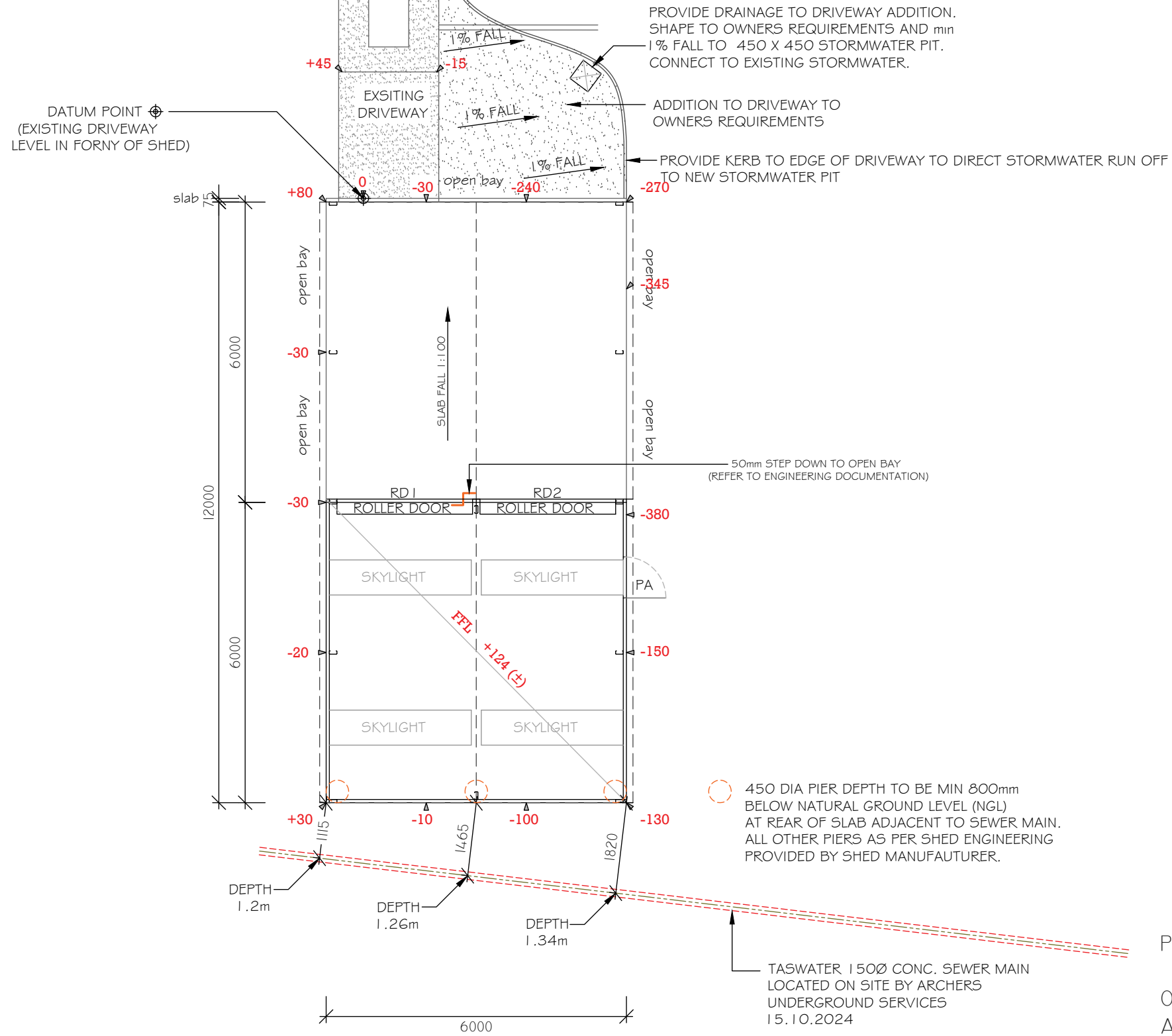


EXISTING DWELLING

WINDOW & DOOR SCHEDULE

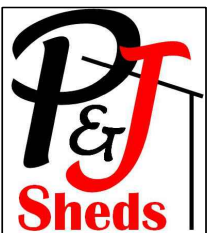
	ID	HEIGHT	WIDTH
ACCESS DOOR	PA	2040mm	810mm
ROLLER DOORS	RD1	1970mm	2710mm
	RD2	1970mm	2710mm

**GLENORCHY CITY COUNCIL  
PLANNING SERVICES**  
APPLICATION No. : PLN-24-309  
DATE RECEIVED: 16/12/2024

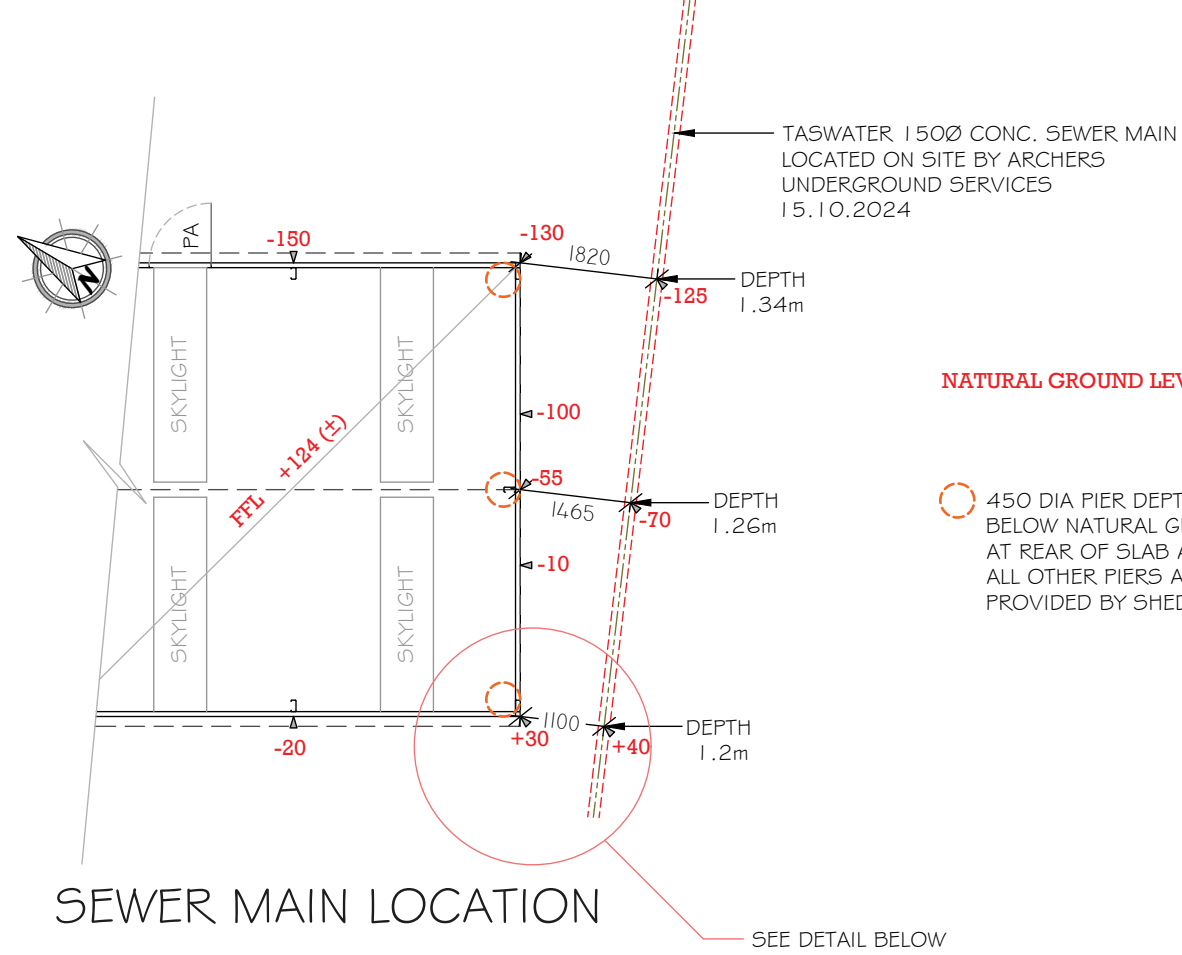


PROPOSAL : DEMOLITION OF EXISTING OUTBUILDINGS  
NEW OUTBUILDING / GARAGE

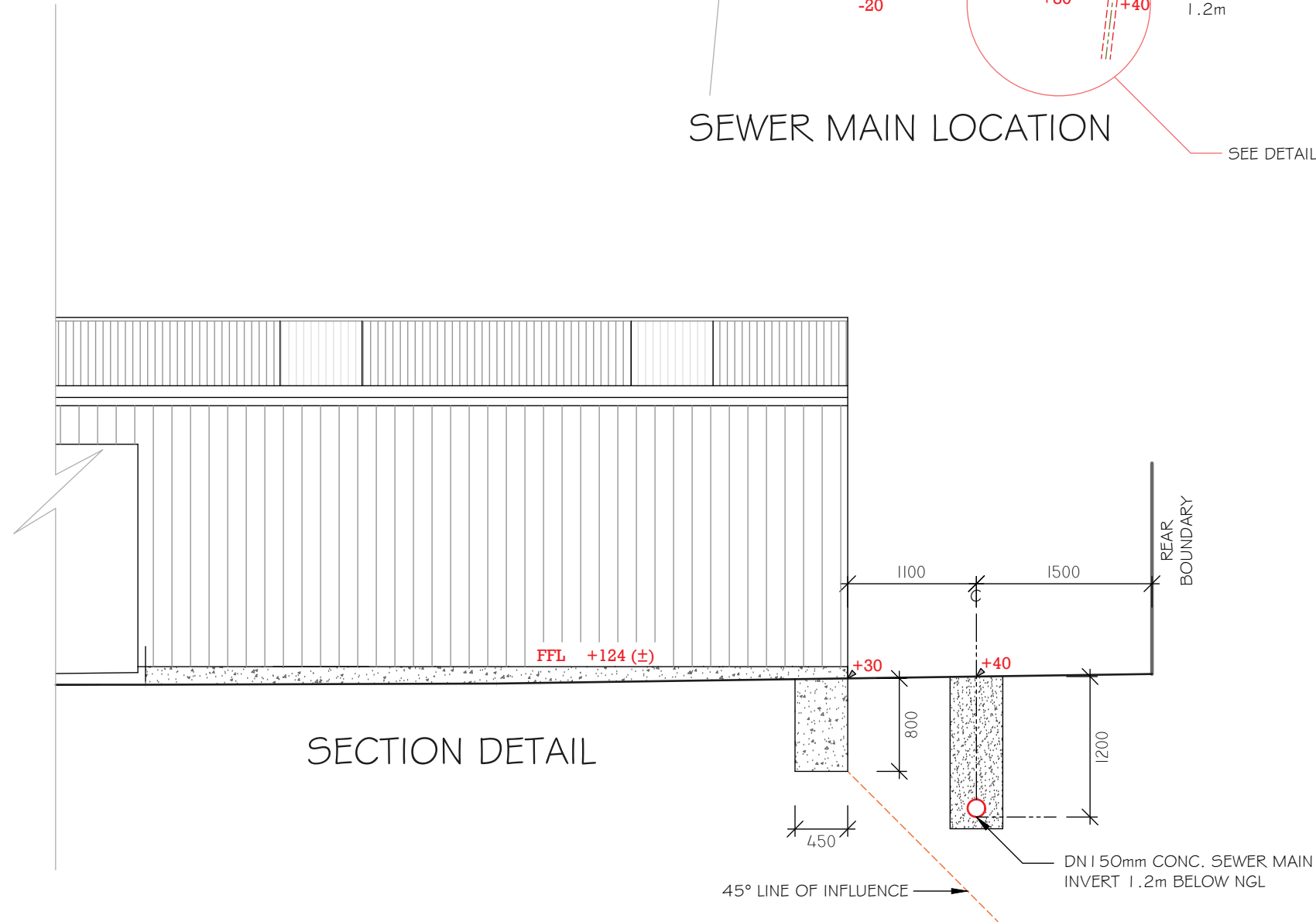
OWNER : R. GRIFFIN & HOMES TASMANIA  
ADDRESS: 39 GOODWOOD ROAD, GOODWOOD, 7010  
SCALE: 1:100  
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FLOOR PLAN 1:100



SEWER MAIN LOCATION



SECTION DETAIL

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 NEW OUTBUILDING / GARAGE

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SCALE: 1:100 & 1:50

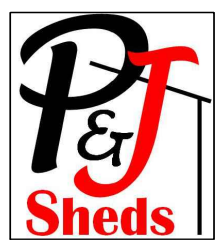
DATE: 16th DECEMBER 2024

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SEWER MAIN LOCATION 1:100  
 & SECTION DETAIL 1:50

**CONSTRUCTION GENERALLY:**  
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH CURRENT BUILDING REGULATIONS,  
BUILDING CODE OF AUSTRALIA (B.C.A.), RELEVANT AUSTRALIAN STANDARDS AND LOCAL  
AUTHORITY REQUIREMENTS.

SITE PREPARATION AND EXCAVATION TO COUNCIL AND B.C.A REQUIREMENTS.

CONCRETE FOOTINGS TO AS 2870.1 AND ENGINEER SPECIFICATIONS.  
UNLESS OTHERWISE SPECIFIED, FOOTINGS 20MPA / SLAB 25MPA.

STRUCTURAL; DETAILS AND CERTIFICATION AS PER 'FAIR DINKUM' BUILDS'  
DOCUMENTATION.

BUILDER TO VERIFY ALL DIMENSIONS AND DETAILS ON THIS SET OF PLANS PRIOR  
TO COMMENCEMENT OF WORK ON SITE.

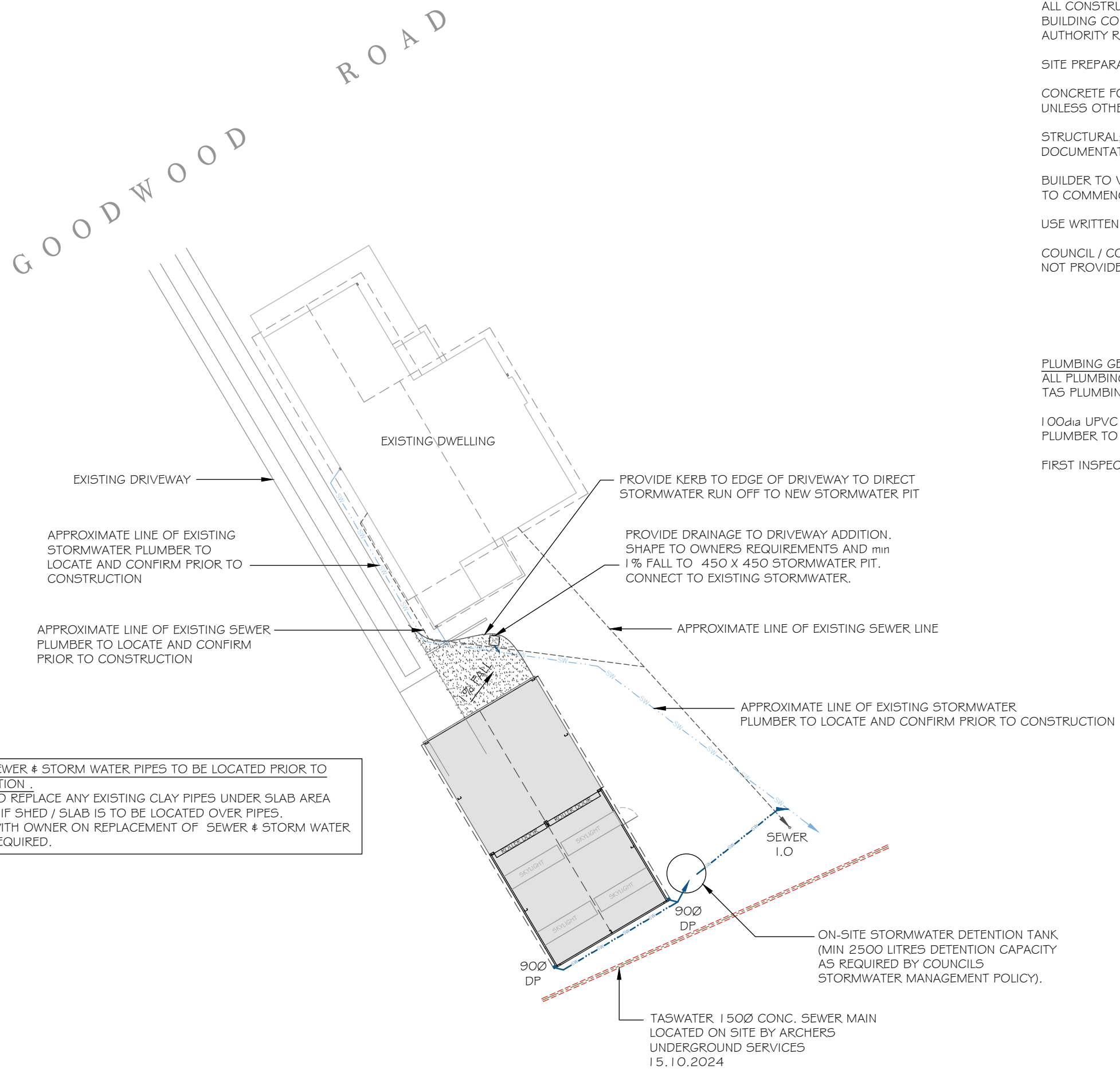
USE WRITTEN DIMENSIONS IN PREFERENCE TO MEASURING OFF THE PLAN.

COUNCIL / CONTRACTOR TO CONTACT P&J SHEDS IF NECESSARY INFORMATION IS  
NOT PROVIDED ON THIS SET OF PLANS.

**PLUMBING GENERALLY:**  
ALL PLUMBING TO BE IN ACCORDANCE WITH AS 3500.  
TAS PLUMBING CODE AND LOCAL AUTHORITY REQUIREMENTS.

100dia UPVC STORM WATER TO EXISTING STORM WATER CONNECTION.  
PLUMBER TO VERIFY CONNECTION LOCATION WITH OWNER.

FIRST INSPECTION OPENING TO BE RAISED TO FINISHED GROUND LEVEL.



## PLUMBING PLAN 1:200

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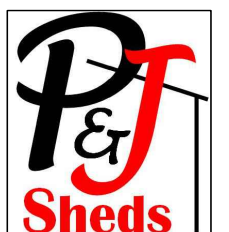
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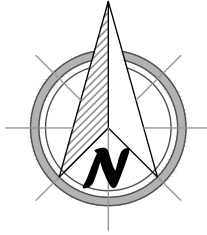
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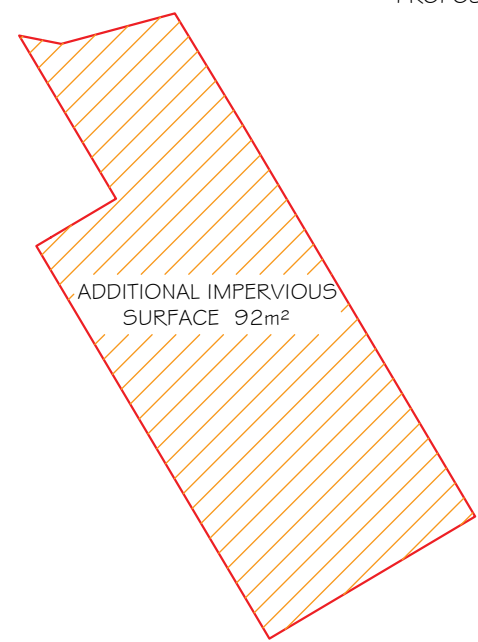
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LOT AREA: 617m<sup>2</sup>  
EXISTING DWELLING AREA: 108m<sup>2</sup>  
" ACCESS RAMP & LANDING AREA: 15.2m<sup>2</sup>  
EXISTING OUTBUILDINGS TO BE REMOVED: 27.4m<sup>2</sup>  
PROPOSED OUTBUILDING / GARAGE AREA: 72m<sup>2</sup>  
PROPOSED SITE COVER: 195.2m<sup>2</sup> or 31.6%



ON-SITE STORMWATER DETENTION REQUIREMENTS

THE PROPOSED DEVELOPMENT WILL RESULT IN ADDITIONAL IMPERVIOUS AREA OF APPROXIMATELY 92m<sup>2</sup>. THE GCC STORMWATER MANAGEMENT POLICY REQUIRES A MINIMUM OF 2500 LITRE ON SITE DETENTION.

ON-SITE STORMWATER DETENTION TANK (MIN 2500 LITRES DETENTION CAPACITY AS REQUIRED BY COUNCILS STORMWATER MANAGEMENT POLICY).

VOL : 59735  
FOLIO: 19  
617m<sup>2</sup>

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STORMWATER CONCEPT PLAN 1:200

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