

DEVELOPMENT APPLICATION

APPLICATION NUMBER:	PLN-24-356
PROPOSED DEVELOPMENT:	Three Multiple Dwellings (Two new and one existing)
LOCATION:	124 Main Road Claremont
APPLICANT:	Oramatis Studio
ADVERTISING START DATE:	21/03/2025
ADVERTISING EXPIRY DATE:	04/04/2025

Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and the plans are available on Glenorchy City Council's website (www.gcc.tas.gov.au) until **04/04/25**.

During this time, any person may make representations relating to the applications by letter addressed to the Chief Executive Officer, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to gccmail@gcc.tas.gov.au.

Representations must be received by no later than 11.59 pm on **04/04/25**, or for postal and hand delivered representations, by 5.00 pm on **04/04/25**.



ORAMATIS

DEVELOPMENT APPLICATION

124 MAIN ROAD, CLAREMONT 7011

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No. : PLN-24-356

DATE RECEIVED: 20/02/2025

UNIT DEVELOPMENT ONE EXSITNG TWO PROPOSED

ID	NAME	REV
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DA14	BUILDING ENVELOPE	



1 LOCATION PLAN/SATELLITE IMAGERY
1:1000



ARTIST'S IMPRESSION

GENERAL NOTES

GENERAL
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DO NOT SCALE FROM THIS DRAWING

THE CONTRACTOR SHALL CONFIRM ON SITE EXISTING CONDITIONS, LEVELS AND DIMENSIONS PRIOR TO COMMENCEMENT OF WORKS

ALL DISCREPANCIES TO BE REPORTED TO THE ARCHITECT FOR INSTRUCTION

ALL LEVELS INDICATED PERTAIN TO FINISHED LEVELS AND NOT STRUCTURAL LEVELS UNLESS OTHERWISE INDICATED

MATERIALS AND WORK PRACTICES SHALL COMPLY WITH THE NATIONAL CONSTRUCTION CODE (NCC) AND OTHER RELEVANT CODES REFERRED TO IN THE NCC

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER CONTRACT DOCUMENTS, SPECIFICATIONS AND DRAWINGS

PROPRIETARY ITEMS, SYSTEMS AND ASSEMBLIES ARE TO BE ASSEMBLED, INSTALLED OR FIXED IN CONFORMANCE WITH THE CURRENT WRITTEN RECOMMENDATIONS AND INSTRUCTIONS OF THE MANUFACTURER OR SUPPLIER

WORKPLACE HEALTH AND SAFETY
ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE PROJECT SAFE DESIGN REPORT

ALL CONTRACTORS MUST CARRY OUT WORKS IN ACCORDANCE WITH CURRENT HEALTH AND SAFETY LEGISLATION AND BEST PRACTICE INCLUDING PREPARATION OF A CONSTRUCTION SAFETY MANAGEMENT PLAN

LAND TITLE REFERENCE
VOLUME (PLAN): 3/115220

DESIGN WIND SPEED
WIND LOADING TO AS 4055: N2

SOIL CLASSIFICATION
SOIL CLASSIFICATION TO AS 2870: M

CLIMATE ZONE FOR THERMAL DESIGN
CLIMATE ZONE TO BCA FIGURE 1.1.4: 7

BUSHFIRE PRONE AREA BAL RATING
BUSHFIRE ATTACK LEVEL (BAL) TO AS 3959: NA

CORROSION ENVIRONMENT
CORROSION ENVIRONMENT TO AS/NZS 2312: N/A

KNOWN SITE HAZARDS: n/a

SCHEDULE OF AREAS
GROUND FLOOR SITE COVERAGE: 336.3m²
SITE AREA : 1191m²
SITE COVERAGE: 28.2%

**GLENORCHY CITY COUNCIL
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ORAMATIS STUDIO

214 Elizabeth Street, Hobart
p: (03) 6286 8440
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REV ID DESCRIPTION DATE

PROJECT
UNIT DEVELOPMENT
124 MAIN ROAD, CLAREMONT 7011

CLIENT
KEITH & LIBBY ROLLS

REVISION
DATE
20/02/2025

PROJECT ID
2475

CHECKED BY
D.D

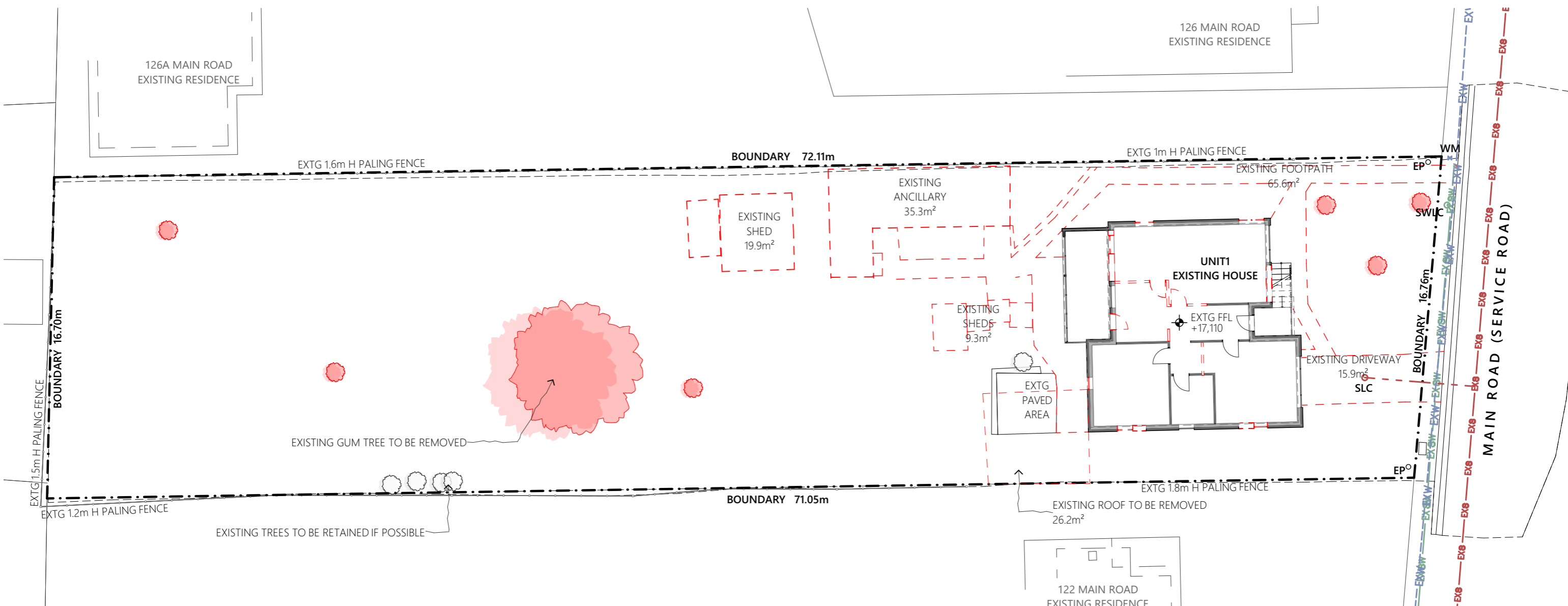
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PAGE
DA01

DRAWING
NOTES & SITE LOCATION PLAN

NORTH
N



1
-
EXISTING SITE PLAN
1:200

- LEGEND**
- EP EXISTING ELECTRIC POLE
 - SLC SEWER LOT CONNECTION
 - SWLC STORMWATER LOT CONNECTION
 - WM EXISTING WATER METER
 - WS WASTE STORAGE, NO LESS THAN 1.5m²
 - S- PROPOSED Ø100 UPVC SEWER LINE
 - SW- PROPOSED Ø100 UPVC STORMWATER LINE
 - W- PROPOSED Ø100 UPVC WATER LINE
 - ExS- SEWER MAIN
 - EXSW- STORMWATER MAIN
 - EXW- WATER MAIN

- LEGEND**
- - - - - ELEMENTS TO BE DEMOLISHED & REMOVED
 - █ EXISTING ELEMENTS TO BE RETAINED
 - EXISTING TREES TO BE REMOVED AS LOCATED BY SURVEYPLUS

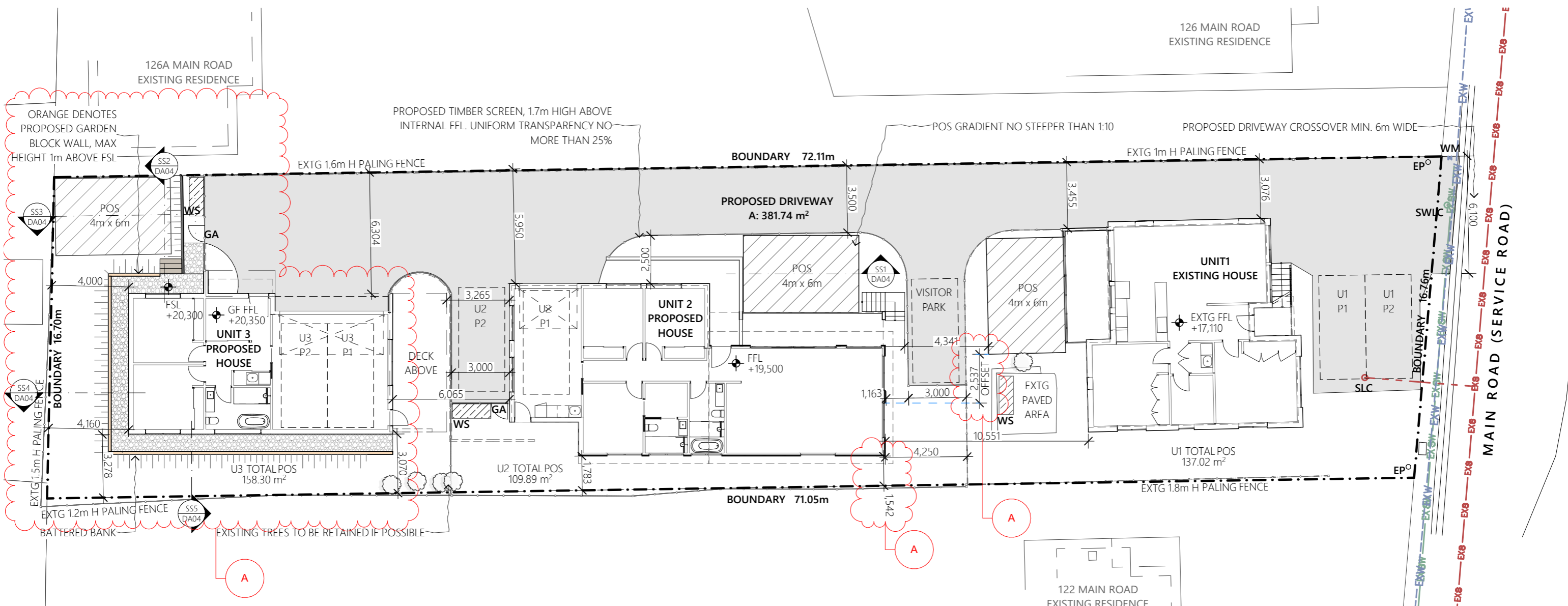
TOTAL IMPERVIOUS AREA REMOVED
 $19.9 + 35.3 + 65.6 + 15.9 + 26.2 + 9.3 = 172.2m^2$

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UNIT DEVELOPMENT 124 MAIN ROAD, CLAREMONT 7011		20/02/2025
CLIENT	PROJECT ID	CHECKED BY
KEITH & LIBBY ROLLS	2475	D.D

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1
PROPOSED SITE PLAN
1:200

- LEGEND**
- EP EXISTING ELECTRIC POLE
 - SLC SEWER LOT CONNECTION
 - SWLC STORMWATER LOT CONNECTION
 - WM EXISTING WATER METER
 - WS WASTE STORAGE, NO LESS THAN 1.5m²
 - S** PROPOSED Ø100 UPVC SEWER LINE
 - SW** PROPOSED Ø100 UPVC STORMWATER LINE
 - W** PROPOSED Ø100 UPVC WATER LINE
 - ExS** SEWER MAIN
 - ExSW** STORMWATER MAIN
 - ExW** WATER MAIN

BUILDING FOOTPRINT

UNIT 1 EXTG HOUSE	APPROX. 103.66m ²
UNIT 2	137.83m ²
UNIT 3	94.76m ²

**IMPERVIOUS AREA
BUILDING ROOF AREA**

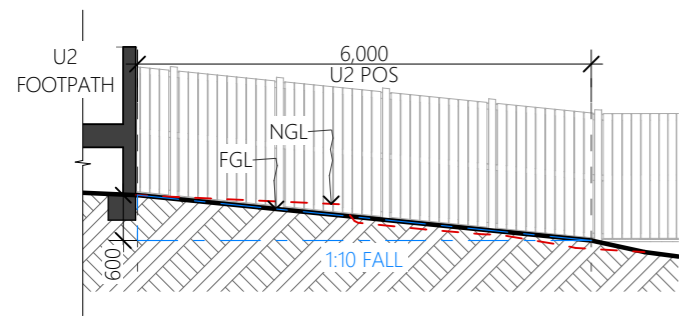
UNIT 1 EXTG HOUSE:	103.6m ²
UNIT 2	155.5m ²
UNIT 3	122.7m ²
CONCRETE AREA	381.8m²
TOTAL	774.5m²

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

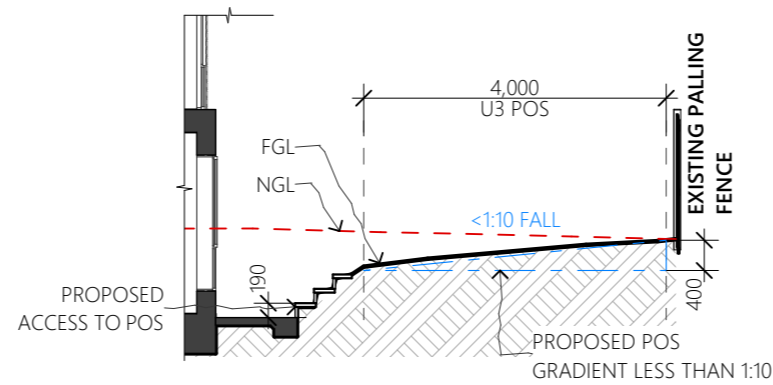
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REV ID	DESCRIPTION	DATE
A	SETBACKS/BUILDING ENV., POS	20/02/2025

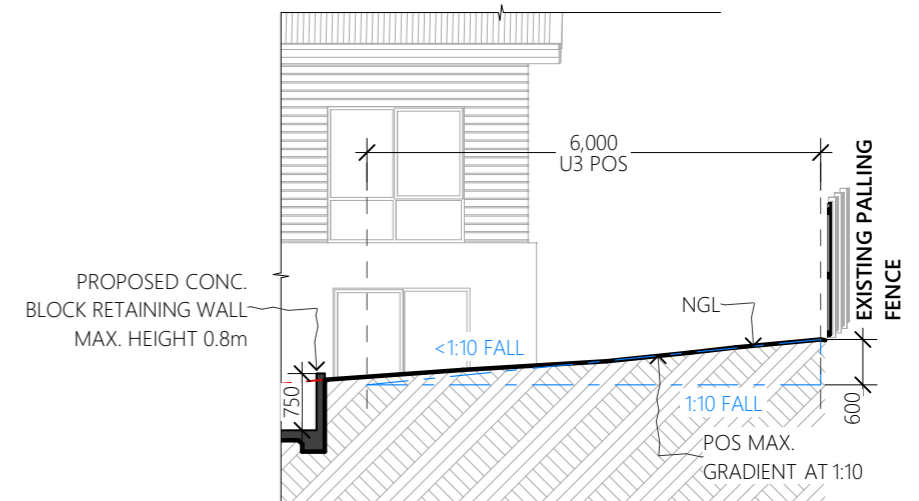
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UNIT DEVELOPMENT 124 MAIN ROAD, CLAREMONT 7011	A	20/02/2025	AS SHOWN @ A3
CLIENT	PROJECT ID	CHECKED BY	DRAWN BY
KEITH & LIBBY ROLLS	2475	D.D	D.D



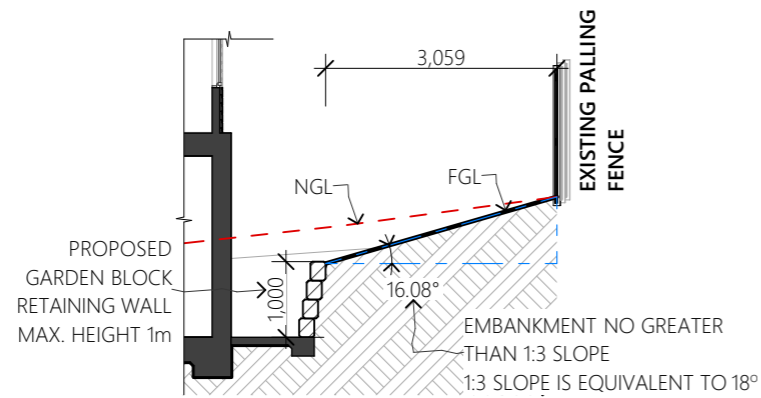
SS1 - SITE SECTION - U2 POS
1:100



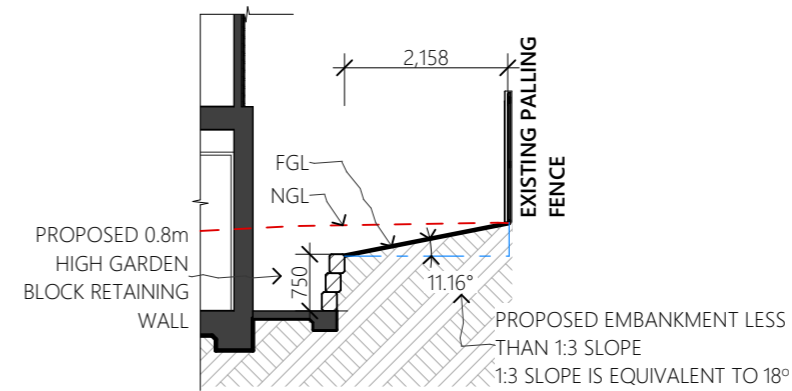
SS2 - SITE SECTION - U3 POS
1:100



SS3 - SITE SECTION - U3 POS
1:100



SS4 - SITE SECTION - EMBANKMENT
1:100



SS5 - SITE SECTION - EMBANKMENT
1:100

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A

REV ID	DESCRIPTION	DATE
A	POS	20/02/2025

PROJECT	REVISION	DATE	SCALE
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CLIENT KEITH & LIBBY ROLLS	PROJECT ID 2475	CHECKED BY D.D	DRAWN BY D.D

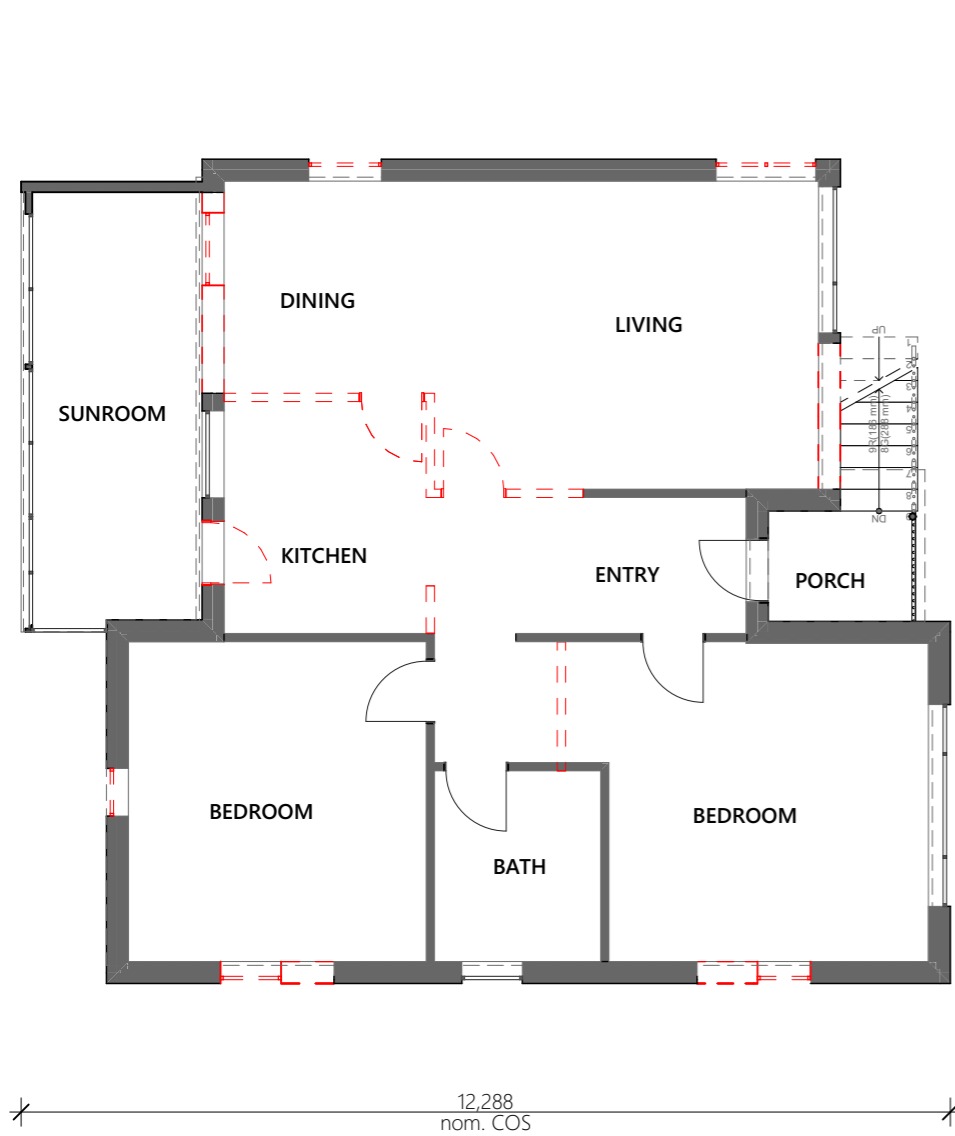
GENERAL NOTES	PAGE	NORTH
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	PROPOSED POS AND EMBANKMENTS	

LEGEND

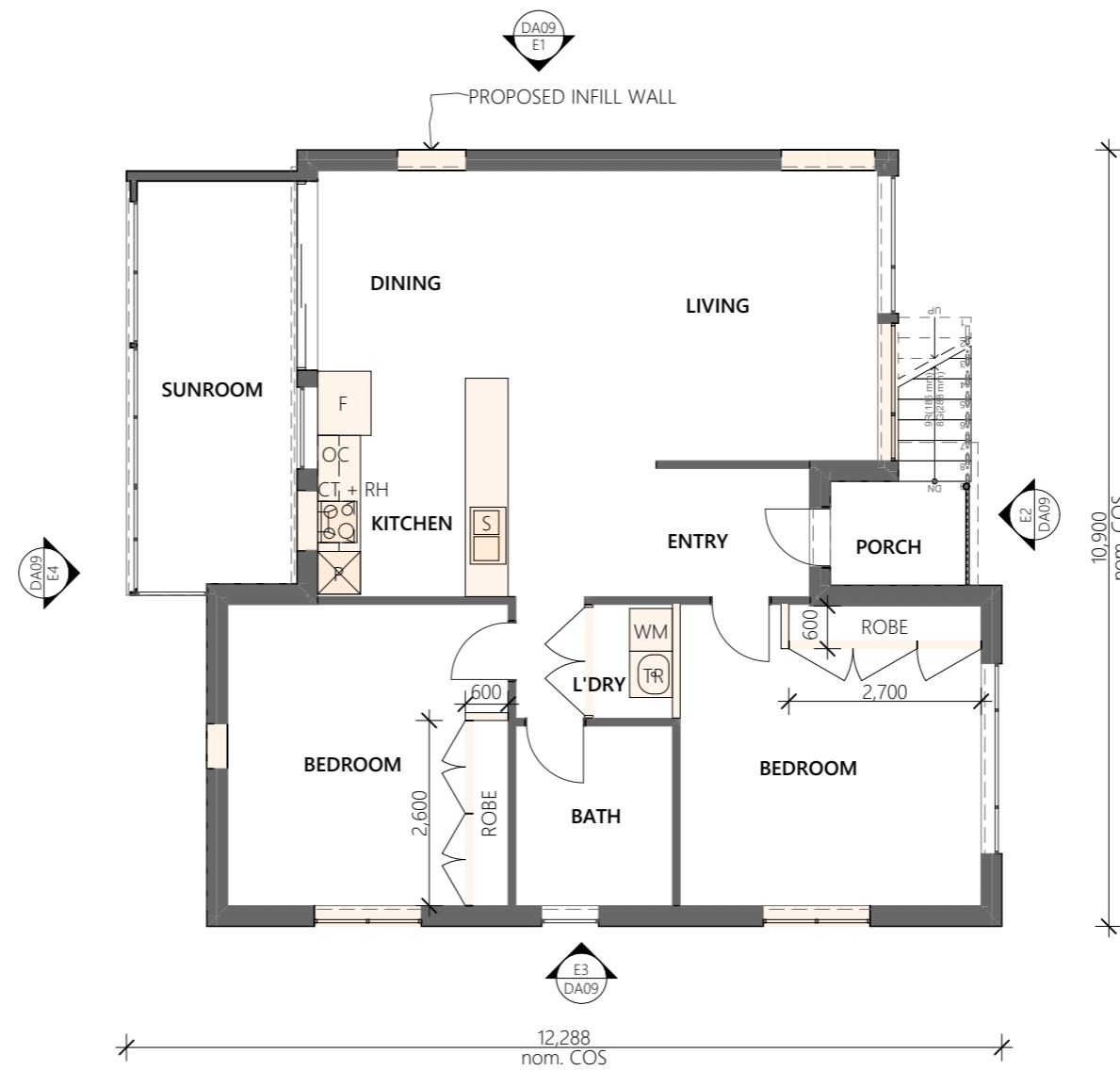
- ELEMENTS TO BE DEMOLISHED & REMOVED
- EXISTING ELEMENTS TO BE RETAINED
- PROPOSED WORKS

FLOOR PLAN LEGEND

- BR** BROOM CLOSET
- BT** BATH TUB
- CB** CABINET
- CT** COOKTOP
- DW** DISHWASHER
- DR** DRYER
- F** FRIDGE
- OC** OVERHEAD CABINETS
- P** PANTRY
- RH** RANGEHOOD
- S** SINK
- SH** SHOWER CABIN
- ST** STORAGE
- TR** LAUNDRY TROUGH
- V** VANITY
- WM** WASHING MACHINE



1 - DEMOLITION FLOOR PLAN
1:100



2 - PROPOSED FLOOR PLAN
1:100

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REV ID	DESCRIPTION	DATE

PROJECT

UNIT DEVELOPMENT
 124 MAIN ROAD, CLAREMONT 7011

CLIENT
 KEITH & LIBBY ROLLS

REVISION

PROJECT ID
 2475

DATE

20/02/2025

CHECKED BY
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SCALE

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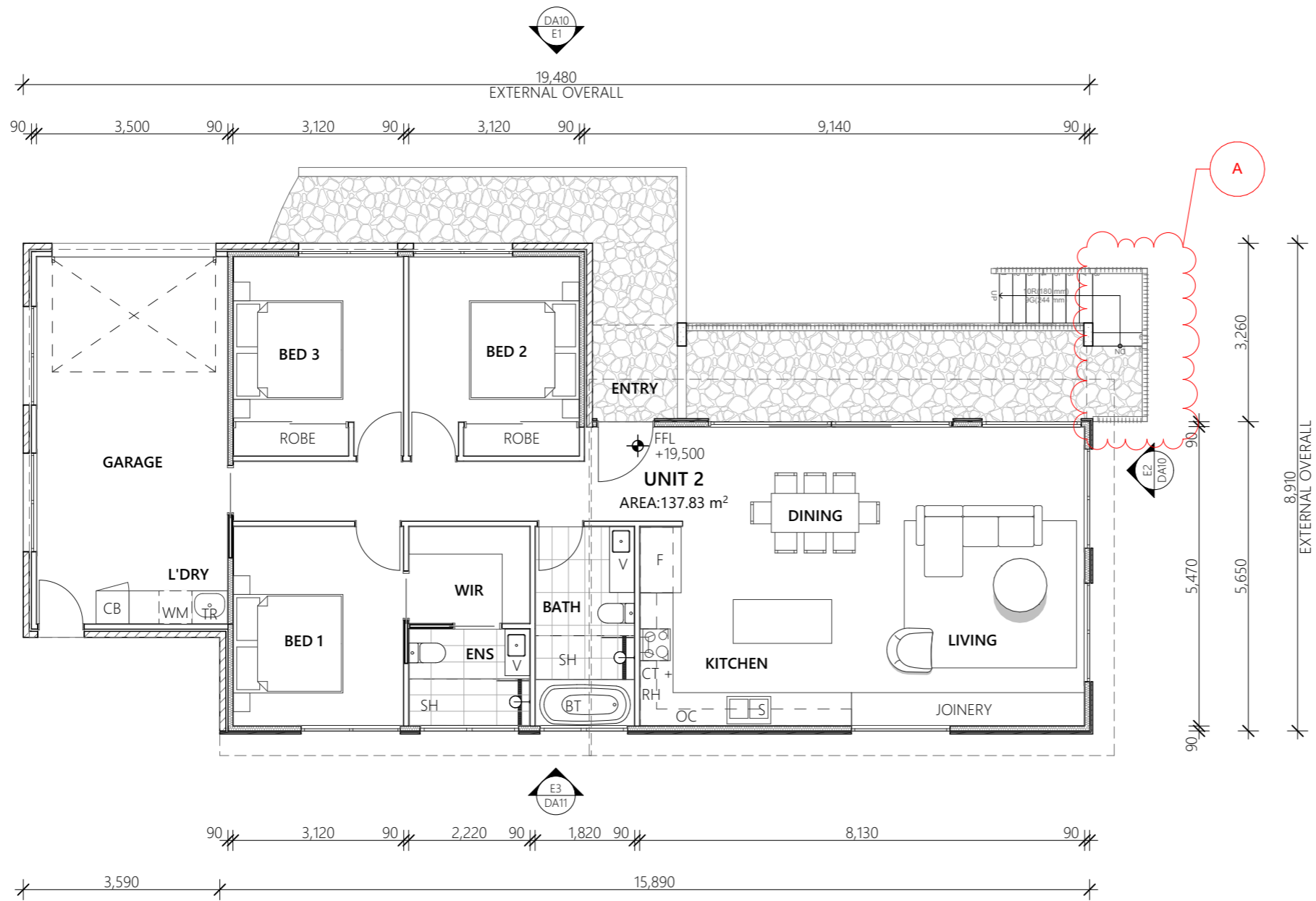
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DA05

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EXISTING HOUSE PLAN

NORTH



FLOOR PLAN LEGEND

- BR BROOM CLOSET
- BT BATH TUB
- CB CABINET
- CT COOKTOP
- DW DISHWASHER
- DR DRYER
- F FRIDGE
- OC OVERHEAD CABINETS
- P PANTRY
- RH RANGEHOOD
- S SINK
- SH SHOWER CABIN
- ST STORAGE
- TR LAUNDRY TROUGH
- V VANITY
- WM WASHING MACHINE

UNIT2 AREA SCHEDULE

GARAGE	23.32m ²
HOUSE	114.51m ²
TOTAL	137.83m²

UNIT2 ZONE SCHEDULE

ROOM NAME	AREA
BATH	6.53
BED 1	11.25
BED 2	11.25
BED 3	11.25
DINING	7.56
ENS	3.87
GARAGE	22.12
KITCHEN	12.06
L'DRY	1.20
LIVING	23.17
WIR	3.87

1 UNIT2 GROUND FLOOR PLAN 1:100

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REV ID	DESCRIPTION	DATE
A	PRIVACY	20/02/2025

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UNIT DEVELOPMENT
124 MAIN ROAD, CLAREMONT 7011

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KEITH & LIBBY ROLLS

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A

DATE
20/02/2025

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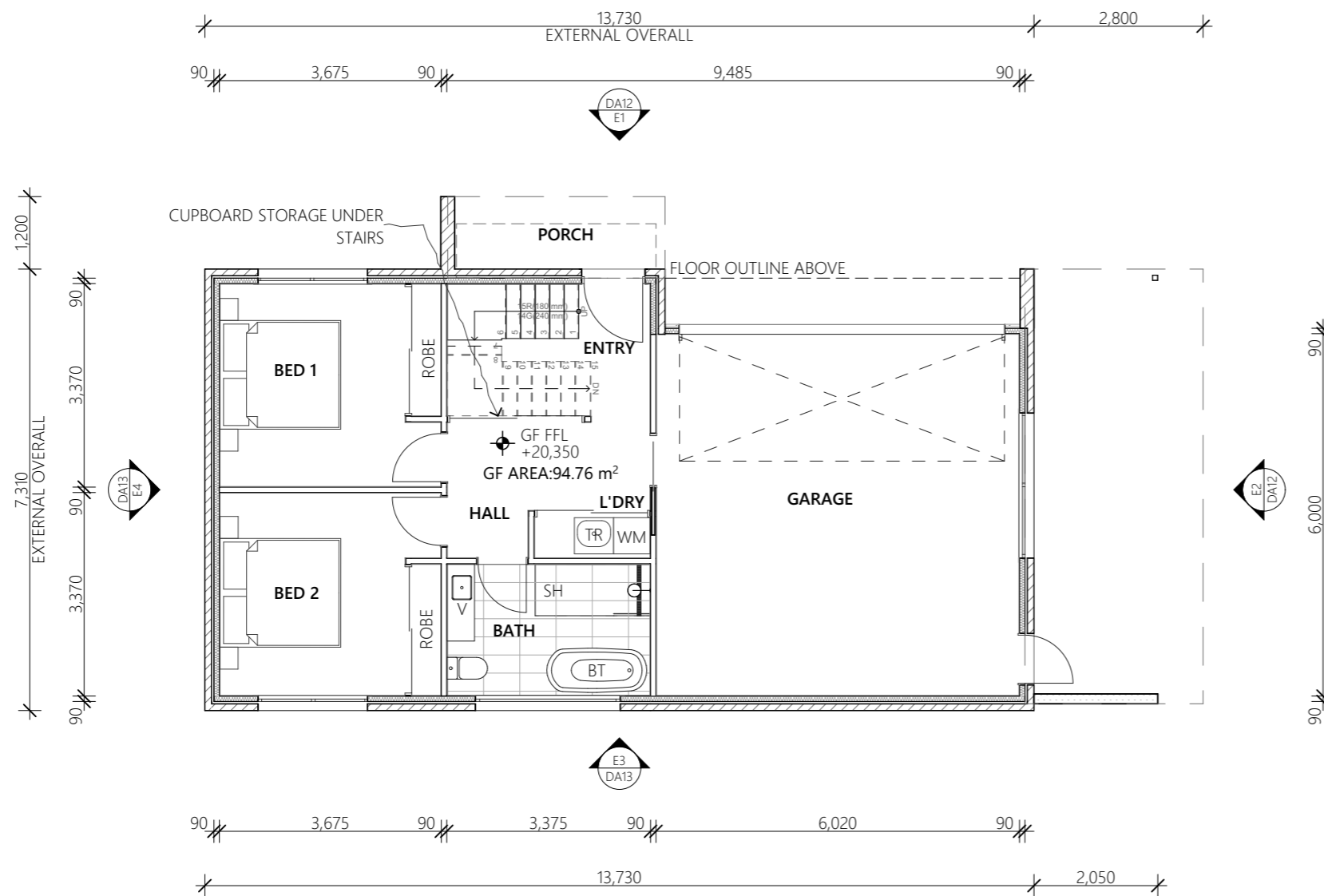
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DRAWING
UNIT2 GROUND FLOOR PLAN

NORTH



1 UNIT3 GROUND FLOOR PLAN
1:100

FLOOR PLAN LEGEND

- BR BROOM CLOSET
- BT BATH TUB
- CB CABINET
- CT COOKTOP
- DW DISHWASHER
- DR DRYER
- F FRIDGE
- OC OVERHEAD CABINETS
- P PANTRY
- RH RANGEHOOD
- S SINK
- SH SHOWER CABIN
- ST STORAGE
- TR LAUNDRY TROUGH
- V VANITY
- WM WASHING MACHINE

UNIT3 AREA SCHEDULE

GROUND FLOOR	94.76m ²
FIRST FLOOR	82.82m ²
DECK	20.88m ²
TOTAL	198.46m²

UNIT3 ZONE SCHEDULE

ROOM NAME	AREA
BATH	7.28
BED 1	12.24
BED 2	12.24
DINING	12.02
ENS	5.30
GARAGE	35.88
KITCHEN	13.11
L'DRY	1.29
M BED	13.60
WC	3.31
WIR	5.26

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

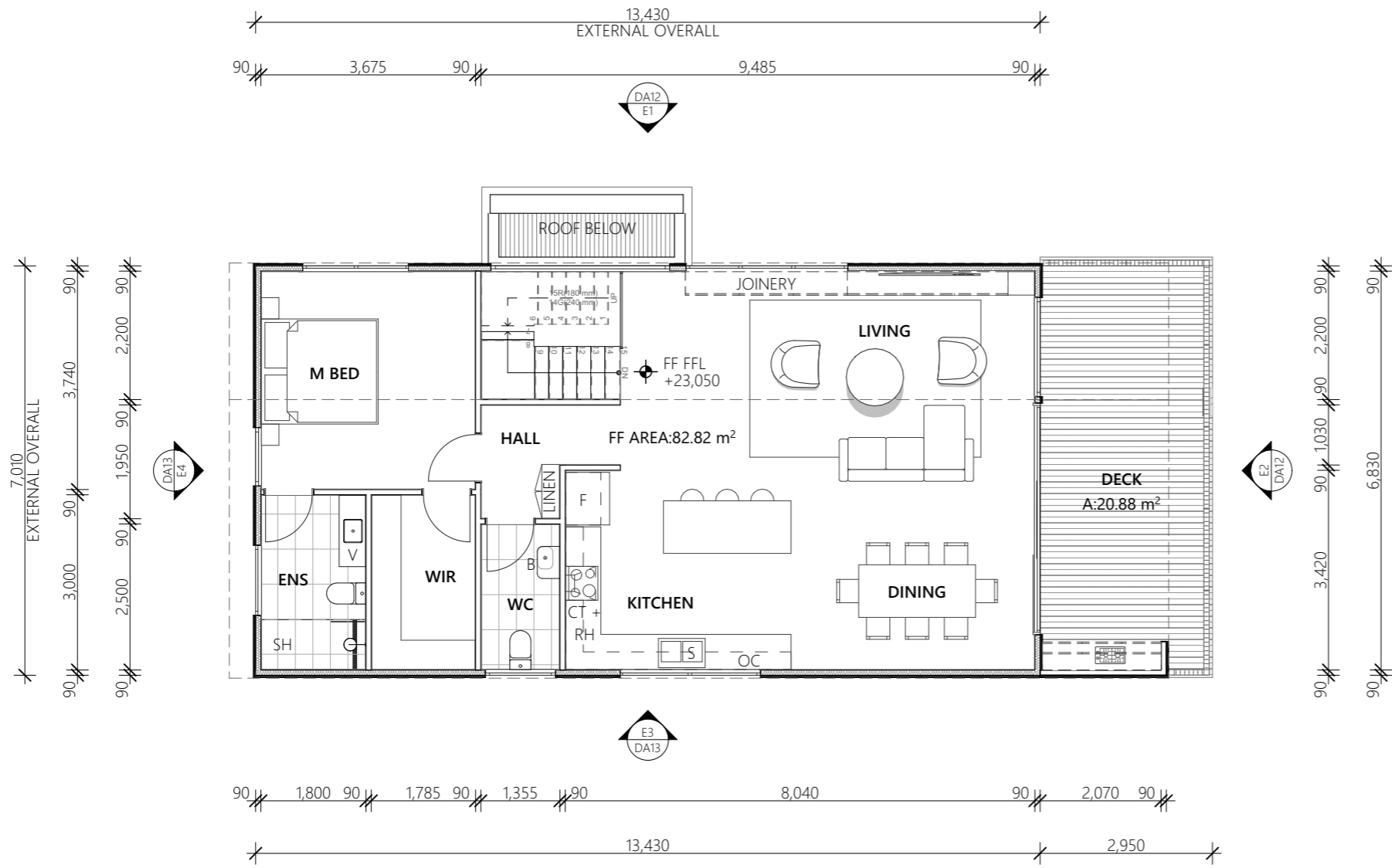
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A		20/02/2025

REVISION	DATE	SCALE
A	20/02/2025	AS SHOWN @ A3

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2475	D.D	D.D



1 UNIT3 FIRST FLOOR PLAN
1:100

FLOOR PLAN LEGEND

- BR BROOM CLOSET
- BT BATH TUB
- CB CABINET
- CT COOKTOP
- DW DISHWASHER
- DR DRYER
- F FRIDGE
- OC OVERHEAD CABINETS
- P PANTRY
- RH RANGEHOOD
- S SINK
- SH SHOWER CABIN
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- WM WASHING MACHINE

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CLIENT
KEITH & LIBBY ROLLS

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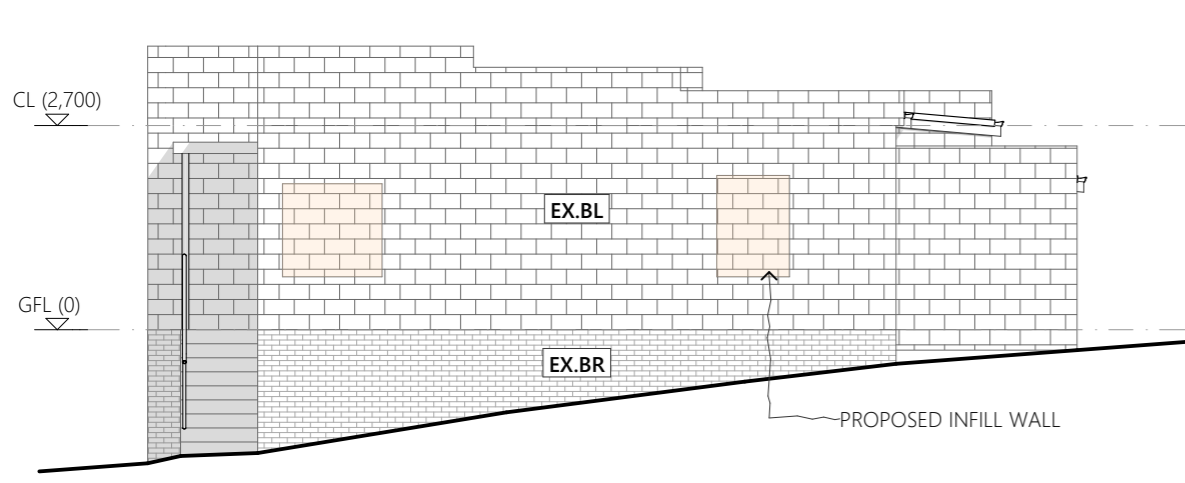
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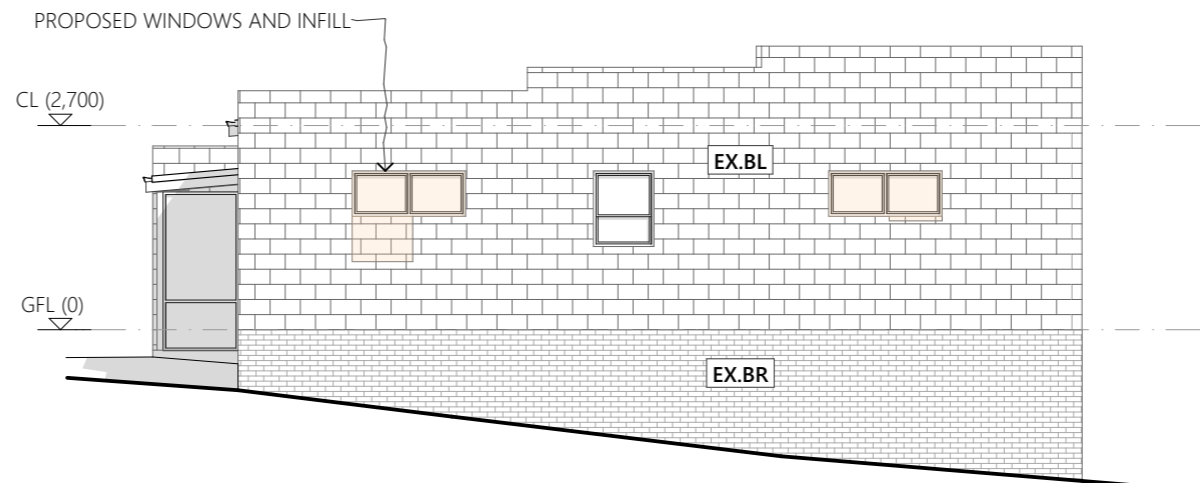
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UNIT3 FIRST FLOOR PLAN

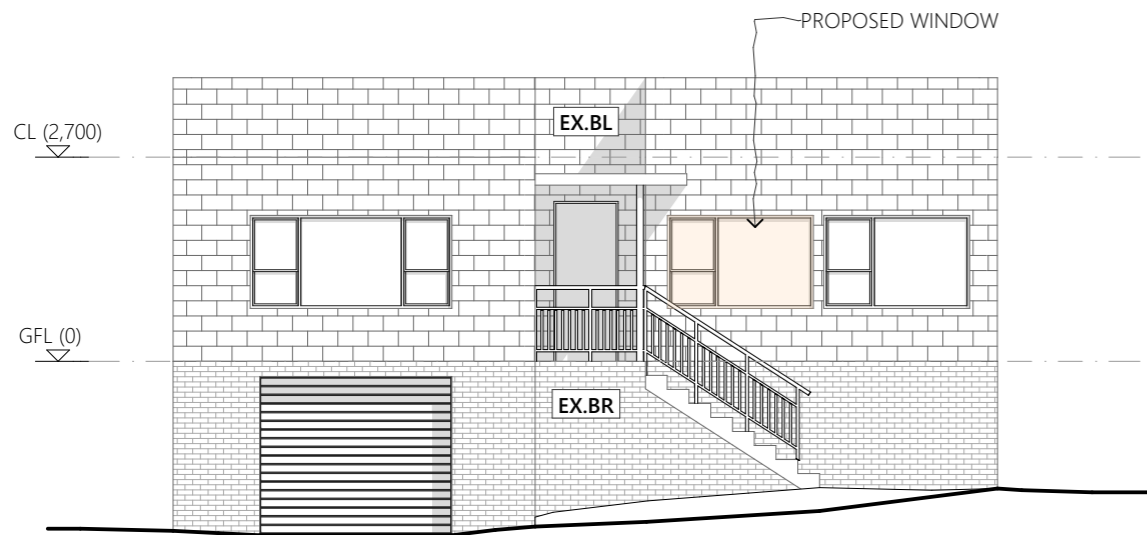
NORTH



E1 NORTH ELEVATION
1:100



E3 SOUTH ELEVATION
1:100



E2 EAST ELEVATION
1:100



E4 WEST ELEVATION
1:100

LEGEND

PROPOSED WORKS

MATERIAL & FINISHES

EXISTING

EX.RF EXISTING ROOF SHEET

EX.BL EXISTING CONCRETE BLOCK WALL

EX.BR EXISTING BRICK TO BE RENDERED *TBC*

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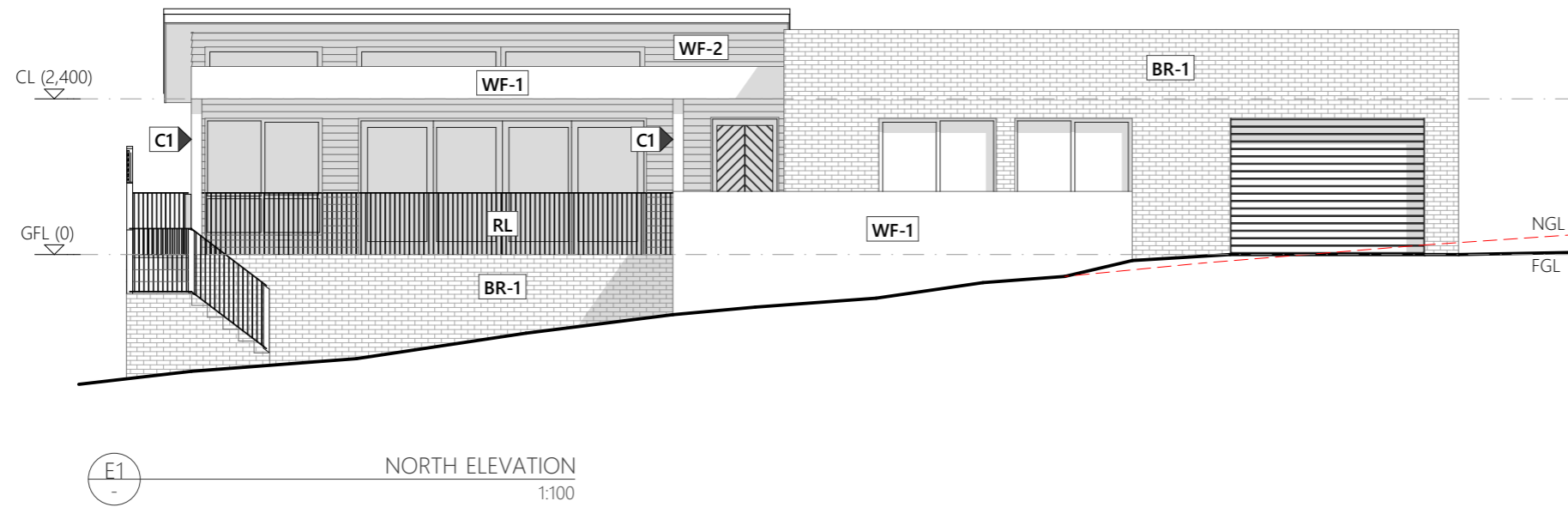
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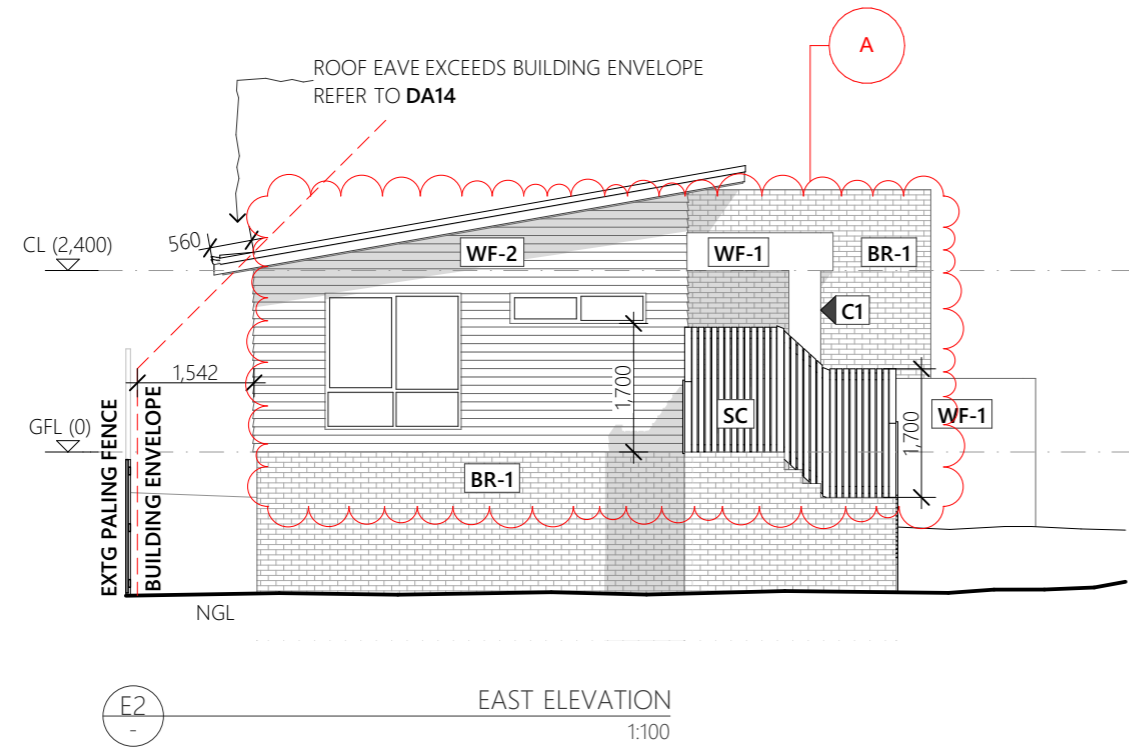
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DA09

DRAWING
UNIT1 ELEVATIONS

NORTH



NORTH ELEVATION
1:100



EAST ELEVATION
1:100

MATERIAL & FINISHES

PROPOSED

ROOF

CO CUSTOM ORB ROOF SHEET
COLOUR: SURFMIST **TBC**

KL KLIP-LOK ROOF SHEET
COLOUR: SURFMIST **TBC**

WALL

BR-1 BRICK VENEER WALL
COLOUR: OVERLAND BRUNY PRISTINE **TBC**

BR-2 BRICK VENEER WALL
COLOUR: OVERLAND TARKINE PRISTINE **TBC**

WF-1 JAMES HARDIE FC SHEET
COLOUR: COLORBOND WALLABY **TBC**

WF-2 JAMES HARDIE WEATHERBOARD
COLOUR: WHITE HAVEN **TBC**

COLUMN

C1 FRAMED COLUMN
COLOUR: PAINT TO MATCH WF-1 **TBC**

C2 SHS COLUMN
FINISH: 2 PACK
COLOUR: WHITE HAVEN **TBC**

MISCELLANEOUS

RL 1m HIGH STEEL BALUSTRADE
FINISH: 2 PACK
COLOUR: **TBC**

NOTE:

ALL PROPRIETARY MATERIALS TO BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS

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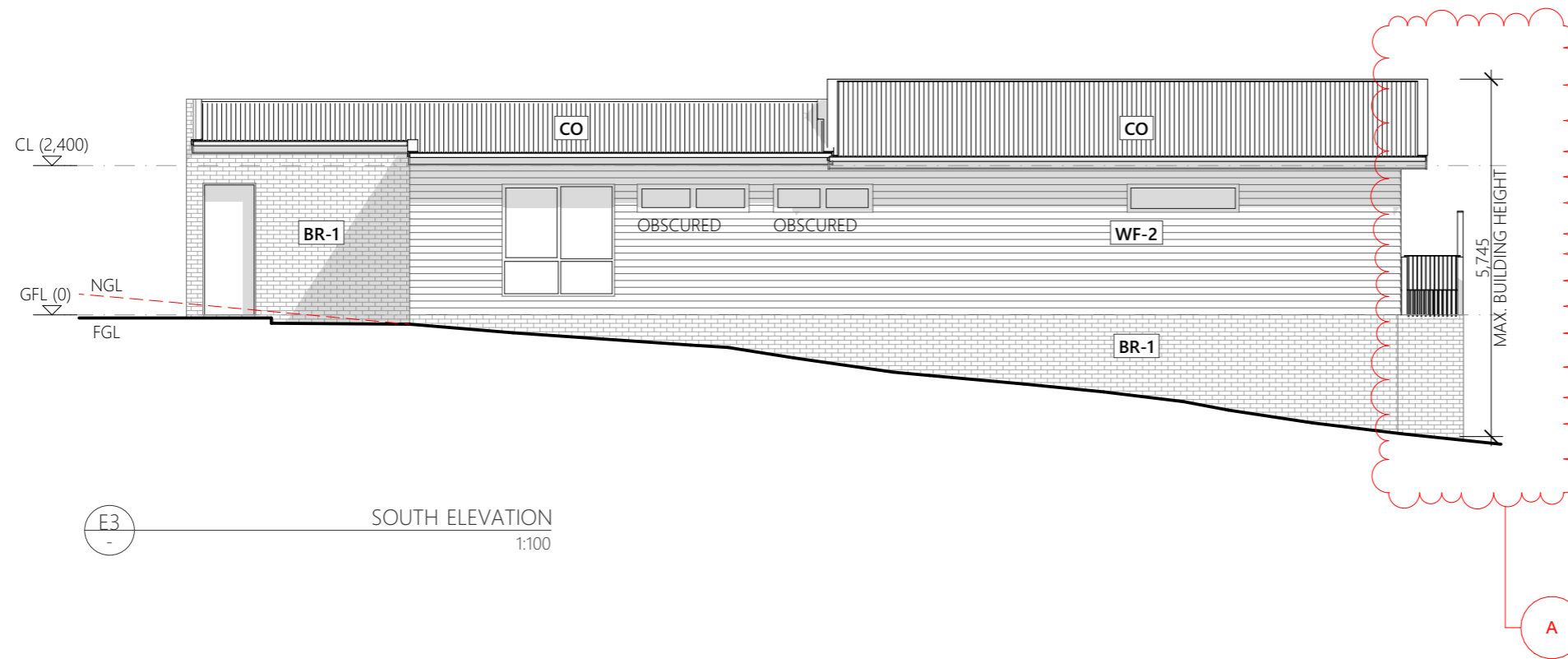
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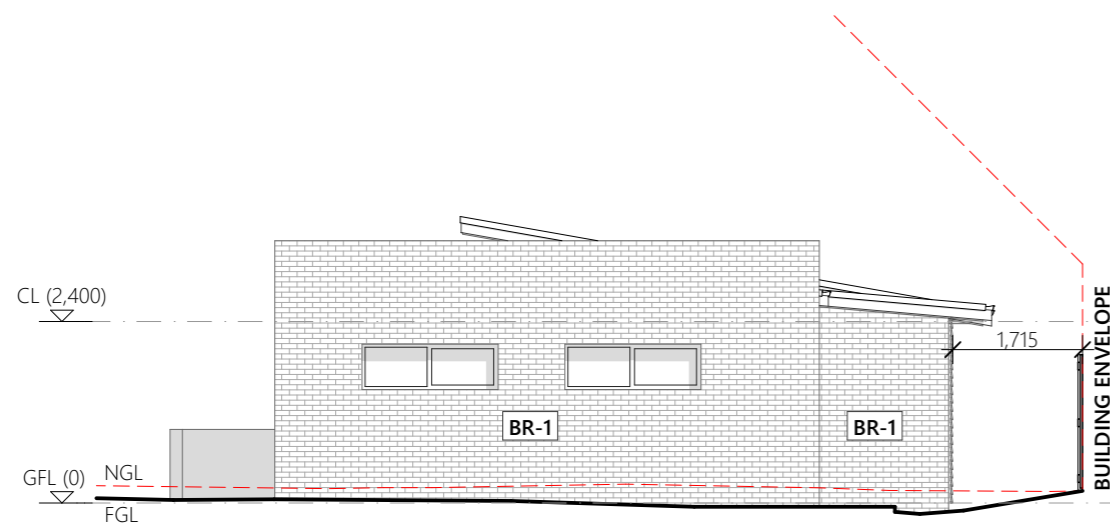
REV ID	DESCRIPTION	DATE
A	PRIVACY	20/02/2025

PROJECT	REVISION	DATE	SCALE
UNIT DEVELOPMENT 124 MAIN ROAD, CLAREMONT 7011	A	20/02/2025	AS SHOWN @ A3
CLIENT	PROJECT ID	CHECKED BY	DRAWN BY
KEITH & LIBBY ROLLS	2475	D.D	D.D

PAGE	NORTH
DA10	
DRAWING	
UNIT2 ELEVATION	



E3 SOUTH ELEVATION
1:100



E4 WEST ELEVATION
1:100

MATERIAL & FINISHES

PROPOSED

ROOF

CO CUSTOM ORB ROOF SHEET
COLOUR: SURFMIST **TBC**

KL KLIP-LOK ROOF SHEET
COLOUR: SURFMIST **TBC**

WALL

BR-1 BRICK VENEER WALL
COLOUR: OVERLAND BRUNY PRISTINE **TBC**

BR-2 BRICK VENEER WALL
COLOUR: OVERLAND TARKINE PRISTINE **TBC**

WF-1 JAMES HARDIE FC SHEET
COLOUR: COLORBOND WALLABY **TBC**

WF-2 JAMES HARDIE WEATHERBOARD
COLOUR: WHITE HAVEN **TBC**

COLUMN

C1 FRAMED COLUMN
COLOUR: PAINT TO MATCH WF-1 **TBC**

C2 SHS COLUMN
FINISH: 2 PACK
COLOUR: WHITE HAVEN **TBC**

MISCELLANEOUS

RL 1m HIGH STEEL BALUSTRADE
FINISH: 2 PACK
COLOUR: **TBC**

NOTE:

ALL PROPRIETARY MATERIALS TO BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No. : PLN-24-356

DATE RECEIVED: 20/02/2025

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A	SETBACKS/BUILDING ENV.	20/02/2025

PROJECT
UNIT DEVELOPMENT
124 MAIN ROAD, CLAREMONT 7011

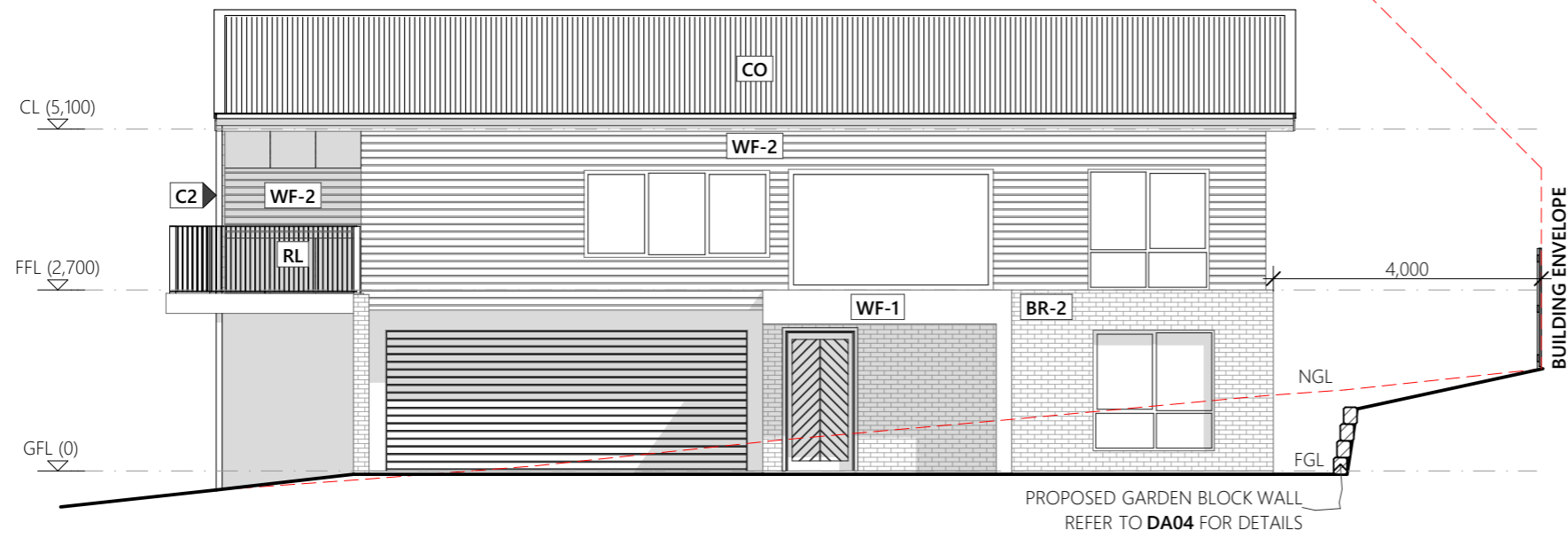
CLIENT
KEITH & LIBBY ROLLS

REVISION
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DATE
20/02/2025
SCALE
AS SHOWN @ A3

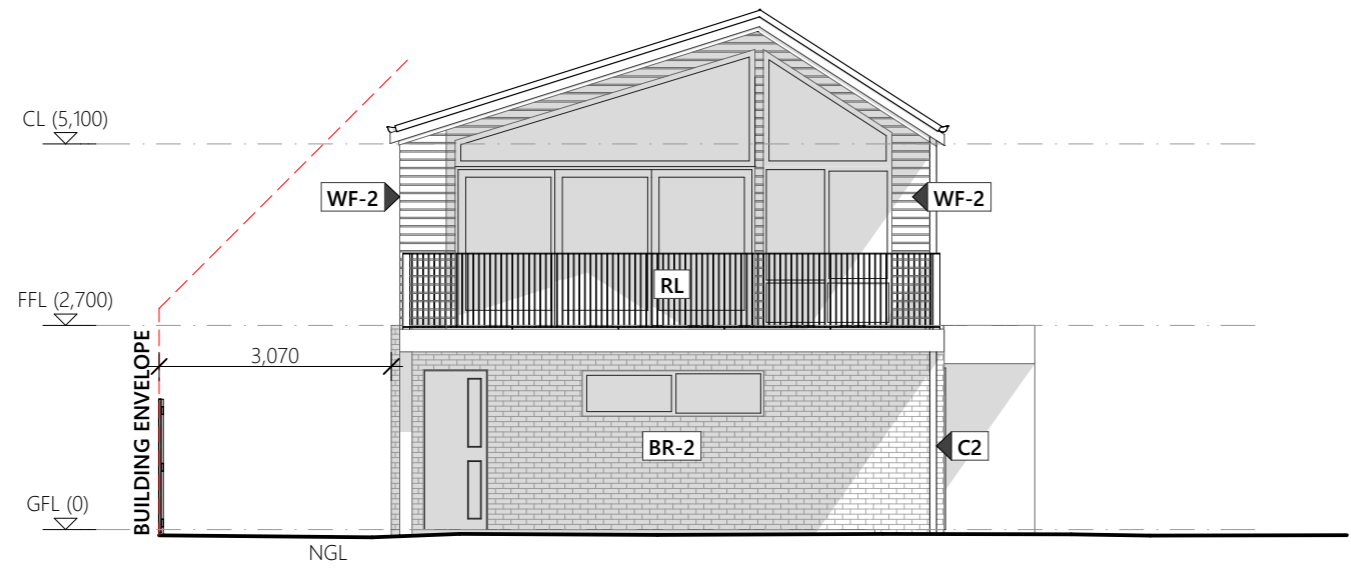
PROJECT ID
2475
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DRAWN BY
D.D

PAGE
DA11
NORTH

DRAWING
UNIT2 ELEVATION



E1 NORTH ELEVATION 1:100



E2 EAST ELEVATION 1:100

MATERIAL & FINISHES

PROPOSED

ROOF

- CO** CUSTOM ORB ROOF SHEET
COLOUR: SURFMIST TBC
- KL** KLIP-LOK ROOF SHEET
COLOUR: SURFMIST TBC

WALL

- BR-1** BRICK VENEER WALL
COLOUR: OVERLAND BRUNY PRISTINE TBC
- BR-2** BRICK VENEER WALL
COLOUR: OVERLAND TARKINE PRISTINE TBC
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COLOUR: COLORBOND WALLABY TBC
- WF-2** JAMES HARDIE WEATHERBOARD
COLOUR: WHITE HAVEN TBC

COLUMN

- C1** FRAMED COLUMN
COLOUR: PAINT TO MATCH WF-1 TBC
- C2** SHS COLUMN
FINISH: 2 PACK
COLOUR: WHITE HAVEN TBC

MISCELLANEOUS

- RL** 1m HIGH STEEL BALUSTRADE
FINISH: 2 PACK
COLOUR: TBC

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PROJECT
UNIT DEVELOPMENT
124 MAIN ROAD, CLAREMONT 7011

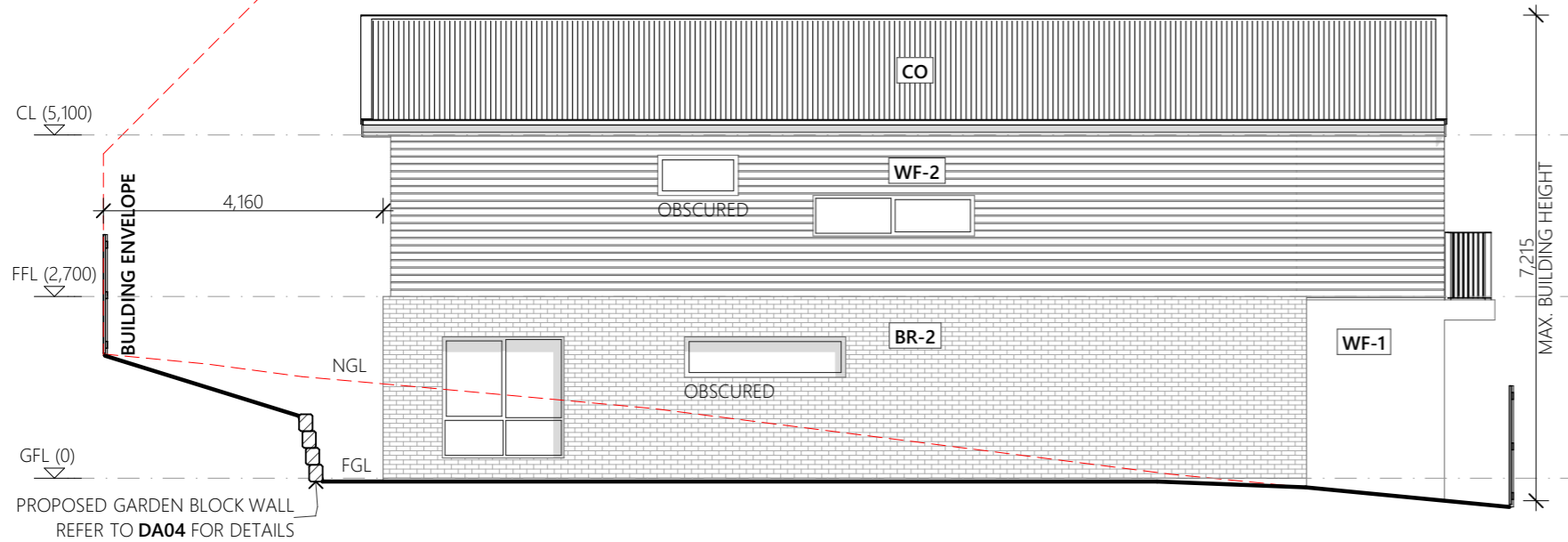
CLIENT
KEITH & LIBBY ROLLS

REVISION	DATE	SCALE
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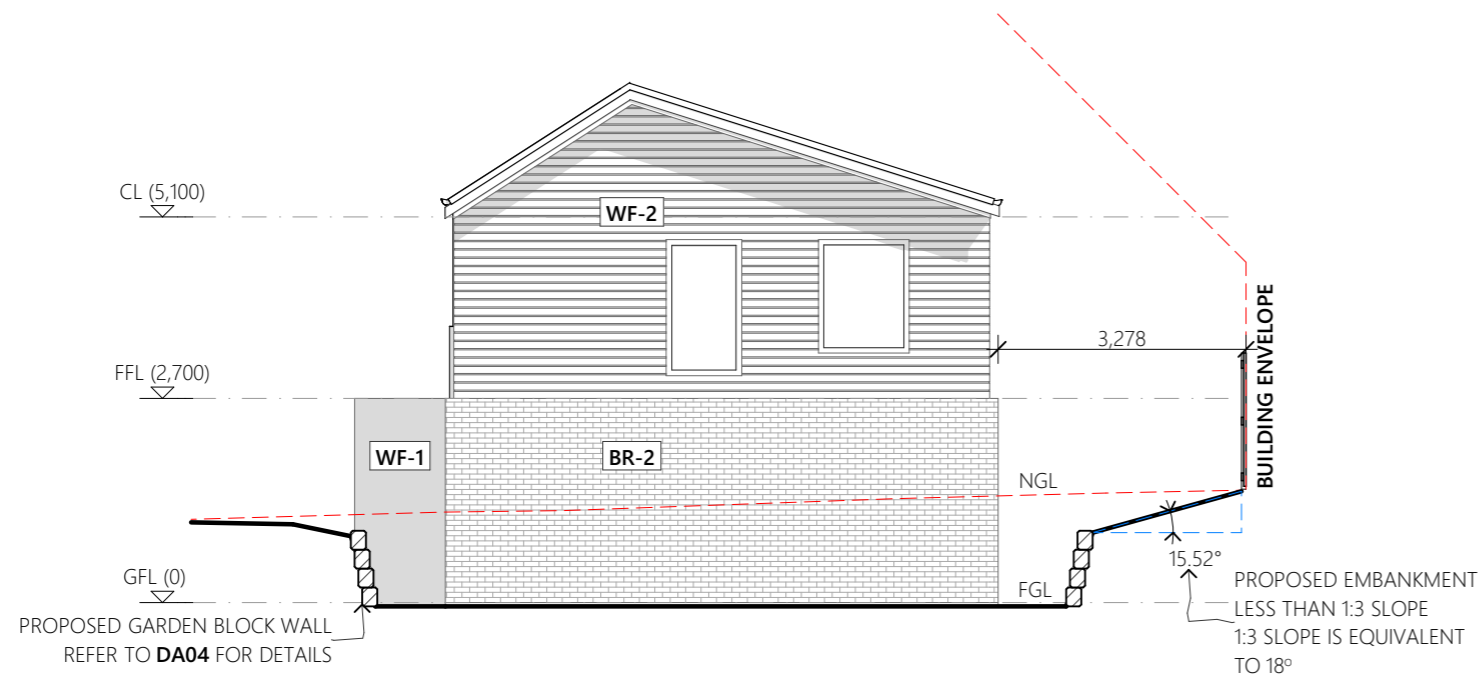
PROJECT ID	CHECKED BY	DRAWN BY
2475	D.D	D.D

PAGE	NORTH
DA12	

DRAWING
UNIT3 ELEVATION



E3 SOUTH ELEVATION
1:100



E4 WEST ELEVATION
1:100

MATERIAL & FINISHES

PROPOSED

ROOF

CO CUSTOM ORB ROOF SHEET
COLOUR: SURFMIST TBC

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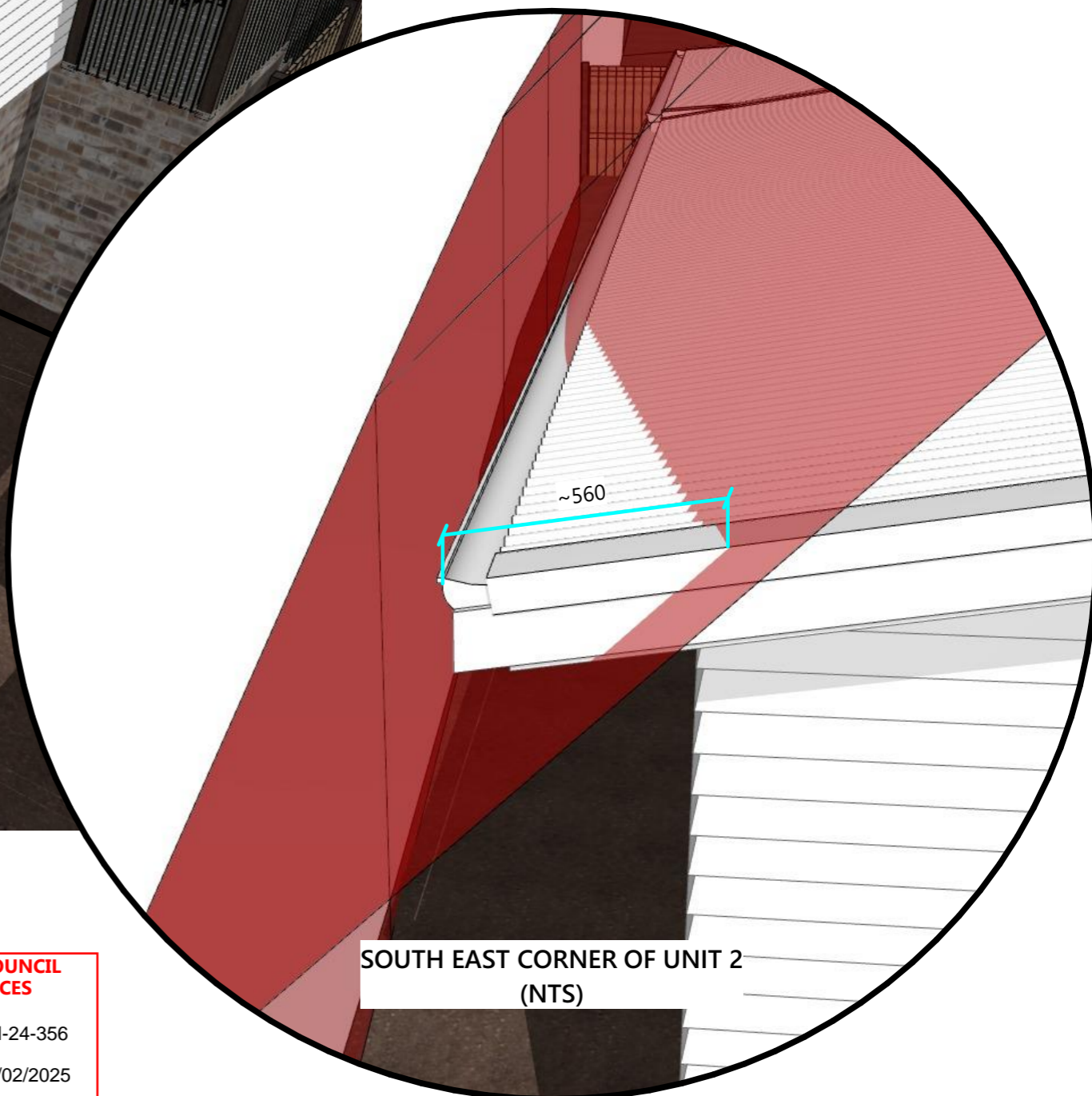
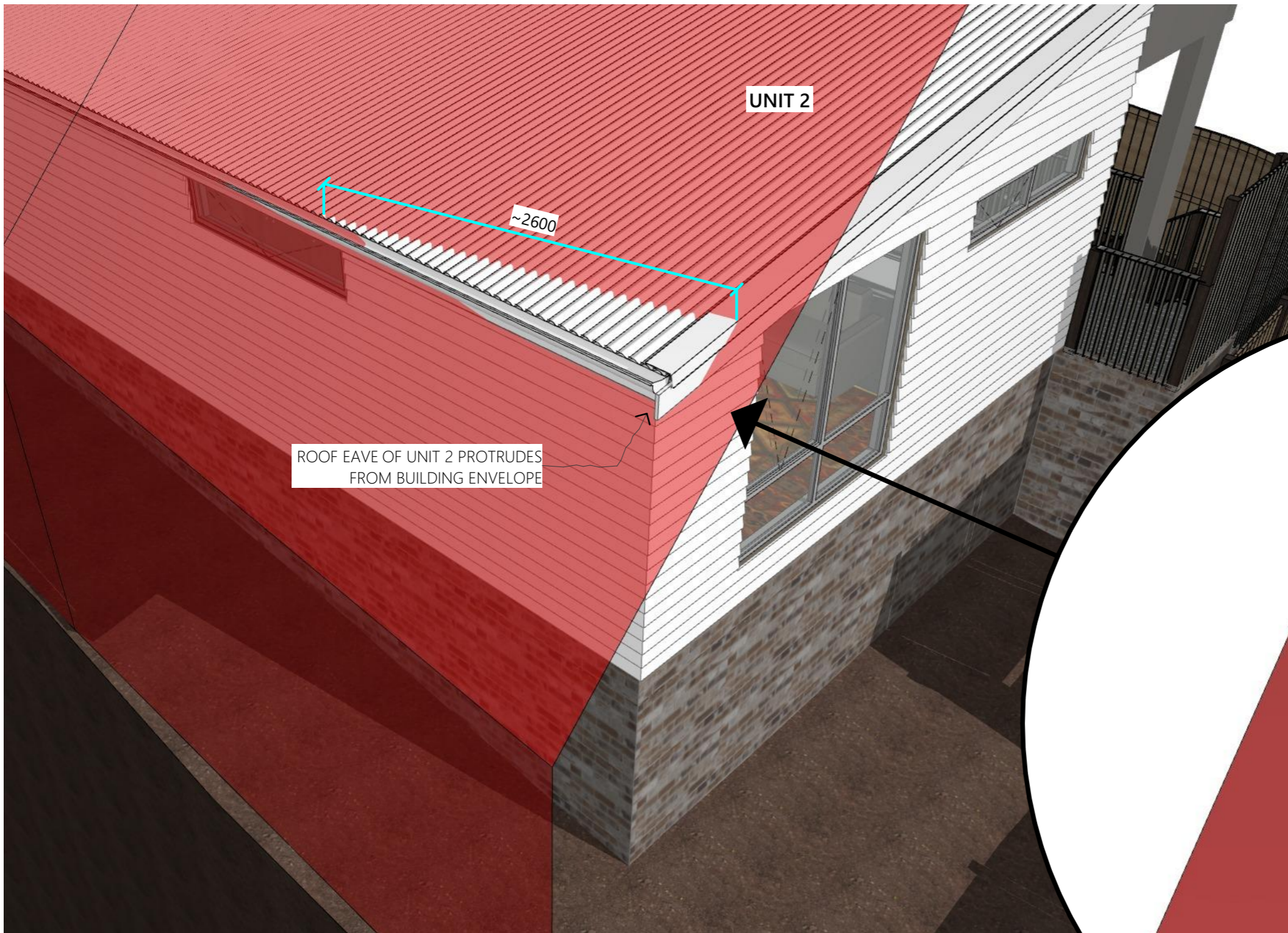
PROJECT
UNIT DEVELOPMENT
124 MAIN ROAD, CLAREMONT 7011

CLIENT
KEITH & LIBBY ROLLS

REVISION
A
DATE
20/02/2025
SCALE
AS SHOWN @ A3

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PAGE
DA13
DRAWING
UNIT3 ELEVATION
NORTH



**GLENORCHY CITY COUNCIL
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CLIENT KEITH & LIBBY ROLLS	PROJECT ID 2475	CHECKED BY D.D	DRAWN BY D.D

CLIENT	PROJECT ID	CHECKED BY	DRAWN BY
KEITH & LIBBY ROLLS	2475	D.D	D.D

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CLIENT KEITH & LIBBY ROLLS	PROJECT ID 2475	CHECKED BY D.D	DRAWN BY D.D

PAGE	NORTH
DA14	
DRAWING	
BUILDING ENVELOPE	

CIVIL PLAN

124 MAIN ROAD, CLAREMONT

DRAWING ID	TITLE	REV
C00	COVER	
C01	SITE PLAN	
C02	DRIVEWAY LONGSECTION	
C03	CAR TURNING PATH PLAN	
C04	STORMWATER PLAN	A
C05	STORMWATER CALCULATION	A
C06	STORMWATER CALCULATION	A
C07	SEWER AND WATER PLAN	

GENERAL NOTES

1. THE MAIN CONTRACTOR AND ALL SUB CONTRACTORS SHALL COMPLY WITH THE STATE WORK HEALTH AND SAFETY ACT AND ALL RELEVANT CODES OF PRACTICE.
2. ALL HYDRAULICS WORKS TO BE CARRIED OUT IN ACCORDANCE WITH IPWEA STANDARD DRAWINGS AND SPECIFICATIONS, (WSAA SEWERAGE CODE OF AUSTRALIA & WATER SUPPLY CODE OF AUSTRALIA) AND TO THE SATISFACTION OF COUNCIL'S DEVELOPMENT ENGINEER.
3. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR CONTACTING TASNETWORKS TO APPLY FOR NEW CONNECTIONS AND/OR ADDITIONAL SUPPLY. SUFFICIENT TIME FOR TASNETWORKS DESIGN AND REVIEW PROCESSES SHOULD BE ALLOWED FOR.
4. NO TOP SOIL SHALL BE REMOVED FROM THE SITE WITHOUT THE CONSENT OF COUNCIL. TOP SOIL DISTURBED OR REMOVED AS A RESULT OF WORKS SHALL BE STOCK-PILED ON SITE AND LATER USED FOR REDRESSING ANY DISTURBED SURFACES.
5. ALL DISTURBED SURFACES ON SITE, EXCEPT THOSE SET ASIDE FOR ROADWAYS AND FOOTPATHS SHALL BE DRESSED WITH IMPORTED FILL AND REVEGETATED TO THE SATISFACTION OF THE COUNCIL'S DEVELOPMENT ENGINEER.
6. ALL EXISTING SERVICES TO BE LOCATED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.
7. ALL LEVELS TO BE CONFIRMED ON SITE PRIOR TO COMMENCEMENT OF WORKS.
8. ALL CONNECTIONS TO EXISTING STORMWATER MAINS TO BE CARRIED OUT BY COUNCIL AT DEVELOPERS COST UNLESS APPROVED OTHERWISE, ALL CONNECTIONS TO SEWER/WATER MAINS TO BE CARRIED OUT BY TASWATER AT DEVELOPERS COST UNLESS APPROVED OTHERWISE
9. GENERAL MATERIALS, INSTALLATION AND TESTING SHALL COMPLY WITH TASMANIAN MUNICIPAL STANDARDS PART 4.
10. EXCAVATED AND IMPORTED MATERIAL USED AS FILL TO BE APPROVED BY ENGINEER PRIOR TO INSTALLATION.
11. ANY DEPARTURES FROM THE DESIGN DRAWINGS ARE TO BE AT THE WRITTEN APPROVAL OF THE ENGINEER AND APPROVAL FROM THE AUTHORITY. CHANGES INCLUDES CONFLICTS WITH EXISTING SERVICES.
12. UNLESS NOTED OTHERWISE, THESE NOTES SHALL APPLY TO ALL DRAWINGS IN THE SET
13. BATTERS:
MAX EMBANKMENT SLOPE 1:3.0
MAX CUTTING SLOPE 1:2.0 (LOOSE ROCK)
1:3.0 (SOIL)

**GLENORCHY CITY COUNCIL
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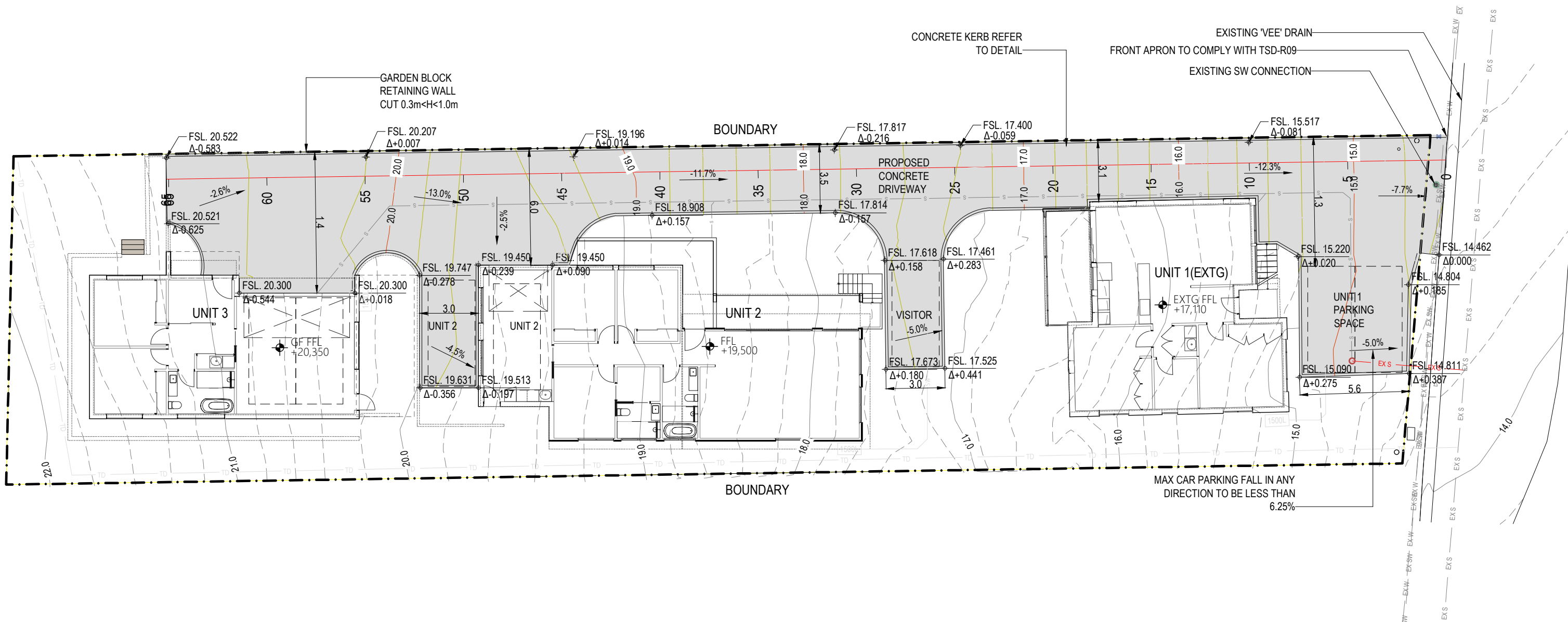
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PROJECT	REVISION	DATE	SCALE	PAGE	NORTH
124 MAIN ROAD, CLAREMONT		04/03/2025	As shown @ A3	C00	
CLIENT	PROJECT ID	CHECKED BY	DRAWN BY	DRAWING	
KEITH & LIBBY ROLLS	2475	D. DJEKANOVIC	C. Li	COVER	

**IMPORTANT
DRAWINGS MUST BE
PRINTED & READ IN
COLOUR**



LEGEND

- EX W — EXISTING TASWATER WATER MAIN
- EX S — EXISTING TASWATER SEWER MAIN
- EX SW — EXISTING GCC SW MAIN

1 SITE PLAN
Scale: 1:200

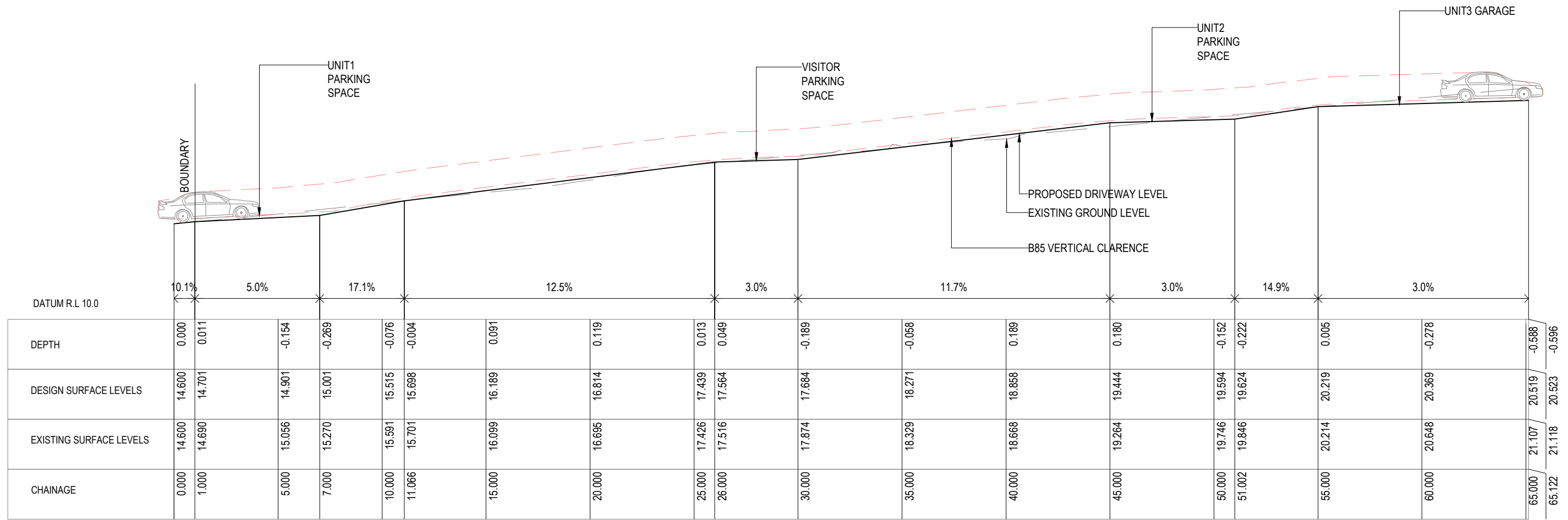
**GLENORCHY CITY COUNCIL
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APPLICATION No. : PLN-24-356
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KEITH & LIBBY ROLLS	2475	D. DJEKANOVIC	C. Li

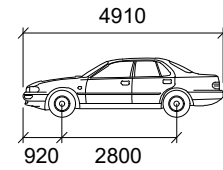
PAGE	NORTH
C02	
DRAWING	
SITE PLAN	



SCALE - HORIZ 1:200, VERT. 1:200

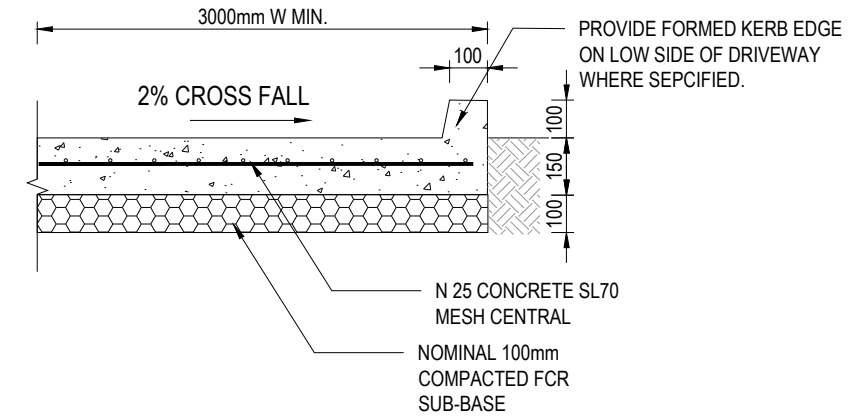
1 DRIVEWAY LONGSECTION

Scale: 1:200 H 1:200 V



B85 mm
 Width : 1870
 Track : 1770
 Lock to Lock Time : 6.0
 Steering Angle : 34.0

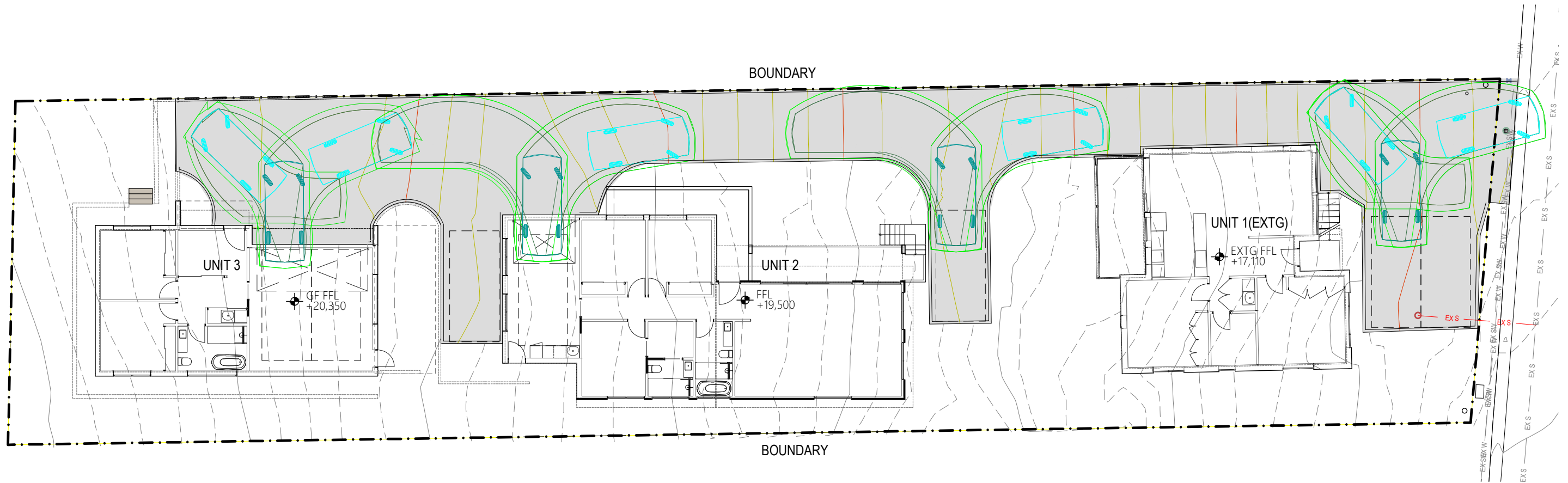
**GLENORCHY CITY COUNCIL
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2 TYPICAL DRIVEWAY SECTION

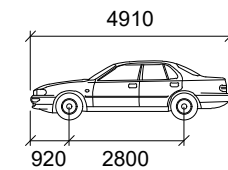
Scale: 1:20

IMPORTANT
DRAWINGS MUST BE
PRINTED & READ IN
COLOUR



VEHICLE MOVEMENT NOTES:

1. MOVEMENT TEMPLATES DEMONSTRATE ABILITY OF VEHICLES TO ENTER INTERSECTION IN A FORWARDS DIRECTION, PARK IN THE GARAGE AND LEAVE IN A FORWARDS DIRECTION.
2. THE BASE DIMENSIONS OF THE CAR TEMPLATE REPRESENT THE B85 (85th PERCENTILE) VEHICLE
3. THE SWEEP PATH OF THE VEHICLE REPRESENT THE OUTER EXTENTS OF THE VEHICLE BODY
4. THE PATHS WERE GENERATED WITH A TURNING SPEED OF 5km/hr FROM THE STREET.

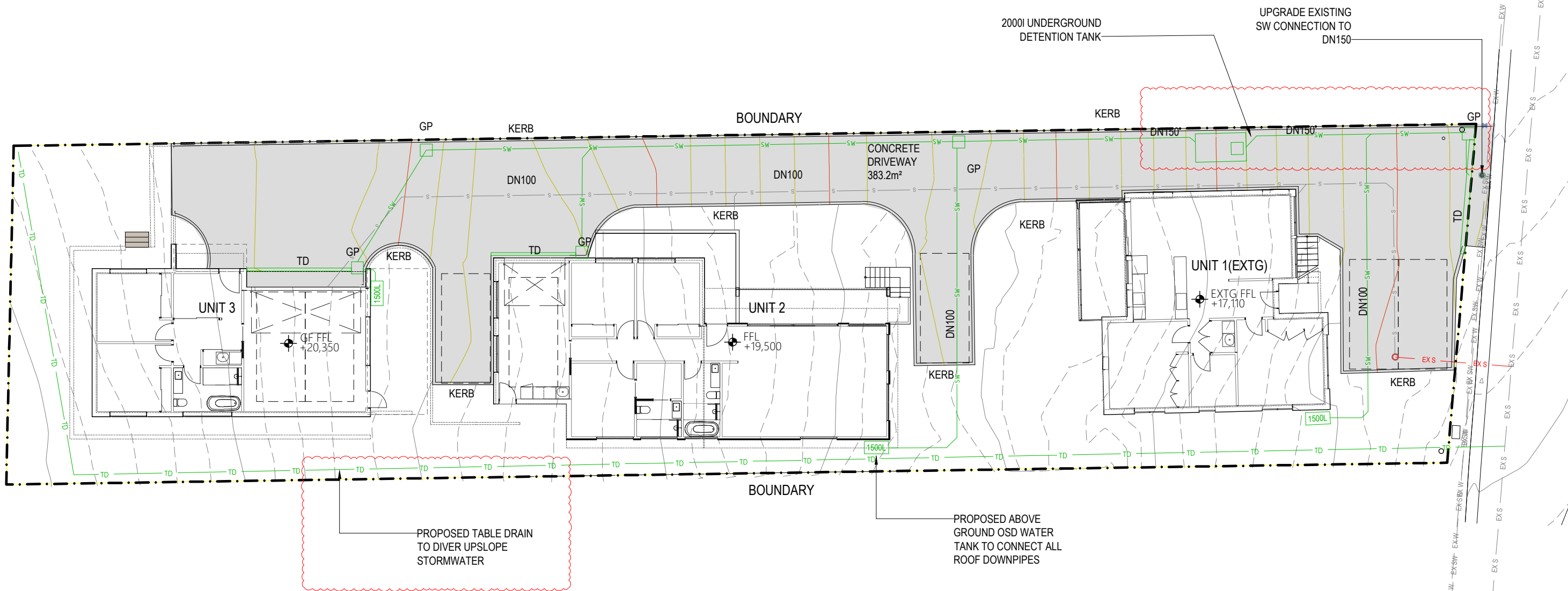


B85	mm
Width	: 1870
Track	: 1770
Lock to Lock Time	: 6.0
Steering Angle	: 34.0

1 CAR TURNING PATH PLAN
Scale: 1:100

**GLENORCHY CITY COUNCIL
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IMPERVIOUS AREA CALCULATION
 PROPOSED BUILDING ROOF AREA: 278.2m²(PAGE DA03)
 PROPOSED DRIVEWAY AREA: 383.2m²
 EXISTING IMPERVIOUS REMOVED:172.2m² (PAGE DA02)
 UNIT3 ROOF AND DRIVEWAY OVERLAP 9.4m²
 TOTAL INCREASED IMPERVIOUS AREA= 278.2+383.2-9.4-172.2=479.8m²
 THIS DEVELOPMENT IS EXEMPTED FROM STORMWATER TREATMENT REQUIREMENT

LEGEND

	TABLE DRAIN 300X300
	PROPOSED SW LINE
	EXISTING TASWATER WATER MAIN
	EXISTING TASWATER SEWER MAIN
	EXISTING GCC SW MAIN
	GRATED PIT 600SQ
	150mm W TRENCH DRAIN
	1500L WATER TANK

1 STORMWATER PLAN
Scale: 1:200

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PROJECT 124 MAIN ROAD, CLAREMONT	REVISION A	DATE 04/03/2025	SCALE As shown @ A3
CLIENT KEITH & LIBBY ROLLS	PROJECT ID 2475	CHECKED BY D. DJEKANOVIC	DRAWN BY C. Li

PAGE
C04

DRAWING
STORMWATER PLAN

NORTH

STORMWATER FLOW CALCULATION

Pre-development				
	A(m ²)	C	Flow(Q _{pre} =CA ⁵ I ₂₀ /3600) L/s	5I ₂₀ =85.3mm/h Design Rainfall Data System (2016)
SITE	796	0.55	10.37	
C=0.55 FOR DEVELOPED RESIDENTIAL AREA				
Post-development				
	A(m ²)	C	Flow(Q _{post} =CA ⁵ I ₂₀ /3600) L/s	5I ₂₀ =85.3mm/h Design Rainfall Data System (2016)
UNIT 1 ROOF	104	0.9	2.22	
UNIT 2 ROOF	155	0.9	3.31	
UNIT 3 ROOF	123	0.9	2.62	
DRIVEWAY	373	0.9	7.95	
GRASS	437	0.4	4.14	
Total			20.24	
OSD SCHEDULE				
	Vol (L)	Ofirce	Flow Q _{post} (L/s) (AVERAGE)	UNDERGROUND TANK Q _{out} =2.98
UNIT 1 TANK	1500	25	0.98	
UNIT 2 TANK	1500	25	/	
UNIT 3 TANK	1500	25	/	
DRIVEWAY TANK	2000	40	2.98	
TOTAL FLOW AFTER OSD			3.96	
AFTER OSD FLOW				
	A(m ²)	C	Flow(Q _{post} =CA ⁵ I ₂₀ /3600) L/s	
DRIVEWAY BYPASS	106	0.9	2.26	
GRASS	437	0.4	4.14	
OSD OUTLET			3.96	
TOTAL			10.36	< Q _{pr}

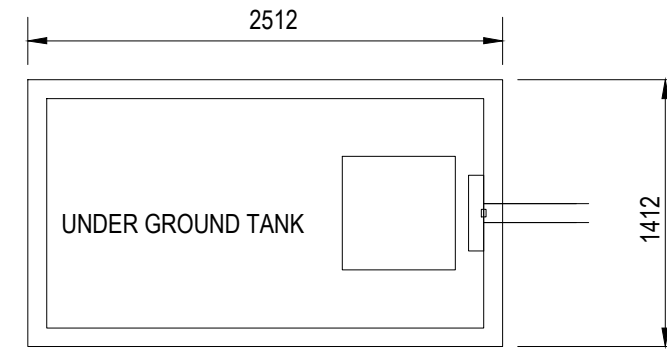
ORIFICE SCHEDULE				
	Orifice d(mm)	Water Head h(m)	Flow Q (L/s)	Q=Cd*A*(2gh) ^{1/2}
UNDER GROUND TANK	40	0.8	2.98	
1500L SLIMLINTANK	25	1.6	1.65	

OSD TANK VOLUME CALCULATION

Storm Duration (min)	Rainfall intensity(mm/h) 5% AEP (I)	Q(L/s) A*CI/3600	Q out	Volume (L) (Q-Qout)t
5	85.9	13.00	2.98	3007.3
10	64.6	9.78	2.98	4079.8
15	52.4	7.93	2.98	4457.5
20	44.6	6.75	2.98	4526.3
25	39.1	5.92	2.98	4409.0
30	35.1	5.31	2.98	4200.8
45	27.4	4.15	2.98	3153.8
60	23	3.48	2.98	

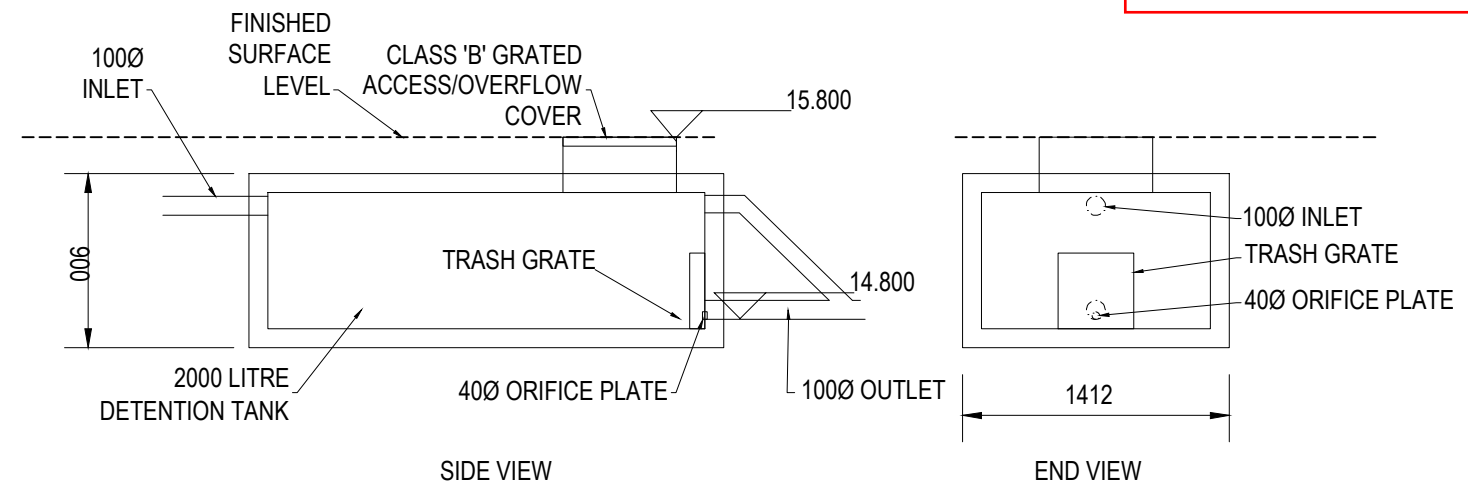
A = U2 roof + U3 roof + A driveway = 545m²

Design 1500L for unit 2 & 3, 2000L for Drive way Total OSD Volume = 1500+1500+2000=5000L



PLAN VIEW

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
APPLICATION No. : PLN-24-356
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SIDE VIEW

END VIEW

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PROJECT

124 MAIN ROAD, CLAREMONT

REVISION

A

DATE

04/03/2025

SCALE

As shown @ A3

PAGE

C05

NORTH

CLIENT

KEITH & LIBBY ROLLS

PROJECT ID

2475

CHECKED BY

D. DJEKANOVIC

DRAWN BY

C. Li

DRAWING

STORMWATER CALCULATION

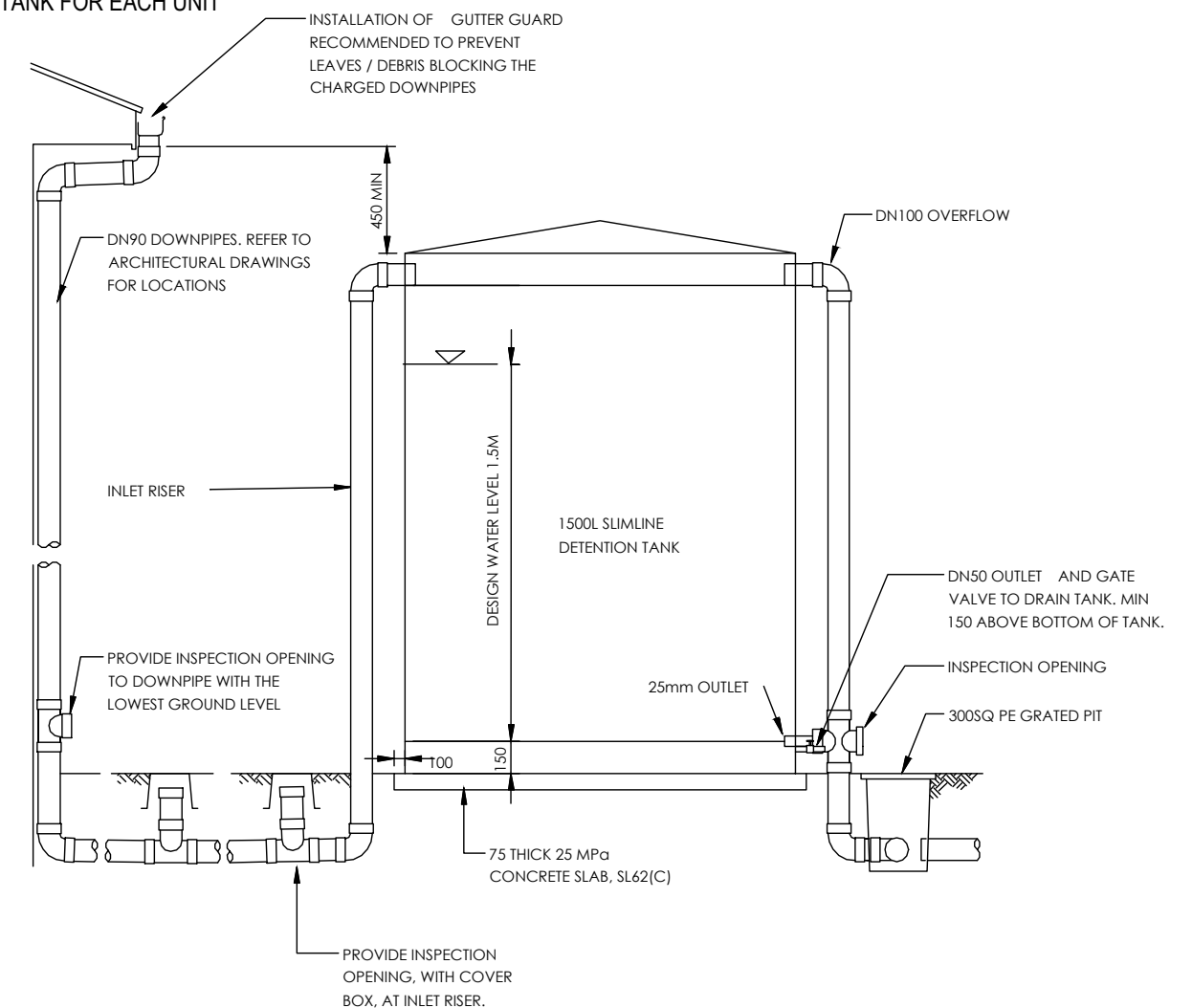
STORMWATER CALCULATION

UNIT 1 TANK OSD SIZE CALCULATION

Storm Duration (min)	Rainfall intensity(mm/h) 5% AEP (I)	Q(L/s) A*Ci/3600	Q out (REFER TO 1500L SPEC.)	Volume (L) (Q-Qout)t
5	85.9	2.48	0.98	450.5
10	64.6	1.87	0.98	531.7
15	52.4	1.51	0.98	480.4
20	44.6	1.29	0.98	370.1
25	39.1	1.13	0.98	224.3
30	35.1	1.01	0.98	61.2
45	27.4	0.79		
60	23	0.66		

1500L SLIMLINE TANK FLOW SCHEDULE (25mm ORIFICE, FLOW $Q=Q=Cd*A*(2gh)^{1/2}$)						
WATER HEAD (m)	TANK BASE AREA(m ²)	AVERAGE FLOW Q(L/S)	VOLUME (L)	TIME TO DRAIN(S)	TIME TO DRAIN(MIN)	
0	~ 0.1	0.98	0.426	98	230	4
0.1	~ 0.2	0.98	0.602	98	163	3
0.2	~ 0.3	0.98	0.738	98	133	2
0.3	~ 0.4	0.98	0.852	98	115	2
0.4	~ 0.5	0.98	0.952	98	103	2
0.5	~ 0.6	0.98	1.043	98	94	2
0.6	~ 0.7	0.98	1.127	98	87	1
0.8	~ 0.9	0.98	1.278	98	77	1
0.9	~ 1	0.98	1.347	98	73	1
1	~ 1.1	0.98	1.412	98	69	1
1.1	~ 1.2	0.98	1.475	98	66	1
1.2	~ 1.3	0.98	1.535	98	64	1
1.3	~ 1.4	0.98	1.593	98	62	1
1.4	~ 1.5	0.98	1.649	98	59	1
TOTAL		0.984	1372	1395	23	

PROPOSED 1500L TANK FOR EACH UNIT



1

WATER TANK DETAIL NTS.

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No. : PLN-24-356

DATE RECEIVED: 05/03/2024

GENERAL NOTES

Contractors shall verify all dimensions and levels on site before commencement of any work. Contractors shall clarify any discrepancies before commencement of any work. Drawings must not be scaled.
Contractors shall submit samples and shop drawings before commencing work. All works shall be carried out in accordance with the Building Code of Australia and all relevant Australian Standards. These designs, plans, specifications and the copyright herein are the property of Oramatis Studio and must not be used, reproduced or copied wholly or in part without the written permission of Oramatis Studio.

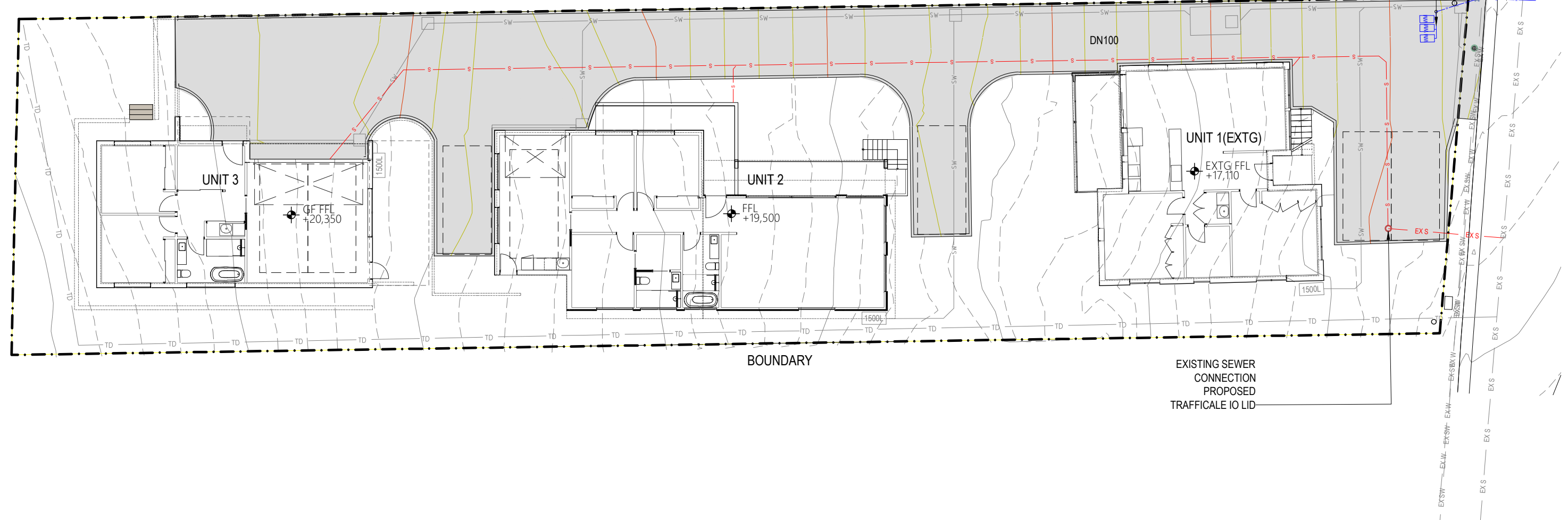
PROJECT	REVISION	DATE	SCALE	PAGE	NORTH
124 MAIN ROAD, CLAREMONT	A	04/03/2025	As shown @ A3	C06	
CLIENT	PROJECT ID	CHECKED BY	DRAWN BY	DRAWING	
KEITH & LIBBY ROLLS	2475	D. DJEKANOVIC	C. Li	STORMWATER CALCULATION	

**IMPORTANT
DRAWINGS MUST BE
PRINTED & READ IN
COLOUR**

PROPOSED MANIFOLD AND 3 DN25
METERS BELOW GROUND
TRAFFICABLE LID AS PER TWS-0002
SHEET 3 & 9. BY TASWATER AT
DEVELOPER'S COST

UPGRADE
DN25 TO
DN32

BOUNDARY



EXISTING SEWER
CONNECTION
PROPOSED
TRAFFICABLE IO LID

LEGEND

- EX W — EXISTING TASWATER WATER MAIN
- EX S — EXISTING TASWATER SEWER MAIN
- EX SW — EXISTING GCC SW MAIN
- S — PROPOSED SEWER
- W — PROPOSED WATER

**GLENORCHY CITY COUNCIL
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APPLICATION No. : PLN-24-356
DATE RECEIVED: 05/03/2024

1 SEWER AND WATER PLAN
Scale: 1:200

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Document Set ID: 3470388
Version: 2, Version Date: 05/03/2025

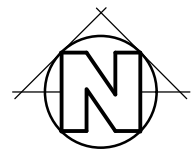
GENERAL NOTES
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PROJECT	124 MAIN ROAD, CLAREMONT
CLIENT	KEITH & LIBBY ROLLS

REVISION	DATE	SCALE
	04/03/2025	As shown @ A3
PROJECT ID	CHECKED BY	DRAWN BY
2475	D. DJEKANOVIC	C. Li

PAGE	C07
DRAWING	SEWER AND WATER PLAN

NORTH



LEGEND

WT = Water Tap
WM = Water Meter
P = Post
CL = Clothesline
RW = Retaining Wall
RGB = Raised Garden Bed
B of F = Bottom of Fascia
Gt = Gate

BM1 = BENCH MARK
R/Set in Footpath
RL:16.41

BM2 = BENCH MARK
R/Set in Footpath
RL:17.00

SWLC = Stormwater Lot Connection
Top RL:14.60
(Unable to Open)

CHC = Communications House Connection
RL:16.02

EHC = Electricity House Connection
RL:20.50

R1 = Roof RL:20.53

R2 = Ridge RL:20.23

R3 = Roof RL:19.45

R4 = Verandah Roof RL:19.56

BF1 = Bottom of Fascia
RL: 19.71

FL1 = Floor Level (Door Tread)
RL:17.12

FL2 = Floor Level
RL:16.85

FL3 = Floor Level
RL:17.02

FL4 = Floor Level
RL:17.89

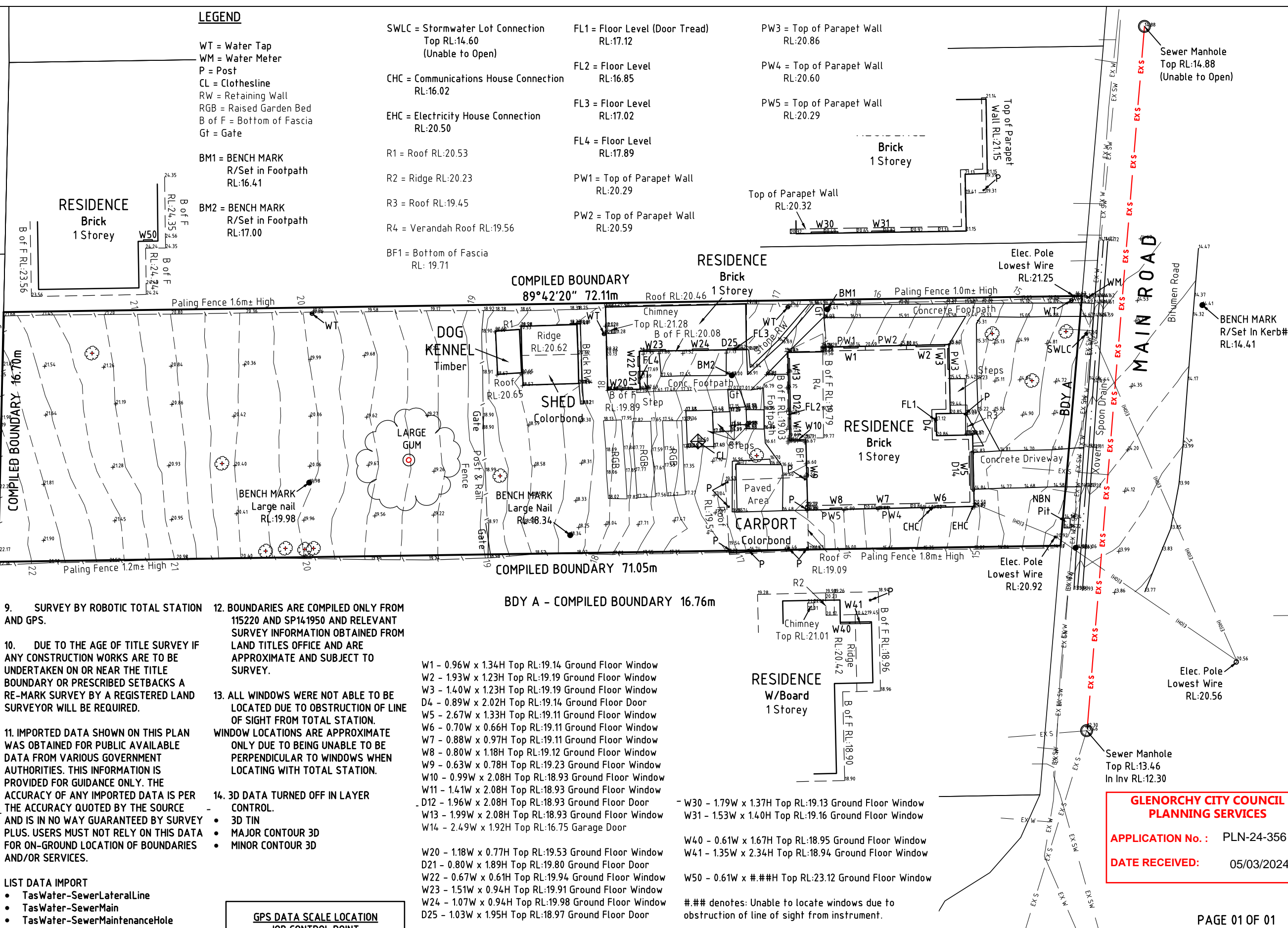
PW1 = Top of Parapet Wall
RL:20.29

PW2 = Top of Parapet Wall
RL:20.59

PW3 = Top of Parapet Wall
RL:20.86

PW4 = Top of Parapet Wall
RL:20.60

PW5 = Top of Parapet Wall
RL:20.29



GENERAL NOTES:

1. THIS PLAN HAS BEEN PREPARED BY SURVEY PLUS FROM A COMBINATION OF EXISTING RECORDS AND FIELD SURVEY FOR THE PURPOSES OF SHOWING THE PHYSICAL FEATURES OF THE LAND AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE.

2. TITLE BOUNDARIES SHOWN WERE NOT VERIFIED OR MARKED BY SURVEY PLUS AT THE TIME OF THIS SURVEY.

3. SERVICES SHOWN ON THIS PLAN WERE LOCATED WHERE POSSIBLE BY FIELD SURVEY. THEY ARE NOT A COMPLETE PICTURE OF SERVICES ON SITE. ALL SERVICE LOCATIONS ARE TO BE VERIFIED BEFORE COMMENCEMENT OF ANY WORK ON SITE, IN PARTICULAR THOSE SERVICES NOT PREVIOUSLY LOCATED THROUGH FIELD SURVEY.

4. SURVEY PLUS CAN NOT ACCEPT LIABILITY WHATSOEVER FOR LOSS OR DAMAGE CAUSED TO ANY UNDERGROUND SERVICE WHETHER SHOWN BY OUR SURVEY OR NOT.

5. THIS NOTE IS AN INTEGRAL PART OF THIS PLAN/DATA. REPRODUCTION OF THIS PLAN OR ANY PART OF IT WITHOUT THIS NOTE BEING INCLUDED IN FULL WILL RENDER THE INFORMATION SHOWN ON SUCH A REPRODUCTION INVALID AND NOT SUITABLE FOR USE WITHOUT PRIOR AUTHORITY OF SURVEY PLUS.

6. HORIZONTAL DATUM IS MGA (GDA94).

7. VERTICAL DATUM IS AHD.

8. CONTOUR INTERVAL IS 0.2 METRE. INDEX IS 1.0 METRE.

9. SURVEY BY ROBOTIC TOTAL STATION AND GPS.

10. DUE TO THE AGE OF TITLE SURVEY IF ANY CONSTRUCTION WORKS ARE TO BE UNDERTAKEN ON OR NEAR THE TITLE BOUNDARY OR PRESCRIBED SETBACKS A RE-MARK SURVEY BY A REGISTERED LAND SURVEYOR WILL BE REQUIRED.

11. IMPORTED DATA SHOWN ON THIS PLAN WAS OBTAINED FOR PUBLIC AVAILABLE DATA FROM VARIOUS GOVERNMENT AUTHORITIES. THIS INFORMATION IS PROVIDED FOR GUIDANCE ONLY. THE ACCURACY OF ANY IMPORTED DATA IS PER THE ACCURACY QUOTED BY THE SOURCE AND IS IN NO WAY GUARANTEED BY SURVEY PLUS. USERS MUST NOT RELY ON THIS DATA FOR ON-GROUND LOCATION OF BOUNDARIES AND/OR SERVICES.

LIST DATA IMPORT

- TasWater-SewerLateralLine
- TasWater-SewerMain
- TasWater-SewerMaintenanceHole
- TasWater-SewerPressurisedMain
- TasWater-WaterHydrant
- TasWater-WaterLateralLine
- TasWater-WaterMain
- CadastralParcel-OwnerInformation

12. BOUNDARIES ARE COMPILED ONLY FROM 115220 AND SP141950 AND RELEVANT SURVEY INFORMATION OBTAINED FROM LAND TITLES OFFICE AND ARE APPROXIMATE AND SUBJECT TO SURVEY.

13. ALL WINDOWS WERE NOT ABLE TO BE LOCATED DUE TO OBSTRUCTION OF LINE OF SIGHT FROM TOTAL STATION. WINDOW LOCATIONS ARE APPROXIMATE ONLY DUE TO BEING UNABLE TO BE PERPENDICULAR TO WINDOWS WHEN LOCATING WITH TOTAL STATION.

14. 3D DATA TURNED OFF IN LAYER CONTROL.

- 3D TIN
- MAJOR CONTOUR 3D
- MINOR CONTOUR 3D

GPS DATA SCALE LOCATION

JOB CONTROL POINT
POINT NO: 1
DESCRIPTION: R/S IN KERB#
GPS SCALE FACTOR = 1.000397192
E: 520617.591
N: 5263150.693
RL: 14.41
EPU = 0.04±

- W1 - 0.96W x 1.34H Top RL:19.14 Ground Floor Window
- W2 - 1.93W x 1.23H Top RL:19.19 Ground Floor Window
- W3 - 1.40W x 1.23H Top RL:19.19 Ground Floor Window
- D4 - 0.89W x 2.02H Top RL:19.14 Ground Floor Door
- W5 - 2.67W x 1.33H Top RL:19.11 Ground Floor Window
- W6 - 0.70W x 0.66H Top RL:19.11 Ground Floor Window
- W7 - 0.88W x 0.97H Top RL:19.11 Ground Floor Window
- W8 - 0.80W x 1.18H Top RL:19.12 Ground Floor Window
- W9 - 0.63W x 0.78H Top RL:19.23 Ground Floor Window
- W10 - 0.99W x 2.08H Top RL:18.93 Ground Floor Window
- W11 - 1.41W x 2.08H Top RL:18.93 Ground Floor Window
- D12 - 1.96W x 2.08H Top RL:18.93 Ground Floor Door
- W13 - 1.99W x 2.08H Top RL:18.93 Ground Floor Window
- W14 - 2.49W x 1.92H Top RL:16.75 Garage Door

- W20 - 1.18W x 0.77H Top RL:19.53 Ground Floor Window
- D21 - 0.80W x 1.89H Top RL:19.80 Ground Floor Door
- W22 - 0.67W x 0.61H Top RL:19.94 Ground Floor Window
- W23 - 1.51W x 0.94H Top RL:19.91 Ground Floor Window
- W24 - 1.07W x 0.94H Top RL:19.98 Ground Floor Window
- D25 - 1.03W x 1.95H Top RL:18.97 Ground Floor Door

- W30 - 1.79W x 1.37H Top RL:19.13 Ground Floor Window
 - W31 - 1.53W x 1.40H Top RL:19.16 Ground Floor Window
 - W40 - 0.61W x 1.67H Top RL:18.95 Ground Floor Window
 - W41 - 1.35W x 2.34H Top RL:18.94 Ground Floor Window
 - W50 - 0.61W x #.#.#H Top RL:23.12 Ground Floor Window
- #.#.# denotes: Unable to locate windows due to obstruction of line of sight from instrument.

SURVEY PLUS
Address: 8 Amy Street, Moonah, Tasmania, 7009
Phone: 6273 9831
Fax: 6273 8316
Email: admin@surveyplustas.com.au
Mail: PO Box 299, Moonah, Tas, 7009

Project:
DETAIL, CONTOUR & FEATURE SURVEY
124 MAIN ROAD
CLAREMONT

Drawing:
SITE PLAN
C.T. 115220/3
LOT SIZE: 1191m²

Drafted by: SLA
Date: 17-10-2024
Project/Drawing No: SP241561-01
Approved By: JLD
Scale: 1:250@A3
Revision: A

GLENORCHY CITY COUNCIL PLANNING SERVICES
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